



1.0 Item 5(Picture)

1.1 EXTERIOR SIDING

Comments: Inspected, Repair or Replace

👉 The stucco on the dormers may be a hardcoat type, and moisture analysis was not included as a part of this inspection. It is critical that the stucco be well sealed to any dissimilar material used on the house, such as wood or vinyl trim, cables, pipes, ect..., and that roof drainage be kept in good condition. Condition of framing behind stucco is not visible and is not known. See photo for example



1.1 Item 1(Picture)

1.2 EXTERIOR TRIM

Comments: Inspected

🔧 (1) All exterior trim needs to be painted in the near future to avoid wood rot. This is part of routine maintenance on a home. See photos for examples.



1.2 Item 1(Picture)



1.2 Item 2(Picture)

(2) Rot damage found on exterior wood trim at locations pictured.. See photos.. Have all water damaged trim replaced or repaired. It should be understood that that more minor water damage may be present on other trim around the house. This is very common and more should be expected in the future. If water damage occurred in the past, it will occur again in the future.



1.2 Item 3(Picture)



1.2 Item 4(Picture)



1.2 Item 5(Picture) Rear screened porch

1.3 DOORS

Comments: Inspected, Repair or Replace

🐿 (1) Minor rot damage on lower part of the front door trim. Repair or replace damaged wood. It is possible that there have been repairs made to this area in the past, and it can be expected that more damage will occur in the future. This area may be prone to future damage. See photo(s).



1.3 Item 1(Picture)



1.3 Item 2(Picture)

🔧 Water damage found on soffit and fascia trim at chimney area This type of damage often occurs because of leaking and/over over flowing gutters. See photo(s) for locations. Have all damaged wood replaced.



1.7 Item 1(Picture)



1.7 Item 2(Picture)



1.7 Item 3(Picture)



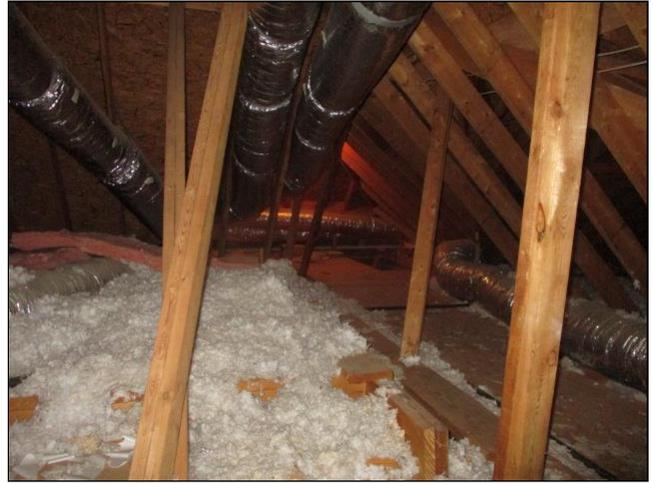
1.7 Item 4(Picture)

1.8 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK

Comments: Inspected



3.2 Item 3(Picture)



3.2 Item 4(Picture)



3.2 Item 5(Picture)

3.3 WALLS (Structural)

Comments: Inspected

3.4 FLOORS (Structural)

Comments: Inspected

3.5 CEILINGS (structural)

Comments: Inspected



4.0 Item 16(Picture) Nail head



4.0 Item 17(Picture) Damaged shingle

4.1 FLASHINGS

Comments: Inspected, Repair or Replace

🔧 Sealant at shingles to wall connection is considered a temporary fix and will leak in the future. Have a roofing contractor further evaluate and provide repair solutions. See photos for example and location.



4.1 Item 1(Picture)



4.1 Item 2(Picture)

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected, Repair or Replace



7.4 Item 5(Picture)



7.4 Item 6(Picture)



7.4 Item 7(Picture) Screened porch

7.5 OUTLETS & LIGHT FIXTURES

Comments: Inspected, Repair or Replace

🔧 (1) Light fixture(s) pictured do not work. Replace light bulbs and test. If fixture still does not work have an electrician evaluate and repair or replace.



7.5 Item 1(Picture) Master shower stall

🔧 (2) Light fixture missing in the dining room. Replace. See photo.



7.5 Item 2(Picture) Dining room

7.6 CONDUIT

Comments: Inspected

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

🔧 Make all smoke detectors operational. Replace missing detectors pictured. See photo for location.



7.7 Item 1(Picture) 2nd floor hallway

7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected, Repair or Replace

🔧 No carbon monoxide detectors found in home. It is recommended that one be installed according to the manufacturer's instructions. If one is present, owner should point out location. These were not required in older homes.

🔧 (1) Washing machine hook up valves are seldom turned on or off, and it should be expected that they will leak when the valves are operated. Washing machine hook up valves were not tested and not part of this inspection.



8.2 Item 1(Picture)

🔧 (2) Seal small gaps in tile in the master bath shower stall. This will help prevent leaks behind tile into wall cavity. Condition of framing behind tile is not visible and is not known.



8.2 Item 2(Picture)

🔧 (3) Secure the loose toilet(s) to the floor(s) in the location(s) pictured foyer half bath bath(s). Loose toilets can lead to broken wax seals between toilet and drain pipe that can leak on the floor.



8.2 Item 3(Picture) Foyer bathroom

(4) Pedestal sink in the foyer half bath is loose against the wall. Secure the sink to the wall. See photos for location.



8.2 Item 4(Picture)



8.2 Item 5(Picture) Foyer bathroom

(5) Jetted tub works. See online video.



8.2 Item 6(Video)

8.3 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

🔧 (2) Over flow pan needed under water heater. Recommend having a plumber install the pan to catch and drain water from any future leaks.



8.4 Item 3(Picture)

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected, Repair or Replace

🔧 Sediment traps (or drip legs/slang term) are not installed in the correct orientation for the attic furnace. This was permitted when the home was built, however, it does not meet current standards and the gas companies requirements. Hvac tech can evaluate. Gas company may not connect gas for new owner if this is discovered. See photo(s).



8.5 Item 1(Picture)



8.5 Item 2(Picture)

8.6 MAIN FUEL GAS SHUT OFF

Comments: Inspected