



Inspection Report

Darshan Patel

Property Address:
3080 Pillement Pl
Alpharetta GA 30022



Champia Real Estate Inspections

Kevin Charney
4015 Wetherburn Way
Bldg. A, Suite 200
Norcross, GA 30092
770-953-0767

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Date: 7/21/2020	Time: 01:00:00 PM	Report ID: 42066
Property: 3080 Pillement PI Alpharetta GA 30022	Customer: Darshan Patel	Real Estate Professional: Mitali Patel Keller Williams (Atlanta) Atlanta Perimeter

All completed Champia Real Estate Inspections come with the following [FREE](#) services:

- 5 year Platinum Roof Leak Warranty
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- 90 Day Main Sewer/Water Line Warranty
- 120 Day Radon Warranty (with test)
- Concierge Service for Utility Set up
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Additionally, this home now qualifies for purchase of our 18 month Home Warranty priced at the typical 12 month home warranty price. Champia Real Estate Inspections is providing you with 6 additional months of warranty for free. That's 18 months of coverage for the price of 12 months. This warranty is backed by RWS, a national warranty provider. Click [HERE](#) for more details.

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Attention required (AR) = The item, component or unit is not functioning as intended, missing or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Standards of Practice:

ASHI American Society of Home Inspectors

In Attendance:

Customer and their agent

Type of building:

Single Family (2 story)

Temperature:

Over 65 (F) = 18 (C)

Weather:

Clear

1. Grounds

Orientation: Description of exterior locations from facing front.

		IN	NI	NP	AR	Styles & Materials
1.0	STOOPS, STEPS, AREAWAYS, PORCHES	•			•	Attached features: Deck with steps Walkway Driveway Stoop
1.1	DECKS, SUN ROOM	•			•	
1.2	VEGETATION (with respect to their effect on the condition of the building)	•			•	Driveway: Concrete
1.3	DRIVEWAY, WALKWAYS, PATIOS	•			•	Walkways: Brick
1.4	GRADING, DRAINING (with respect to their effect on the condition of the building)	•				Patios: Brick
1.5	RETAINING WALLS	•			•	Retaining walls: Railroad tie
		IN	NI	NP	AR	

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Comments:

1.0 (1) Handrails oversized at both sets of rear exterior steps. NOTE: Handrails should be graspable. Install as necessary for enhanced safety.



1.0 Item 1(Picture) Oversized hand rails

(2) No landings noted at rear exterior stairs. The steps should bear on a concrete landing that is equal to or greater than the width of the stairs and a minimum of 36" in the direction of travel.



1.0 Item 2(Picture) No landing at exterior stairs

(3) Treads not illuminated on left rear exterior steps. For enhanced stair safety, landings and treads should be illuminated by an external light source.

(4) Further evaluation and repair of these conditions by a licensed general contractor is recommended.

1.1 (1) Although deck construction is typical for the time of it's construction, it does not comply with current deck safety standards. Reconstruction of the deck to today's standards should be considered to maximize safety. See the following link for additional information on current GA deck standards:

[Georgia Prescriptive Deck Details](#)

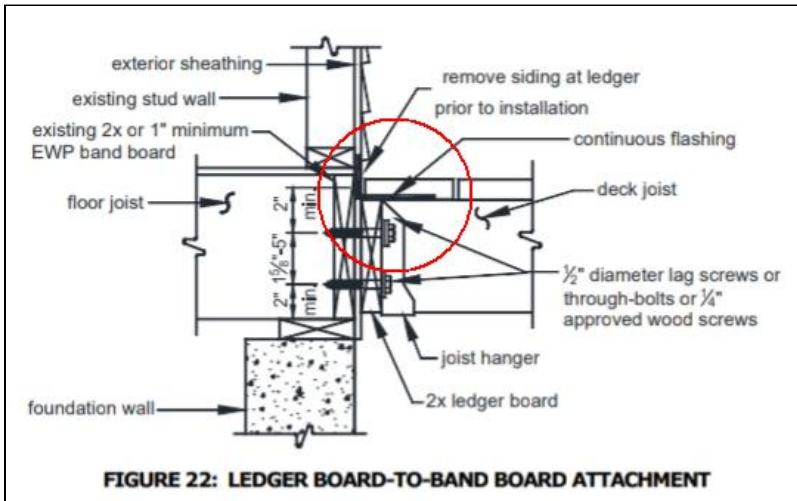
The following conditions were observed:

(2) Improper post-to-beam attachment noted at rear deck guard rail. NOTE: Posts should be attached full-width (not notched) and secured with 2 x 1/2" through bolts and washers (not nailed) with hold down straps installed under the deck.



1.1 Item 1(Picture) Improper guard post attachment

(5) Missing flashing noted at rear deck rim board attached to the home. NOTE: Flashings represent a barrier between intersected/attached features and should be installed to protect interior structural components (i.e. structural panels). Install flashings where necessary.



1.1 Item 5(Picture) Proper flashing installation

(6) Improper ledger board attachment noted at rear deck. NOTE: Ledger boards should not be attached directly to masonry veneer. Instead these decks should be constructed as "free standing" and not attached directly to the structure.

(7) Insufficient ledger board attachment noted at rear deck. NOTE: Ledger boards should be attached with a double row of 1/2" machine bolts (and washers) at ends of board(s). Repair as necessary for increased deck stability.



1.1 Item 6(Picture) Insufficient attachment

*Revise FIGURE 20: 'LEDGER BOARD FASTENER SPACING AND CLEARANCES' to read:

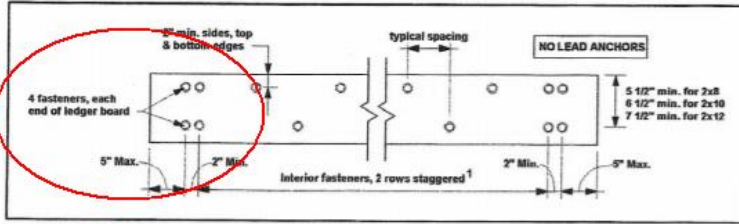


FIGURE 20: LEDGER BOARD FASTENER SPACING AND CLEARANCES

¹ Additional interior fasteners are required at chimney or bay window; see FIGURE 21.

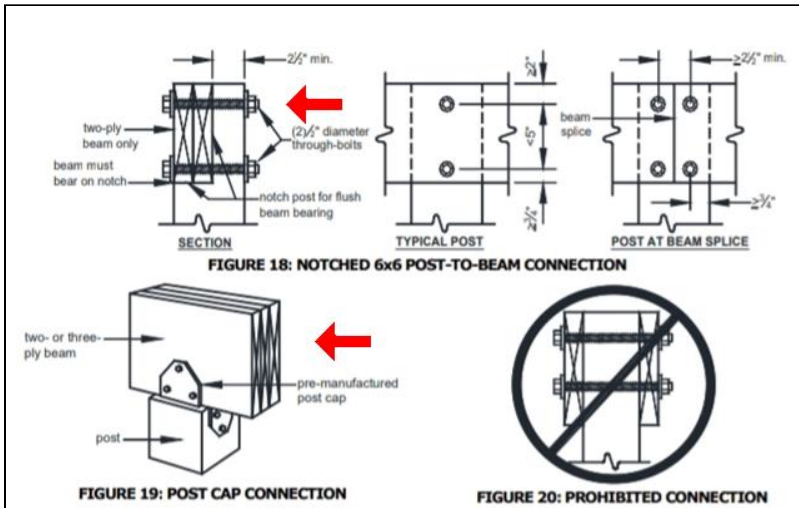
(Effective January 1, 2015)

1.1 Item 7(Picture) Proper bolting pattern

(8) Improper post-to-beam attachment noted at rear deck beam. NOTE: Beams should be supported from below (i.e. cut-in at 4x6" posts and secured with 1/2" through bolts [and washers] or using a post cap connector). Repair as necessary.

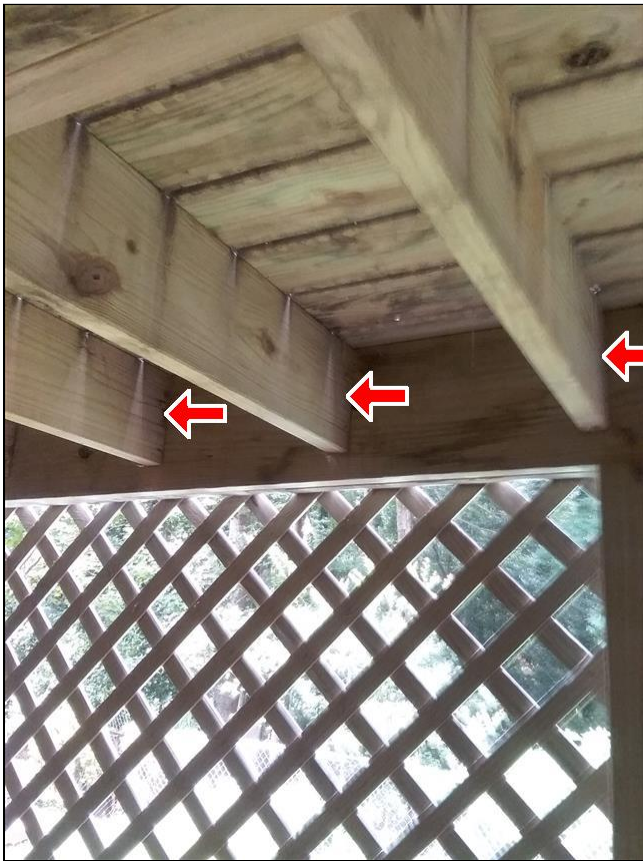


1.1 Item 8(Picture) Improper post to beam connection



1.1 Item 9(Picture) Accepted post to beam connections

(9) Missing joist hangers noted at rear deck at front joist/rim board intersections. Install joist hangers as necessary.



1.1 Item 10(Picture) Joist hangers should be used

(10) Ground contact noted at rear deck posts. NOTE: Infestation of wood destroying organisms and decay is possible. Monitor and repair as necessary using ground-contact rated materials. Recommend the clearing of soil away from all wood deck members.



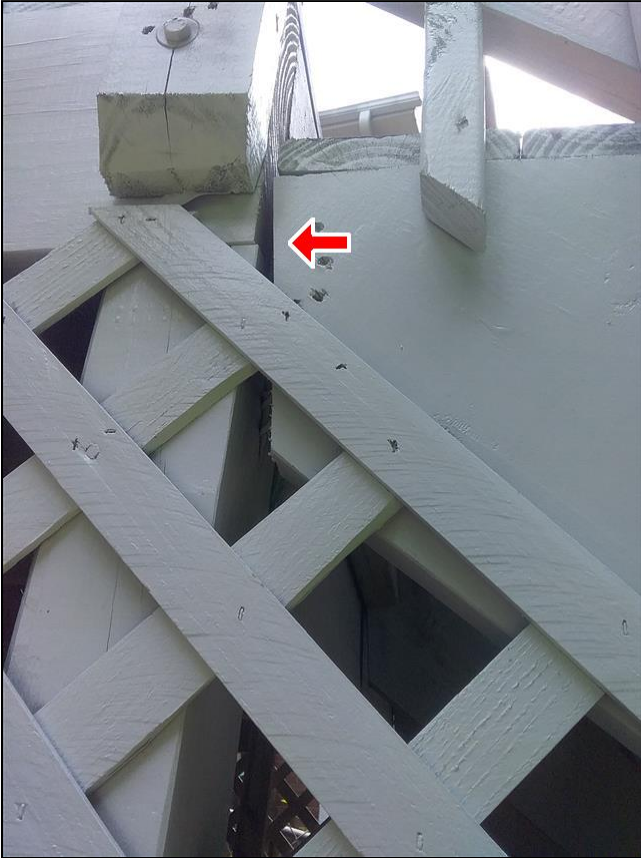
1.1 Item 11(Picture) Post in ground contact

(11) Presence of wood and cellulose debris noted under rear deck. The debris should be cleaned out to avoid attracting wood destroying organisms.

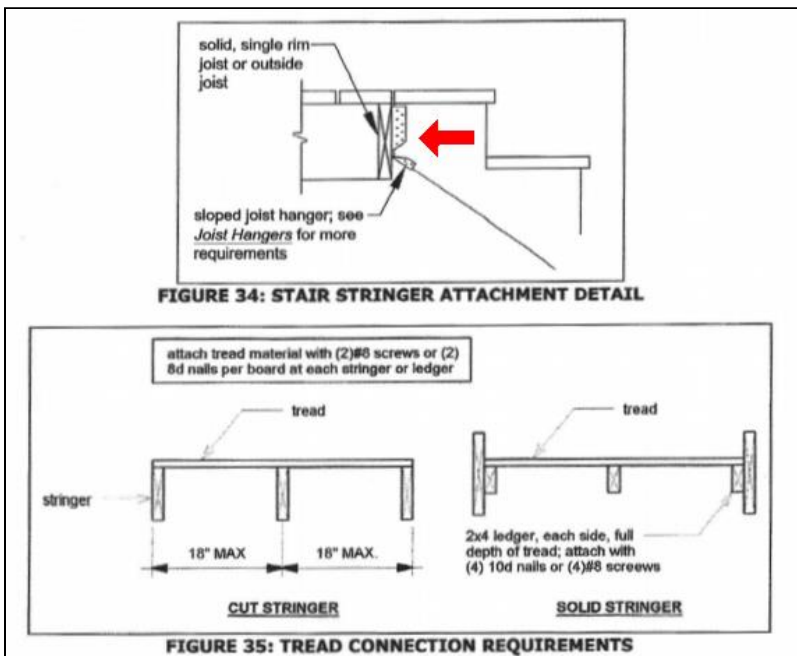


1.1 Item 12(Picture) Wood debris under deck

(12) Insufficient support noted at rear deck stair stringers. NOTE: Stringers should be fully supported with hangers at riser. Add supports below stringers.



1.1 Item 13(Picture) Insufficient stair support



1.1 Item 14(Picture) Proper stair support

(13) Deck structure below 2nd floor rear deck is covered and not visible. Unable to inspect structure. Monitor and repair as necessary.



1.1 Item 15(Picture) Second floor deck structure covered

(14) Further evaluation and repair of all deck issues by a licensed general contractor is recommended.

1.2 (1) Branches noted in contact with exterior and roof. Recommend maintaining a distance of at least 6" from the exterior to avoid possible damage to the exterior, or allow animal and moisture entry.



1.2 Item 1(Picture) Branches in contact with roof

(2) Leaning trees and overhanging branches noted at front of house. Remove/trim trees and/or branches as necessary to avoid hazard to occupants, or potential damage to the roof and exterior. Remedy of this condition by a qualified landscaping contractor is recommended.



1.2 Item 2(Picture) Overhanging branches

1.3 Common cracks noted at driveway. Monitor and repair, if necessary, using a licensed general contractor.



1.3 Item 1(Picture) Common cracks in driveway

1.5 Decay and bowing noted at rear retaining walls. Recommend consultation with a qualified contractor for further evaluation and repair.



1.5 Item 1(Picture) Bowing retaining wall



1.5 Item 2(Picture) Decay in retaining wall



1.5 Item 3(Picture) Decay in retaining wall

GROUND

The inspector shall inspect: Attached and adjacent decks, balconies, stoops, steps, porches, and their associated flashings and railings. Vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. Adjacent and entryway walkways, patios and driveways. **The inspector is NOT required to inspect:** Fences, boundary walls, and similar structures. Geological and soil conditions. Recreational facilities. Seawalls, break-walls, and docks. Erosion control and earth stabilization measures.

2. Exterior

Orientation: Description of exterior locations from facing front.

		IN	NI	NP	AR	Styles & Materials
2.0	WALL CLADDING	•			•	Siding material: Brick veneer Fiber cement Wood Composition
2.1	FLASHING AND TRIM	•			•	
2.2	SOFFITS AND FASCIAS	•			•	
2.3	DOORS (exterior)	•			•	Exterior entry doors: Wood Insulated glass
2.4	WINDOWS (exterior)	•			•	Trim soffit facia: Wood

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IN NI NP AR

Comments:

2.0 (1) The original lap siding installed on the house is wood composition siding (sometimes referred to as hardboard or Masonite). This was a popular siding choice in the late 80's into the mid 90's. It is a synthetic home siding product composed of a mixture of wood fibers, glues and resins, formed by using heat and pressure.

The problems that can occur with the siding is the absorption of moisture which can cause swelling and delamination of the siding. Keeping the siding sealed using caulking and paint is recommended to extend the life of the product. Some boards have already been replaced with a more modern fiber cement board.

The following conditions were observed:

(2) Deterioration noted to siding around dormer windows above garage. This is most likely a result of the close proximity of the siding to the roof coverings. Recommend maintaining a flashed 2" gap between siding and roofing to prevent further moisture damage to siding. Recommend the replacement of all damaged siding to prevent moisture penetration into the wood frame of the house.



2.0 Item 1(Picture) Deterioration of siding

(3) Some swelling of wood composition siding noted on left side and rear of house creating a "wavy" appearance.

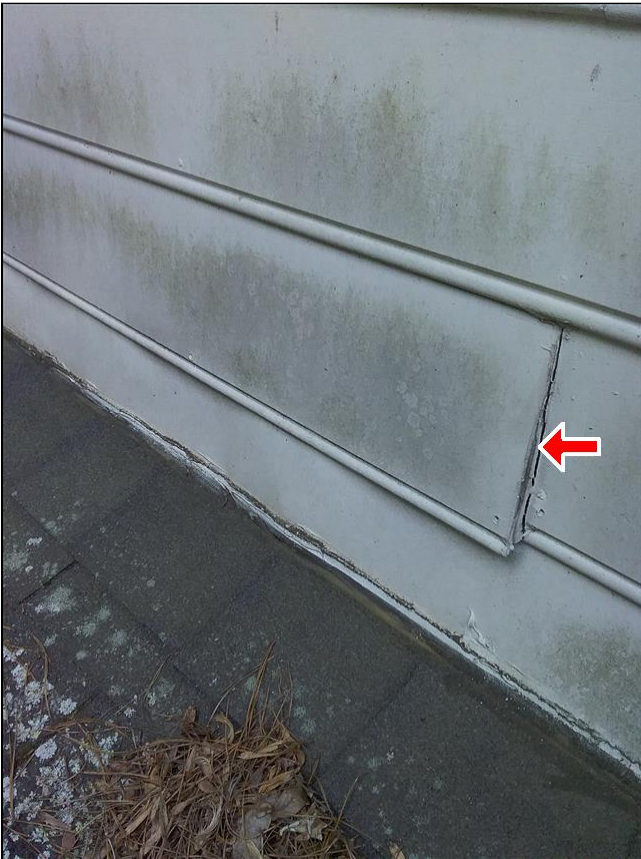


2.0 Item 2(Picture) Swollen lap siding



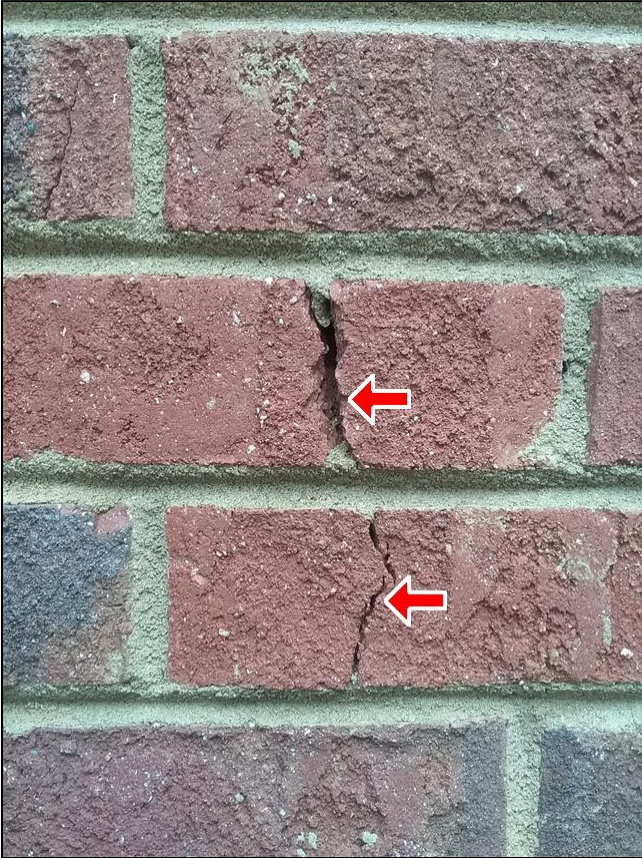
2.0 Item 3(Picture) Swelling at joint

(4) Loose siding noted on right side rear of house. Re-secure siding to prevent possible water penetration behind the siding.



2.0 Item 4(Picture) Loose siding

(5) Cracked brick veneer noted on right front side of house. Recommend periodic monitoring to ensure cracking does not worsen.



2.0 Item 5(Picture) Cracked brick veneer

(6) Further evaluation and repair of exterior cladding issues by a licensed general contractor is recommended.

2.1 Trim around double exterior door to deck shows signs of deterioration. Replacement of deteriorated trim by a licensed general contractor is recommended.



2.1 Item 1(Picture) Deteriorated trim

2.2 (1) Deterioration around fascia noted at dormers above garage. This may be due to contact between the wood and roof coverings. Replacement of all damaged fascia is recommended.



2.2 Item 1(Picture) Deteriorated fascia

(2) Deterioration noted in fascia at right rear corner of house.



2.2 Item 2(Picture) Deteriorated fascia

(3) Further evaluation and repair of fascia issues by a licensed general contractor is recommended.

2.3 (1) Damaged weather stripping noted on a rear exterior door. Replace with new weather stripping for a proper seal against outside conditions.



2.3 Item 1(Picture) Damaged weather stripping

(2) Double exterior door to deck does not latch at dead bolt or doorknob. Adjust as necessary.

(3) Some exterior doors are keyed. NOTE: Egress doors should not be keyed at the interior to allow for opening of the door(s) without a key in case of emergency. Install dead bolts with thumb latch.

2.4 Bare wood noted on trim on exterior windows in front of house. Recommend proper prep, priming and repainting of all bare wood surfaces by a licensed general contractor to seal out moisture penetration.



2.4 Item 1(Picture) Bare wood on window frame



2.4 Item 2(Picture) Bare wood on window frame

EXTERIOR

The inspector shall inspect: Wall coverings, flashing, and trim, exterior doors, eaves, soffits, and fascias where accessible from the ground level. **The inspector shall describe:** Wall coverings. **The inspector is NOT required to inspect:** Screening, shutters, awnings, and similar seasonal accessories. Outbuildings other than garages and carports.

3. Attic / Roof

Orientation: Description of roof locations from facing front.

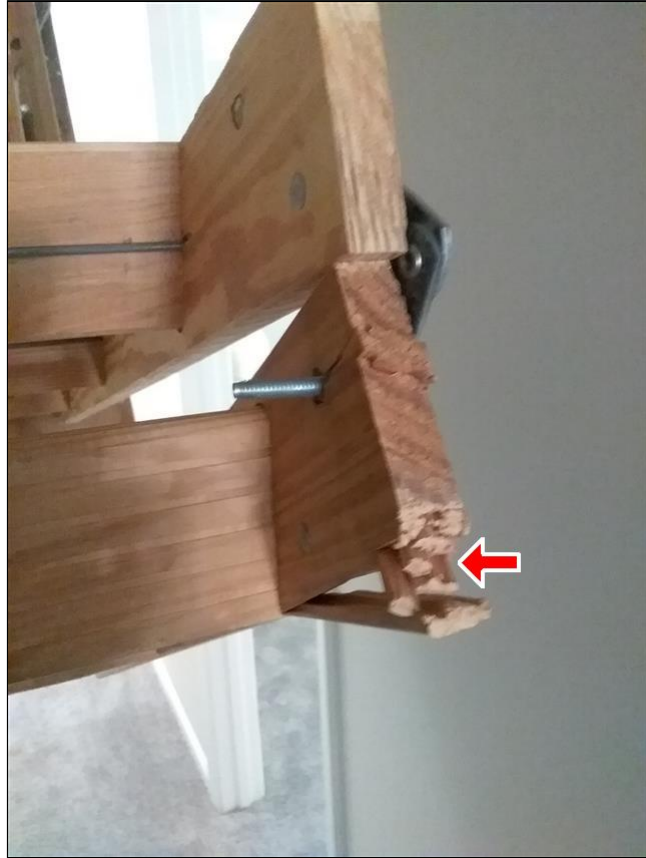
		IN	NI	NP	AR	Styles & Materials
3.0	ATTIC ACCESS	•			•	Method used to observe
3.1	ROOF STRUCTURE AND ATTIC	•				attic: Walked
3.2	INSULATION IN ATTIC	•				Attic info: Knee wall doors Pull-down stairs
3.3	VENTILATION OF ATTIC	•			•	Roof covering: 3-Tab fiberglass
3.4	ANIMAL AND INSECT ACTIVITY IN THE ATTIC	•				Roof structure: Conventional
3.5	ROOF COVERINGS	•				Roof decking: OSB sheathing
3.6	FLASHINGS	•			•	Viewed roof covering
3.7	SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS	•				from: Ground
3.8	ROOF DRAINAGE SYSTEMS	•				Sky light(s): Two
IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required		IN	NI	NP	AR	Chimney (exterior): Brick
						Attic venting: Soffit Power

Comments:

3.0 Attic access ladder is not properly sized. Resize ladder to provide a supported path. Damage noted to bottom section of the ladder. Repair or replace the ladder for enhanced safety.

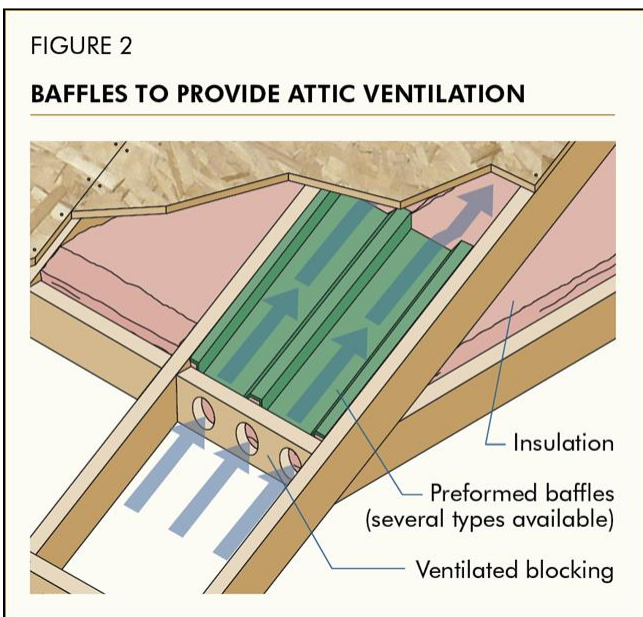


3.0 Item 1(Picture) Attic ladder is too long



3.0 Item 2(Picture) Damage to lader

3.3 (1) Missing baffles noted in the attic. NOTE: Baffles should be added at vent locations to prevent displacement of loose insulation into the soffit/eave cavity and restricting air flow through the attic. Refer to attached schematic for typical baffle installation.



3.3 Item 1(Picture) Proper baffle installation

(2) Missing firestat noted at whole-house fan. NOTE: A firestat should be installed in the path of airflow (typically above the fan) to improve fire safety. Install a firestat per manufacturers guidelines improved fire safety.

3.5 General condition of roof appears serviceable with normal signs of weathering and aging. Regular maintenance and inspections are advised.

3.6 Gap noted at flashing on plumbing vent at rear right corner of house. Recommend re-securing flashing to prevent possible moisture entry into roof. Further evaluation by a licensed general contractor is recommended.



3.6 Item 1(Picture) Gap between flashing and roof

ROOF / ATTIC

The inspector shall inspect: Roofing materials, roof drainage systems. Flashing, skylights, chimneys and roof penetrations. Insulation and ventilation of attics. **The inspector shall describe:** Methods used to inspect the roofing. Roofing materials, insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. **The inspector is NOT required to disturb insulation. The inspector is NOT required to inspect:** Antennae, interiors of vent systems. Flues and chimneys that are not readily accessible. Other installed accessories. **The inspector is NOT required to traverse:** Attic load-bearing components that are concealed by insulation or by other materials.

4. Garage / Carport

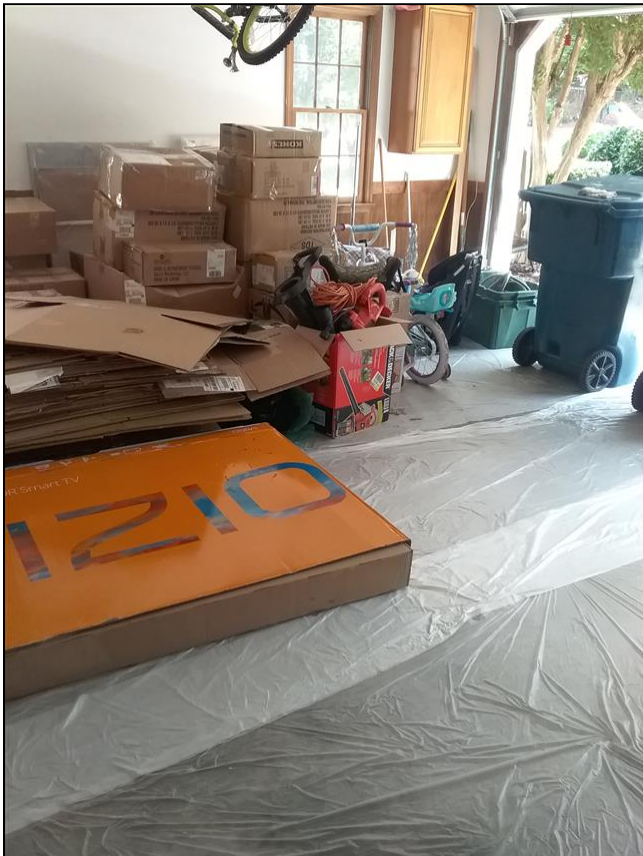
Orientation: Description of garage locations from facing garage entry.

		IN	NI	NP	AR	Styles & Materials
4.0	GARAGE CEILINGS	•				Garage door type: One automatic
4.1	GARAGE WALLS	•				
4.2	GARAGE FLOOR	•				
4.3	GARAGE DOORS	•			•	
4.4	GARAGE DOOR OPERATION (report whether or not doors will reverse when met with resistance)	•				
4.5	FIRE SAFETY	•				
4.6	OCCUPANT DOOR FROM GARAGE TO INSIDE HOME	•			•	
		IN	NI	NP	AR	

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

Comments:

4.2 Plastic covering and stored items prevent full inspection of garage surfaces.



4.2 Item 1(Picture) Plastic covering and stored items in garage

4.3 Damage noted to the lower right corner of garage door. This condition did not impede garage door function. Further evaluation and repair by a licensed overhead door contractor is recommended.



4.3 Item 1(Picture) Damage to garage door

4.6 The door between garage and living area is not fire-rated. NOTE: A solid door without windows should be installed to protect occupants. Recommend upgrade and install a solid/fire-rated door without windows to improve fire safety.

GARAGE

The inspector shall inspect: Garage vehicle doors and garage vehicle door operators.

5. Interiors

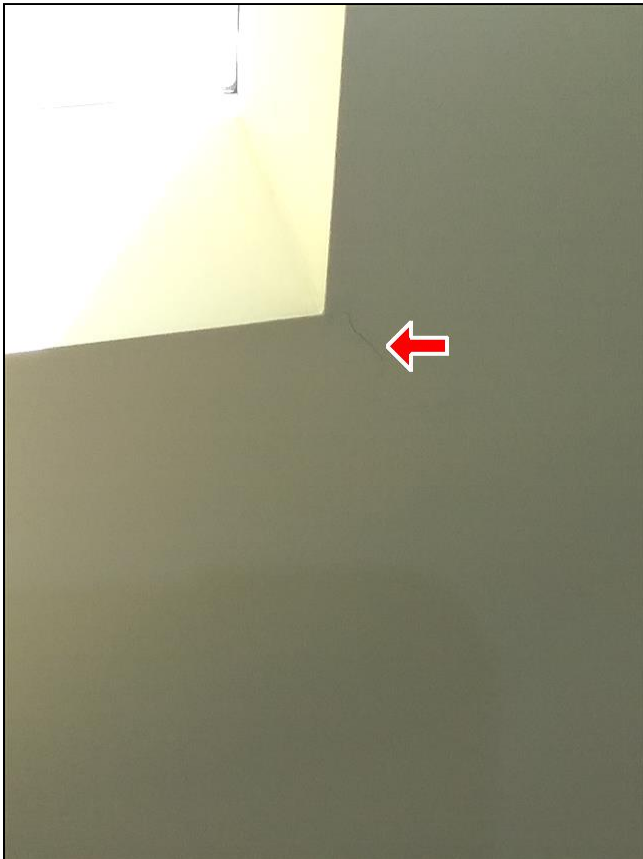
Orientation: Description of interior locations from facing entry from front or specific room entry.

		IN	NI	NP	AR	Styles & Materials
5.0	CEILINGS	•			•	Ceiling materials: Drywall
5.1	WALLS	•				Wall material: Drywall
5.2	FLOORS	•				Floor covering(s): Carpet Engineered hardwood Tile
5.3	STEPS, STAIRWAYS, BALCONIES AND RAILINGS	•			•	Window types: Wood Vinyl Thermal/Insulated Double-hung Tilt feature
5.4	DOORS (representative number)	•				
5.5	WINDOWS (representative number)	•			•	
5.6	FIREPLACES (heating devices, flues, vents)	•			•	Types of fireplaces: Solid Fuel Vented gas logs Operable fireplaces: Two

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

Comments:

5.0 Some cracking noted at corner of skylight in sun room. No problems noted from this condition at the time of inspection. Recommend further evaluation by a licensed general contractor.

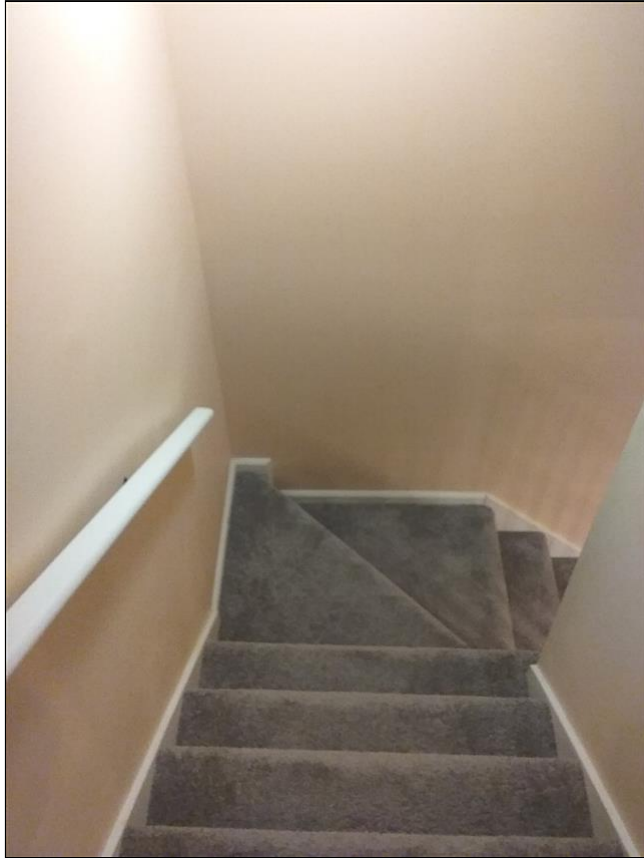


5.0 Item 1(Picture) Crack at sky light

5.3 Missing handrail sections noted at all internal stairwells. NOTE: Handrails should be continuous along the entire stairs. Further evaluation and repair by a licensed general contractor is recommended to maximize stair safety.



5.3 Item 1(Picture) Non continuous hand rail



5.3 Item 2(Picture) Non continuous hand rail

5.5 (1) Wood framed windows are difficult to open or painted shut in some locations. Recommend adjustment of window sashes by a licensed general contractor to restore windows to normal operation. NOTE: At least one window per room should be operable to allow for emergency egress.

(2) Missing safety glass noted at 2nd floor master bedroom window. NOTE: Windows at/lower than 18" to the floor and exceeding 9 sq.ft. should be equipped with safety glazing. Monitor and repair as necessary using a licensed general contractor.

5.6 (1) Recommend to have the fireplace and chimney further evaluated by a qualified chimney sweep for compliance with current fireplace/chimney construction and safety standards.

(2) Creosote build-up noted in the fireplace flue. Recommend flue cleaning by a licensed chimney professional before use.

INTERIORS

The inspector shall inspect: Walls, ceilings, and floors, steps, stairways, and railings. A representative number of installed cabinets, a representative number of doors and windows. Fuel-burning fireplaces, stoves, and fireplace inserts, fuel-burning accessories installed in fireplaces, chimneys and vent systems. **The inspector is NOT required to describe:** Systems and components of fuel-burning fireplaces. **The inspector is NOT required to inspect:** Paint, wallpaper, and other finish treatments, floor coverings, window treatments, coatings. Hermetic seals between panes of window glass, central vacuum systems, recreational facilities. Inspect interiors of fireplace vent systems, flues, and chimneys that are not readily accessible, fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and fireplace surrounds, combustion air components and to determine their adequacy. Heat distribution assists (gravity fed and fan assisted), fuel-burning fireplaces and appliances located outside the inspected structures. **The inspector is NOT required to determine:** Draft characteristics of fireplaces. **The inspector is NOT required to move:** Furniture, appliances, fireplace inserts, stoves or firebox contents.

6. Kitchen

Orientation: Description of kitchen locations from facing front or particular appliance/feature.

		IN	NI	NP	AR	Styles & Materials
6.0	REFRIGERATOR	•				Cabinetry: Wood Countertops: Solid surface Ventilation: Vent to exterior Cooktop/range type: Gas Oven type: Electric
6.1	DISHWASHER	•				
6.2	FAUCETS, DRAINS	•				
6.3	RANGES, OVENS, COOKTOPS	•				
6.4	VENTILATION	•				
6.5	FOOD WASTE DISPOSAL	•				
6.6	MICROWAVE COOKING EQUIPMENT	•			•	
6.7	CABINETS	•			•	
6.8	COUNTER TOPS	•				

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

Comments:

6.6 Door on microwave is loose. Further evaluation and repair by a qualified appliance repair contractor is recommended.

6.7 Several cabinet doors in the kitchen are out of plumb and do not close correctly. Further evaluation and repair by a licensed general contractor is recommended.



6.7 Item 1(Picture) Cabinet doors out of plumb

KITCHEN

The inspector shall inspect: Installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. Kitchen exhaust systems. **The inspector is NOT required to inspect:** Installed and free-standing kitchen appliances not listed previously. Appliance thermostats including their calibration, adequacy of heating elements, self-cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. **The inspector is NOT required to operate, or confirm the operation:** Of every control and feature of an inspected appliance.

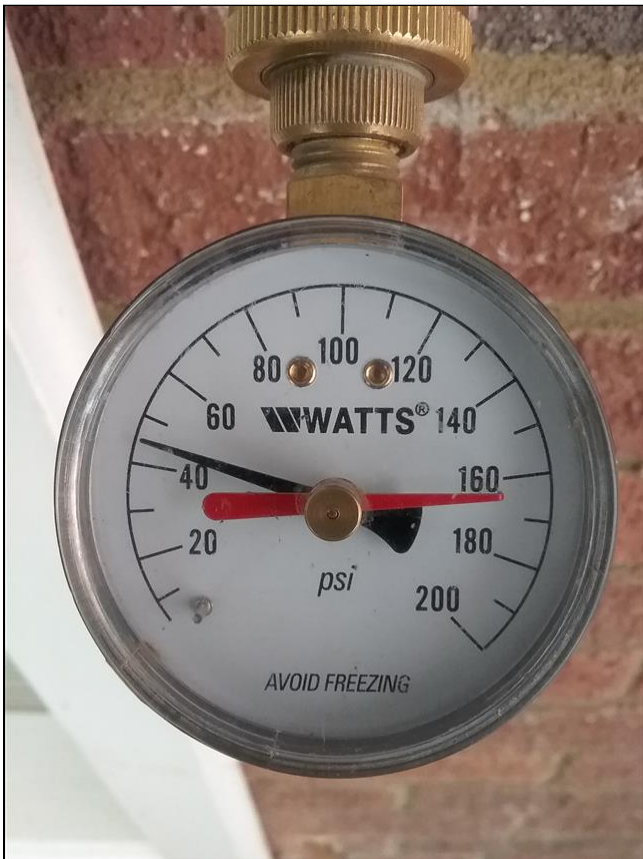
7. Plumbing System

Orientation: Description of interior locations from facing front or specific room entry; as practical.

		IN	NI	NP	AR	Styles & Materials
7.0	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•				Main water shut-off
7.1	PLUMBING WATER SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES	•			•	location: Not located
7.2	FUEL DISTRIBUTION SYSTEM	•				Plumbing water supply (into home): Not located
7.3	HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS	•			•	Plumbing water distribution (inside home): Copper
7.4	LAUNDRY	•			•	Plumbing waste drain materials: PVC
7.5	BATHROOMS	•			•	
7.6	BATHROOM VENTS	•				
IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required		IN	NI	NP	AR	Water heater power source: Gas (quick recovery) Water heater capacity: 40 gallon Water heater brand: A.O. SMITH Water heater location: Basement Utility Room Water heater age: 20 years and older Natural gas shut-off location: Left Bathroom venting: Fan

Comments:

7.1 (1) Water pressure is 45 lb, adequate.



7.1 Item 1(Picture) Water pressure reading

(2) Internal main water shut off was not located during the inspection. Recommend inquiring with the owner to determine the location.

(3) Missing vacuum breakers noted at exterior faucets. NOTE: A backflow preventer should be installed to protect the potable water system against back-siphoning of waste water. Install as necessary.



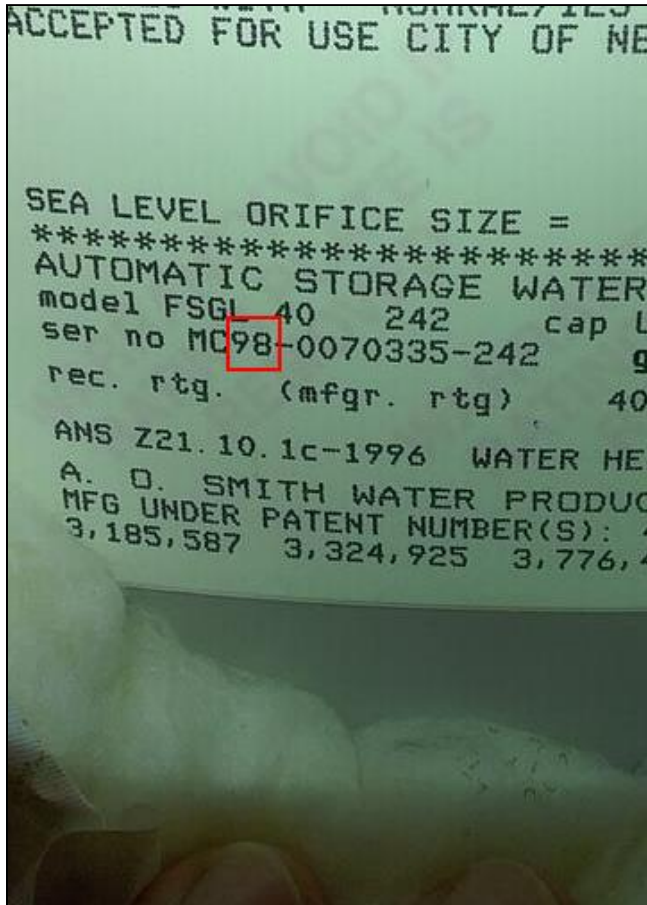
7.1 Item 2(Picture) Proper vacuum breaker installation

7.2 Fuel service enters left side of house.



7.2 Item 1(Picture) External fuel service entry

7.3 The water heater is 22 years old. NOTE: The typical life time of a water heater is 10 years. Recommend further evaluation by a licensed plumbing contractor. Budget for replacement.



7.3 Item 1(Picture) Date of manufacture, 1998

7.4 (1) Lint accumulation noted at dryer vent. Clean vent to avoid fire hazard.



7.4 Item 1(Picture) Lint in dryer vent

(2) Clothes washer and dryer were not tested. Clothes present in machines at time of inspection.

7.5 (1) No access to whirlpool pump noted at master bathroom tub. Provide/install access utilizing a general contractor.

(2) Debris noted in jetted tub after testing. Recommend cleaning the lines before use.



7.5 Item 1(Picture) Debris in jetted tub

(3) Corrugated pipe noted at 2nd floor hall and basement bathroom drain. NOTE: Drain pipes should be constructed from smooth materials to avoid the trapping of dirt and debris in the pleats. Recommend replacing drain pipe using a licensed plumber.



7.5 Item 2(Picture) Corrugated drain



7.5 Item 3(Picture) Corrugated drain

(4) Stoppers not operating at 1st floor bathroom sink. Repair/replace as necessary.

(5) Shower door in master bathroom is loose at it's top hinge. Adjust as necessary using a licensed general contractor.



7.5 Item 4(Picture) Shower door loose at hinge

(6) Grout around jetted tub is worn and should be replaced.

(7) Further evaluation and repair of all plumbing related issues by a licensed plumbing contractor is recommended.

PLUMBING

The inspector shall inspect: Interior water supply and distribution systems including fixtures and faucets. Interior drain, waste, and vent systems including fixtures, water heating equipment and hot water supply systems, vent systems, flues, and chimneys. Fuel storage and fuel distribution systems. Sewage ejectors, sump pumps, and related piping. Clothes dryer, laundry, bathroom and similar exhaust systems. **The inspector shall describe:** Interior water supply. Drain, waste, and vent piping materials. Water heating equipment, including energy source(s). Location of main water and fuel shut-off valves. **The inspector is NOT required to inspect:** Clothes washing machine connections. Interiors of vent systems, flues, and chimneys that are not readily accessible. Wells, well pumps, and water storage related equipment, water conditioning systems. Solar, geothermal, and other renewable energy water heating systems. Manual and automatic fire extinguishing and sprinkler systems. Landscape irrigation systems. Septic and other sewage disposal systems. **The inspector is NOT required to determine:** Whether water supply and sewage disposal are public or private. Water quality. The adequacy of combustion air components. Measure water supply flow and pressure, well water quantity. Fill shower pans and fixtures to test for leaks.

8. Electrical System

Orientation: Description of electrical components from front or facing from room entrance; as applicable.

		IN	NI	NP	AR	Styles & Materials
8.0	SERVICE ENTRANCE CONDUCTORS	•				Electrical service
8.1	SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS	•			•	conductors: Below ground Aluminum 120/240 volts
8.2	BRANCH WIRING	•			•	Location of main
8.3	CONNECTED DEVICES AND FIXTURES (observed from a representative number of ceiling fans, lighting fixtures and switches)	•			•	disconnect: At meter
8.4	RECEPTACLES (observed from a representative number of receptacles)	•			•	Location panel (main and
8.5	GFCI (Ground Fault Circuit Interrupters)	•			•	sub-panels): Basement, finished
8.6	AFCI (Arc Fault Circuit Interrupters)	•			•	Panel capacity: 200 AMP
8.7	SMOKE DETECTORS	•			•	Branch wire 15 and 20
8.8	CARBON MONOXIDE DETECTORS	•			•	AMP: Copper
IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required						Wiring methods: Romex
						Grounding method: Grounding rod

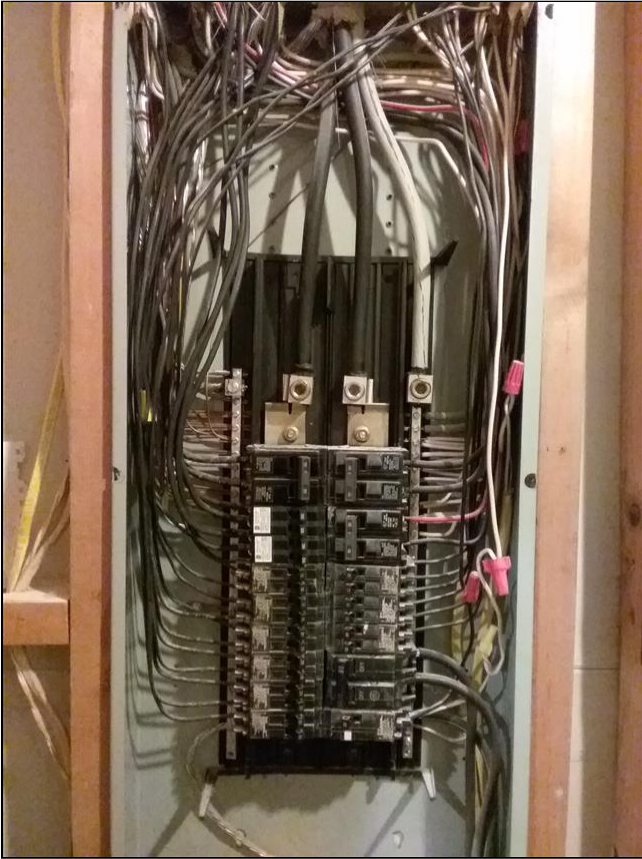
Comments:

8.0 External electric meter and main disconnect located on left side of house.



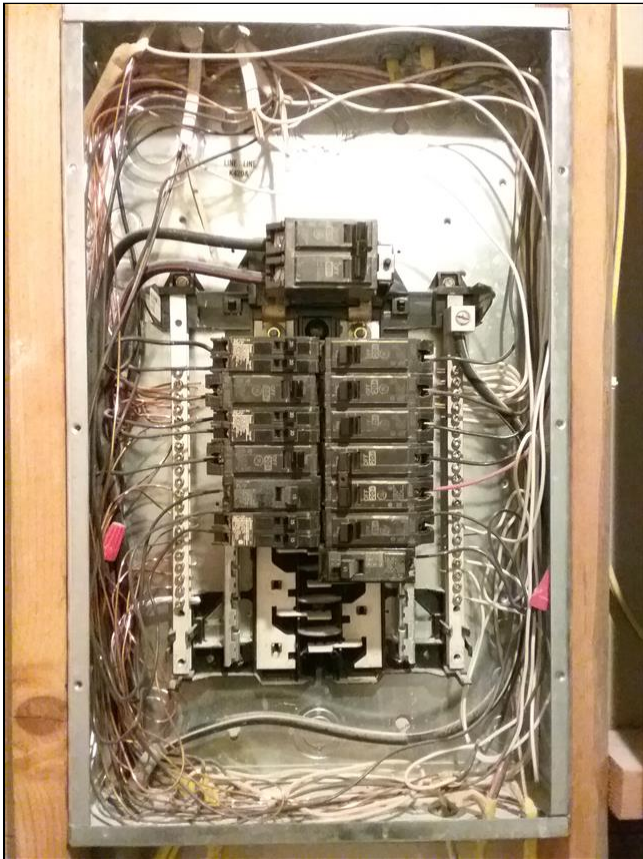
8.0 Item 1(Picture) External service and main disconnect

8.1 (1) Main distribution panel is located in closet in basement.



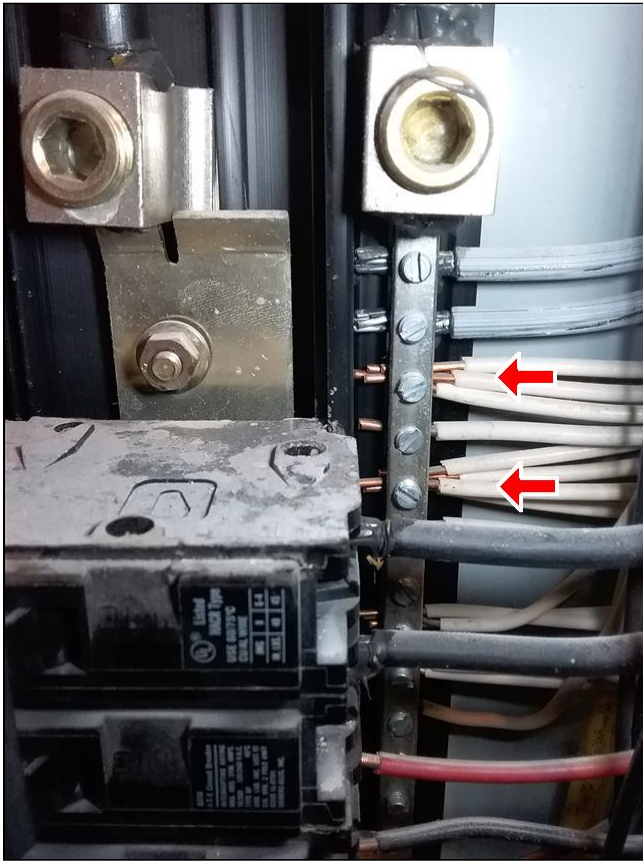
8.1 Item 1(Picture) Open main distribution panel

(2) Sub panel is located in closet in basement next to main distribution panel.

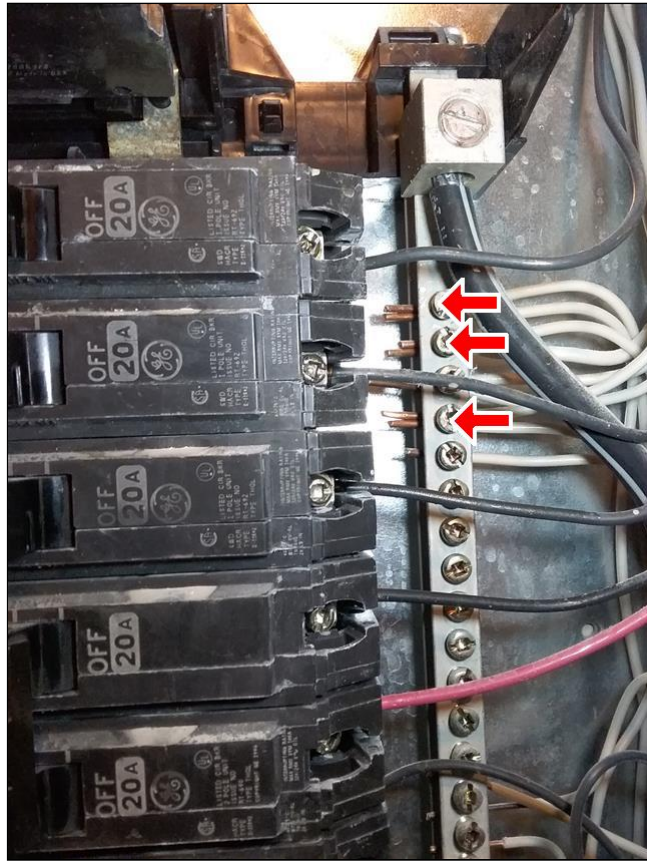


8.1 Item 2(Picture) Open sub panel

(3) Multiple neutrals terminate under a single lug in both panels. Each neutral should be installed under a separate lug.

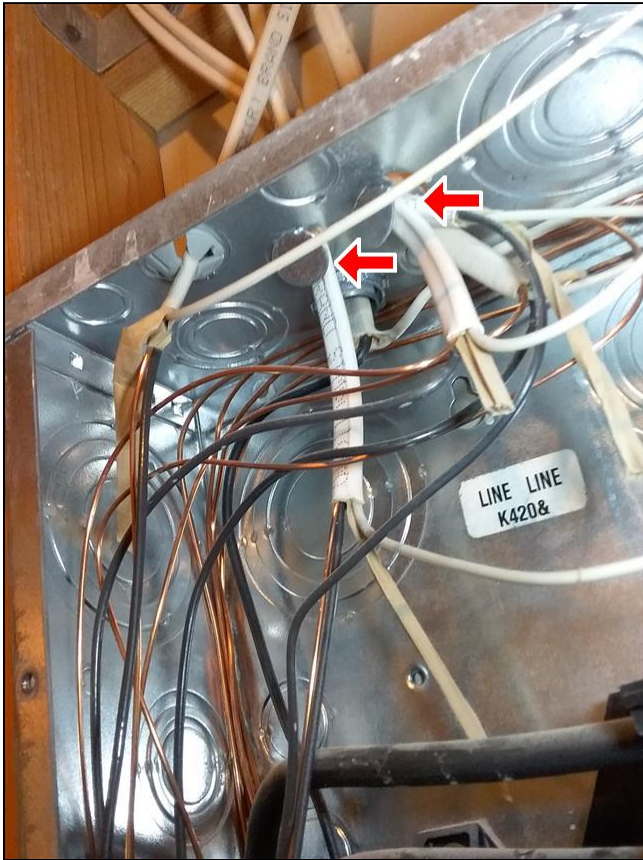


8.1 Item 3(Picture) Multiple neutrals under one lug



8.1 Item 4(Picture) Multiple neutrals under one lug

(4) Missing wire connectors noted in sub panel. Wire connectors should be installed where wires enter the box to prevent possible damage to wiring.



8.1 Item 5(Picture) Missing wire connectors

(5) Missing panel bonding noted at sub panel. NOTE: All electrical panels/enclosures should be bonded to avoid potential shock hazard.

(6) Missing labels noted at the distribution panel. Identify circuits and label breakers accordingly.

(7) The evaluation and remedy of all electrical issues by a licensed electrician is recommended.

8.2 Exposed wiring noted in kitchen above sink. NOTE: Wiring connections/splices should be protected with approved wiring methods (i.e. junction boxes). Install junction boxes as necessary using a licensed electrician.



8.2 Item 1(Picture) Exposed wiring

8.3 Light fixture above pool table in basement is blinking. Further evaluation by a licensed electrician is recommended.

8.4 (1) Rear exterior receptacles are missing covers. Covers should be installed to protect the receptacles from moisture.

(2) Loose receptacle noted in foyer. Secure the receptacle to avoid potential shock hazard.



8.4 Item 1(Picture) Loose receptacle

8.5 GFCI-protection missing at some rear exterior receptacles. Recommend upgrading receptacles and install GFCI (and AFCI, as applicable)-protection at required locations. Consult with a licensed electrical contractor for further evaluation.

8.6 No AFCI protection was installed. Installation of arc fault protection to current standards is recommended as an upgrade for safety. Consult with a licensed electrician for more information.

8.7 Missing smoke detectors noted throughout. NOTE: Recommend upgrading the smoke alarm system to include smoke alarms at each level, each bedroom area and each bedroom.

8.8 No carbon monoxide detectors present. Installation of carbon monoxide detectors in all currently required locations is recommended as an upgrade for safety.

ELECTRICAL

The inspector shall inspect: Service drop, service entrance conductors, cables, and raceways. Service equipment and main disconnects. Service grounding. Interior components of service panels and subpanels. Conductors, overcurrent protection devices. A representative number of installed lighting fixtures, switches and receptacles. Ground fault circuit interrupters and arc fault circuit interrupters. **The inspector shall describe:** Amperage rating of the service. Location of main disconnect(s) and subpanels. Presence or absence of smoke alarms and carbon monoxide alarms. The predominant branch circuit wiring method. **The inspector is NOT required to inspect:** Remote control devices, test smoke and carbon monoxide alarms, security systems, other signaling and warning devices. Low voltage wiring systems and components. Ancillary wiring systems and components not a part of the primary electrical power distribution system. Solar, geothermal, wind and other renewable energy systems. **The inspector is NOT required to measure:** amperage, voltage and impedance. **The inspector is NOT required to determine:** Age and type of smoke alarms and carbon monoxide alarms.

9. Heating / Air Conditioning

Orientation: Description of applicancies at specific locations or serving specific locations; as applicable.

		IN	NI	NP	AR	Styles & Materials
9.0	HEATING EQUIPMENT	•			•	Main floor heat system
9.1	NORMAL OPERATING CONTROLS	•				brand: LENNOX Approximate date of manufacture : 2006
9.2	AUTOMATIC SAFETY CONTROLS	•				Main floor type / BTU/hr.: Gas 88,000 BTU/hr.
9.3	DISTRIBUTION SYSTEMS (fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•			•	2nd floor heat system
9.4	COOLING AND AIR HANDLER EQUIPMENT	•			•	brand: CARRIER Approximate date of manufacture : 1986 2nd floor type / BTU/hr.: Gas 75,000 BTU/hr. Main floor air conditioner brand: CARRIER Approximate date of manufacture : 2015 Main floor type / tonnage: 3 1/2 ton 2nd floor air conditioner brand: INT. COMFORT Approximate date of manufacture : 1999 2nd floor type / tonnage: 2 1/2 ton

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

Comments:

9.0 (1) The serial number of the 1st floor furnace indicates a year of manufacture in 2006 and is 14 years old. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor. Budget for a replacement in the near future.

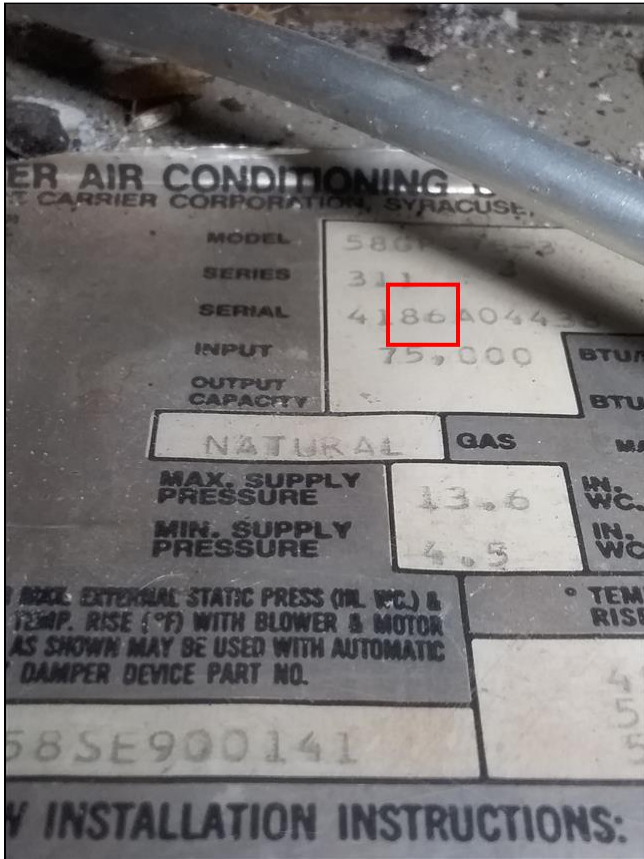
The disposable filter is dirty and should be replaced.



9.0 Item 1(Picture) Location of filter

(2) The serial number of the 2nd floor furnace indicates a year of manufacture in 1986 and is 34 years old. Corrosion was noted inside the burn chamber. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/ evaluation by a licensed HVAC contractor. Budget for a replacement in the near future.

The disposable filter is clean.



9.0 Item 2(Picture) Date of manufacture, 1986

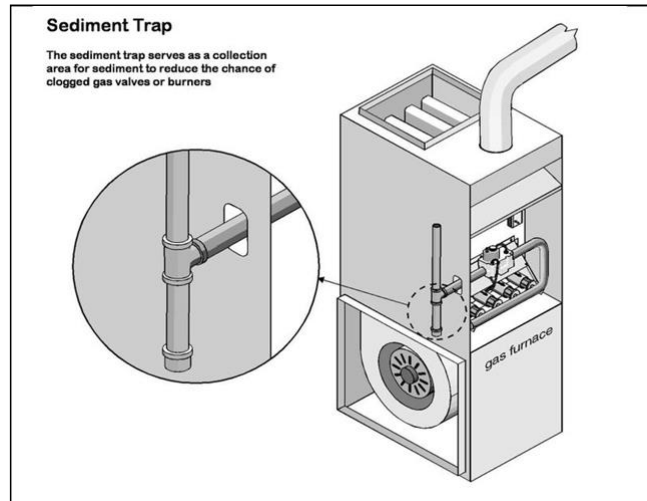


9.0 Item 3(Picture) Filter location

(3) Missing sediment trap noted at the 2nd floor furnace gas supply. NOTE: The sediment trap has to be installed at a turn of gas supply to work as intended. Refer to attached schematic for acceptable sediment trap configuration. Installation of a sediment trap by a licensed HVAC contractor is recommended.



9.0 Item 4(Picture) No sediment trap installed



9.0 Item 5(Picture) Proper sediment trap installation

(4) Leaking noted at line set at rear of 2nd floor furnace. Further evaluation repair by a licensed HVAC contractor is recommended.



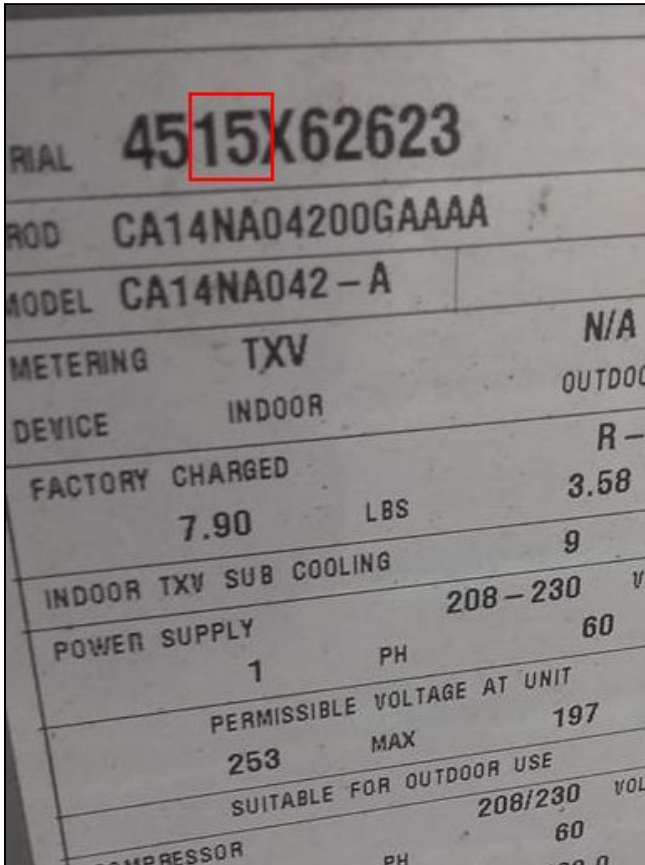
9.0 Item 6(Picture) Leak noted at rear of furnace

(5) Heating on second floor is inadequate. Readings at registers never exceeded 85 degrees. Further evaluation by a licensed HVAC contractor is recommended.

9.1 NOTE: The heating and air conditioning system is zoned and can be controlled separately for the 1st floor and basement. The zone functions and heating and air conditioning functions did operate properly at time of inspection.

9.3 First floor bathroom off of sunroom does not have HVAC distribution. Further consultation with a licensed HVAC contractor is recommended is conditioned air is desired in this location.

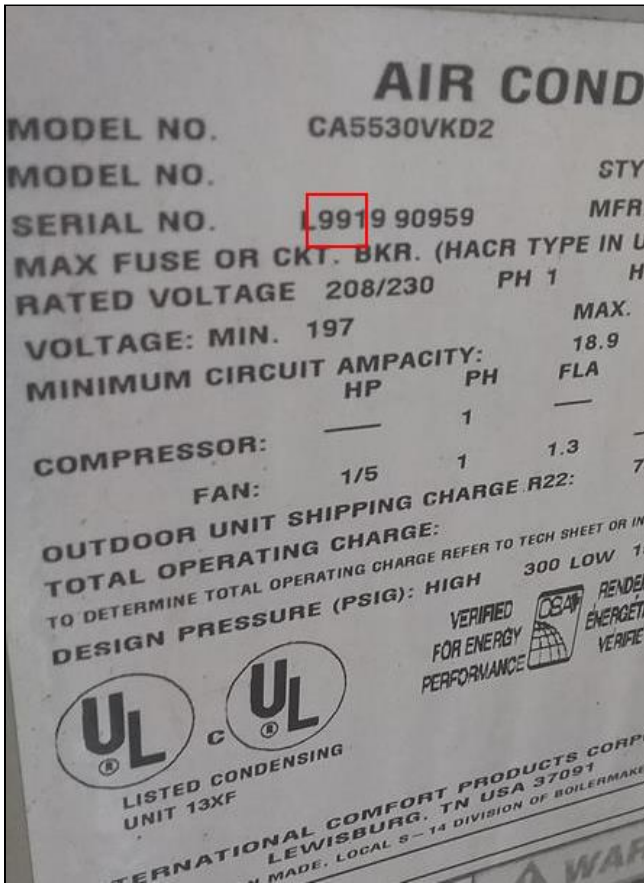
9.4 (1) AC unit for first floor/basement is 5 years old.



9.4 Item 1(Picture) Date of manufacture, 2015

(2) The serial number of the 2nd floor air conditioning unit indicates a year of manufacture in 1999 and is 21 years old.

NOTE: The typical life expectancy of condensers in the Southeast US is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor. Budget for a replacement in the near future.



9.4 Item 2(Picture) Date of manufacture, 1999

HEATING / COOLING

The inspector shall open: readily openable access panels. **The inspector shall inspect:** Installed heating equipment. Central and permanently installed cooling equipment, vent systems, flues, and chimneys, distribution systems. **The inspector shall describe:** Heating systems, cooling systems and their energy source(s). **The inspector is NOT required to inspect:** Interiors of vent systems, flues, and chimneys that are not readily accessible. Heat exchangers, humidifiers and dehumidifiers, electric air cleaning and sanitizing devices, heating systems using ground-source. Inspect heating and cooling units that are not permanently installed or that are installed in windows. Water-source, solar, and renewable energy technologies. Heat-recovery and similar whole-house mechanical ventilation systems. **The inspector is NOT required to determine:** Heat and cooling supply adequacy and distribution balance. The adequacy of combustion air components.

10. Foundation

Orientation: Description of locations from facing front.

		IN	NI	NP	AR	Styles & Materials
10.0	FOUNDATIONS GENERAL	•				Foundation: Poured concrete
10.1	FOUNDATIONS	•				Floor structure: Wood joists
10.2	WALLS	•				Columns or piers: Supporting walls
10.3	COLUMNS OR PIERS	•				Ceiling structure: Wood joists
10.4	FLOORS	•				
10.5	CEILINGS	•				
10.6	ANIMAL AND INSECT ACTIVITY	•				
		IN	NI	NP	AR	

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

Comments:

10.1 Areas of foundation located under finished surfaces in basement are not accessible for visual inspection.

FOUNDATION

The inspector shall inspect: Structural components, including the foundation and framing. Insulation and vapor retarders in unfinished spaces, ventilation of foundation areas. **The inspector shall describe:** The foundation, the floor structure, the wall structure, the ceiling structure. Insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. Methods used to inspect under-floor crawlspaces. **The inspector is NOT required to disturb insulation.** **The inspector is NOT required to provide:** Engineering or architectural services or analysis. **The inspector is NOT required to offer:** An opinion about the adequacy of structural systems and components. **The inspector is NOT required to enter:** Under-floor crawlspace areas that have less than 24 inches of vertical clearance between component and the ground or that have an access opening smaller than 16 inches by 24 inches.

Priority Summary



Champia Real Estate Inspections

**4015 Wetherburn Way
Bldg. A, Suite 200
Norcross, GA 30092
770-953-0767**

Customer
Darshan Patel

Address
3080 Pillement PI
Alpharetta GA 30022

1. Grounds

1.0 STOOPS, STEPS, AREAWAYS, PORCHES

Inspected, Attention required

- (1) Handrails oversized at both sets of rear exterior steps. NOTE: Handrails should be graspable. Install as necessary for enhanced safety.
- (2) No landings noted at rear exterior stairs. The steps should bear on a concrete landing that is equal to or greater than the width of the stairs and a minimum of 36" in the direction of travel.
- (3) Treads not illuminated on left rear exterior steps. For enhanced stair safety, landings and treads should be illuminated by an external light source.

1.1 DECKS, SUN ROOM

Inspected, Attention required

- (2) Improper post-to-beam attachment noted at rear deck guard rail. NOTE: Posts should be attached full-width (not notched) and secured with 2 x 1/2" through bolts and washers (not nailed) with hold down straps installed under the deck.
- (3) Rear deck stairs are not illuminated. Treads and landings on external steps should be illuminated by an external light source for enhanced safety.

- (4) Handrail oversized at rear deck stairs. NOTE: Handrails should be graspable. Install as necessary for enhanced safety.
- (5) Missing flashing noted at rear deck rim board attached to the home. NOTE: Flashings represent a barrier between intersected/attached features and should be installed to protect interior structural components (i.e. structural panels). Install flashings where necessary.
- (6) Improper ledger board attachment noted at rear deck. NOTE: Ledger boards should not be attached directly to masonry veneer. Instead these decks should be constructed as "free standing" and not attached directly to the structure.
- (7) Insufficient ledger board attachment noted at rear deck. NOTE: Ledger boards should be attached with a double row of 1/2" machine bolts (and washers) at ends of board(s). Repair as necessary for increased deck stability.
- (8) Improper post-to-beam attachment noted at rear deck beam. NOTE: Beams should be supported from below (i.e. cut-in at 4x6" posts and secured with 1/2" through bolts [and washers] or using a post cap connector). Repair as necessary.
- (9) Missing joist hangers noted at rear deck at front joist/rim board intersections. Install joist hangers as necessary.
- (10) Ground contact noted at rear deck posts. NOTE: Infestation of wood destroying organisms and decay is possible. Monitor and repair as necessary using ground-contact rated materials. Recommend the clearing of soil away from all wood deck members.
- (11) Presence of wood and cellulose debris noted under rear deck. The debris should be cleaned out to avoid attracting wood destroying organisms.
- (12) Insufficient support noted at rear deck stair stringers. NOTE: Stringers should be fully supported with hangers at riser. Add supports below stringers.

1.2 VEGETATION (with respect to their effect on the condition of the building)

Inspected, Attention required

- (1) Branches noted in contact with exterior and roof. Recommend maintaining a distance of at least 6" from the exterior to avoid possible damage to the exterior, or allow animal and moisture entry.

1.5 RETAINING WALLS

Inspected, Attention required

- Decay and bowing noted at rear retaining walls. Recommend consultation with a qualified contractor for further evaluation and repair.

2. Exterior

2.0 WALL CLADDING

Inspected, Attention required

- (2) Deterioration noted to siding around dormer windows above garage. This is most likely a result of the close proximity of the siding to the roof coverings. Recommend maintaining a flashed 2" gap between siding and roofing to prevent further moisture damage to siding. Recommend the replacement of all damaged siding to prevent moisture penetration into the wood frame of the house.
- (4) Loose siding noted on right side rear of house. Re-secure siding to prevent possible water penetration behind the siding.

2.1 FLASHING AND TRIM

Inspected, Attention required

- Trim around double exterior door to deck shows signs of deterioration. Replacement of deteriorated trim by a licensed general contractor is recommended.

2.2 SOFFITS AND FASCIAS

Inspected, Attention required

- (1) Deterioration around fascia noted at dormers above garage. This may be due to contact between the wood and roof coverings. Replacement of all damaged fascia is recommended.

3. Attic / Roof

3.0 ATTIC ACCESS

Inspected, Attention required

Attic access ladder is not properly sized. Resize ladder to provide a supported path. Damage noted to bottom section of the ladder. Repair or replace the ladder for enhanced safety.

3.3 VENTILATION OF ATTIC

Inspected, Attention required

(2) Missing firestat noted at whole-house fan. NOTE: A firestat should be installed in the path of airflow (typically above the fan) to improve fire safety. Install a firestat per manufacturers guidelines improved fire safety.

5. Interiors

5.6 FIREPLACES (heating devices, flues, vents)

Inspected, Attention required

(1) Recommend to have the fireplace and chimney further evaluated by a qualified chimney sweep for compliance with current fireplace/chimney construction and safety standards.

7. Plumbing System

7.3 HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS

Inspected, Attention required

The water heater is 22 years old. NOTE: The typical life time of a water heater is 10 years. Recommend further evaluation by a licensed plumbing contractor. Budget for replacement.

7.4 LAUNDRY

Inspected, Attention required

(1) Lint accumulation noted at dryer vent. Clean vent to avoid fire hazard.

8. Electrical System

8.1 SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS

Inspected, Attention required

(3) Multiple neutrals terminate under a single lug in both panels. Each neutral should be installed under a separate lug.

(4) Missing wire connectors noted in sub panel. Wire connectors should be installed where wires enter the box to prevent possible damage to wiring.

(5) Missing panel bonding noted at sub panel. NOTE: All electrical panels/enclosures should be bonded to avoid potential shock hazard.

8.2 BRANCH WIRING

Inspected, Attention required

Exposed wiring noted in kitchen above sink. NOTE: Wiring connections/splices should be protected with approved wiring methods (i.e. junction boxes). Install junction boxes as necessary using a licensed electrician.

8.4 RECEPTACLES (observed from a representative number of receptacles)

Inspected, Attention required

(1) Rear exterior receptacles are missing covers. Covers should be installed to protect the receptacles from moisture.

(2) Loose receptacle noted in foyer. Secure the receptacle to avoid potential shock hazard.

8.5 GFCI (Ground Fault Circuit Interrupters)**Inspected, Attention required**

GFCI-protection missing at some rear exterior receptacles. Recommend upgrading receptacles and install GFCI (and AFCI, as applicable)-protection at required locations. Consult with a licensed electrical contractor for further evaluation.

9. Heating / Air Conditioning**9.0 HEATING EQUIPMENT****Inspected, Attention required**

(1) The serial number of the 1st floor furnace indicates a year of manufacture in 2006 and is 14 years old. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor. Budget for a replacement in the near future.

The disposable filter is dirty and should be replaced.

(2) The serial number of the 2nd floor furnace indicates a year of manufacture in 1986 and is 34 years old. Corrosion was noted inside the burn chamber. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor. Budget for a replacement in the near future.

The disposable filter is clean.

(3) Missing sediment trap noted at the 2nd floor furnace gas supply. NOTE: The sediment trap has to be installed at a turn of gas supply to work as intended. Refer to attached schematic for acceptable sediment trap configuration. Installation of a sediment trap by a licensed HVAC contractor is recommended.

(4) Leaking noted at line set at rear of 2nd floor furnace. Further evaluation repair by a licensed HVAC contractor is recommended.

(5) Heating on second floor is inadequate. Readings at registers never exceeded 85 degrees. Further evaluation by a licensed HVAC contractor is recommended.

9.4 COOLING AND AIR HANDLER EQUIPMENT**Inspected, Attention required**

(2) The serial number of the 2nd floor air conditioning unit indicates a year of manufacture in 1999 and is 21 years old. NOTE: The typical life expectancy of condensers in the Southeast US is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor. Budget for a replacement in the near future.

General Summary



Champia Real Estate Inspections

**4015 Wetherburn Way
Bldg. A, Suite 200
Norcross, GA 30092
770-953-0767**

Customer
Darshan Patel

Address
3080 Pillement PI
Alpharetta GA 30022

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Grounds

1.2 VEGETATION (with respect to their effect on the condition of the building)

Inspected, Attention required

(2) Leaning trees and overhanging branches noted at front of house. Remove/trim trees and/or branches as necessary to avoid hazard to occupants, or potential damage to the roof and exterior. Remedy of this condition by a qualified landscaping contractor is recommended.

1.3 DRIVEWAY, WALKWAYS, PATIOS

Inspected, Attention required

Common cracks noted at driveway. Monitor and repair, if necessary, using a licensed general contractor.

2. Exterior

2.0 WALL CLADDING

Inspected, Attention required

(3) Some swelling of wood composition siding noted on left side and rear of house creating a "wavy" appearance.
(5) Cracked brick veneer noted on right front side of house. Recommend periodic monitoring to ensure cracking does not worsen.

2.2 SOFFITS AND FASCIAS

Inspected, Attention required

(2) Deterioration noted in fascia at right rear corner of house.

2.3 DOORS (exterior)

Inspected, Attention required

(1) Damaged weather stripping noted on a rear exterior door. Replace with new weather stripping for a proper seal against outside conditions.
(2) Double exterior door to deck does not latch at dead bolt or doorknob. Adjust as necessary.
(3) Some exterior doors are keyed. NOTE: Egress doors should not be keyed at the interior to allow for opening of the door(s) without a key in case of emergency. Install dead bolts with thumb latch.

2.4 WINDOWS (exterior)

Inspected, Attention required

Bare wood noted on trim on exterior windows in front of house. Recommend proper prep, priming and repainting of all bare wood surfaces by a licensed general contractor to seal out moisture penetration.

3. Attic / Roof

3.3 VENTILATION OF ATTIC

Inspected, Attention required

(1) Missing baffles noted in the attic. NOTE: Baffles should be added at vent locations to prevent displacement of loose insulation into the soffit/eave cavity and restricting air flow through the attic. Refer to attached schematic for typical baffle installation.

3.6 FLASHINGS

Inspected, Attention required

Gap noted at flashing on plumbing vent at rear right corner of house. Recommend re-securing flashing to prevent possible moisture entry into roof. Further evaluation by a licensed general contractor is recommended.

4. Garage / Carport

4.3 GARAGE DOORS

Inspected, Attention required

Damage noted to the lower right corner of garage door. This condition did not impede garage door function. Further evaluation and repair by a licensed overhead door contractor is recommended.

4.6 OCCUPANT DOOR FROM GARAGE TO INSIDE HOME

Inspected, Attention required

The door between garage and living area is not fire-rated. NOTE: A solid door without windows should be installed to protect occupants. Recommend upgrade and install a solid/fire-rated door without windows to improve fire safety.

5. Interiors

5.0 CEILINGS

Inspected, Attention required

Some cracking noted at corner of skylight in sun room. No problems noted from this condition at the time of inspection. Recommend further evaluation by a licensed general contractor.

5.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Inspected, Attention required

Missing handrail sections noted at all internal stairwells. NOTE: Handrails should be continuous along the entire stairs. Further evaluation and repair by a licensed general contractor is recommended to maximize stair safety.

5.5 WINDOWS (representative number)

Inspected, Attention required

(1) Wood framed windows are difficult to open or painted shut in some locations. Recommend adjustment of window sashes by a licensed general contractor to restore windows to normal operation. NOTE: At least one window per room should be operable to allow for emergency egress.

(2) Missing safety glass noted at 2nd floor master bedroom window. NOTE: Windows at/lower than 18" to the floor and exceeding 9 sq.ft. should be equipped with safety glazing. Monitor and repair as necessary using a licensed general contractor.

5.6 FIREPLACES (heating devices, flues, vents)

Inspected, Attention required

(2) Creosote build-up noted in the fireplace flue. Recommend flue cleaning by a licensed chimney professional before use.

6. Kitchen

6.6 MICROWAVE COOKING EQUIPMENT

Inspected, Attention required

Door on microwave is loose. Further evaluation and repair by a qualified appliance repair contractor is recommended.

6.7 CABINETS

Inspected, Attention required

Several cabinet doors in the kitchen are out of plumb and do not close correctly. Further evaluation and repair by a licensed general contractor is recommended.

7. Plumbing System

7.1 PLUMBING WATER SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Attention required

(3) Missing vacuum breakers noted at exterior faucets. NOTE: A backflow preventer should be installed to protect the potable water system against back-siphoning of waste water. Install as necessary.

7.5 BATHROOMS

Inspected, Attention required

(1) No access to whirlpool pump noted at master bathroom tub. Provide/install access utilizing a general contractor.

(2) Debris noted in jetted tub after testing. Recommend cleaning the lines before use.

(3) Corrugated pipe noted at 2nd floor hall and basement bathroom drain. NOTE: Drain pipes should be constructed from smooth materials to avoid the trapping of dirt and debris in the pleats. Recommend replacing drain pipe using a licensed plumber.

(4) Stoppers not operating at 1st floor bathroom sink. Repair/replace as necessary.

(5) Shower door in master bathroom is loose at it's top hinge. Adjust as necessary using a licensed general contractor.

(6) Grout around jetted tub is worn and should be replaced.

8. Electrical System

8.1 SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS

Inspected, Attention required

(6) Missing labels noted at the distribution panel. Identify circuits and label breakers accordingly.

8.3 CONNECTED DEVICES AND FIXTURES (observed from a representative number of ceiling fans, lighting fixtures and switches)

Inspected, Attention required

Light fixture above pool table in basement is blinking. Further evaluation by a licensed electrician is recommended.

8.6 AFCI (Arc Fault Circuit Interrupters)

Inspected, Attention required

No AFCI protection was installed. Installation of arc fault protection to current standards is recommended as an upgrade for safety. Consult with a licensed electrician for more information.

8.7 SMOKE DETECTORS

Inspected, Attention required

Missing smoke detectors noted throughout. NOTE: Recommend upgrading the smoke alarm system to include smoke alarms at each level, each bedroom area and each bedroom.

8.8 CARBON MONOXIDE DETECTORS

Inspected, Attention required

No carbon monoxide detectors present. Installation of carbon monoxide detectors in all currently required locations is recommended as an upgrade for safety.

9. Heating / Air Conditioning

9.3 DISTRIBUTION SYSTEMS (fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Attention required

First floor bathroom off of sunroom does not have HVAC distribution. Further consultation with a licensed HVAC contractor is recommended is conditioned air is desired in this location.

Home inspectors are not required to report on the following: Life expectancy of any component or system; the causes of the need for a repair; the methods, materials, and costs of corrections; The suitability of the property for any specialized use; compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; the market value of the property or its marketability; the advisability or inadvisability of purchase of the property; any component or system that was not observed; the presence or absence of pests such as wood damaging organisms, rodents, or insects; or cosmetic items, underground items, or items not permanently installed. **Home inspectors are not required to:** Offer warranties or guarantees of any kind; calculate the strength, adequacy, or efficiency of any system or component; enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; operate any system or component that is shut down or otherwise inoperable; operate any system or component that does not respond to normal operating controls; disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to: mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; determine the effectiveness of any system installed to control or remove suspected hazardous substances; predict future condition, including but not limited to failure of components. Since

this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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INVOICE

Champia Real Estate Inspections
4015 Wetherburn Way
Bldg. A, Suite 200
Norcross, GA 30092
770-953-0767
Inspected By: Kevin Charney

Inspection Date: 7/21/2020
Report ID: 42066

Customer Info:	Inspection Property:
Darshan Patel Customer's Real Estate Professional: Mitali Patel Keller Williams (Atlanta) Atlanta Perimeter	3080 Pillement Pl Alpharetta GA 30022

Inspection Fee:

Service	Price	Amount	Sub-Total
Inspection Fee	512.00	1	512.00
Calculated Discount	-25.00	1	-25.00

Tax \$0.00

Total Price \$487.00

Payment Method:

Payment Status:

Note: