



INSPECTION REPORT
1130 Compton Way
Suwanee GA 30024

INSPECTED BY
Shane Gauthier
Encompass Home
Inspections



INSPECTION DATE
 7/24/2020
 09:00 AM

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General Info

Property Address 1130 Compton Way Suwanee GA 30024	Date of Inspection 7/24/2020	Report ID 20200724-1130-Compton-Way
Customer(s) Cameron Chang	Time of Inspection 09:00 AM	Real Estate Agent Cathy Cobb Harry Norman (Cumming)

Inspection Details

Attendees: No Attendees - Call Inspector for Questions	Property Type: Condominium	Age Of Building: Over 10 Years
Temperature: Over 65	Rain in last 3 days: Yes	Weather: Clear
Soil Conditions: Normal	Building Status: Occupied with a normal amount of interior furnishings	

Comment Key & Definitions

Scope

This inspection is a non-invasive examination of readily accessible systems and components as outlined in the Standards of Practice of the American Society of Home Inspectors (ASHI) or your specific state standards. In compliance, our reports are subject to the Definitions, Scope, Limitations, Exceptions, and Exclusions as outlined in the Standards of Practice. A copy of the Standards of Practice may be obtained from your inspector or from the web site identified in our Inspection Agreement.

In general, home inspections include a visual examination of readily accessible systems and components to help identify material defects - as they exist at the time of the inspection. This is **not** a technically exhaustive inspection and will not necessarily list all minor home maintenance or repair items. Latent, inaccessible, or concealed defects are excluded from this inspection. Inspectors do not move furniture, appliances, personal items, or other materials that may limit his/her inspection. We do **not** report on cosmetic or aesthetic issues. Unless otherwise stated, this is **not** a code inspection. We did **not** test for environmental hazards or the presence of any potentially harmful substance.

Use of Reports

If the inspection is performed in connection with the sale, exchange or transfer of the property, copies of the report may be provided to the principals in the transaction and their agents. However, the report is for your sole information and benefit. We do not intend for anyone but the person(s) listed on this report to benefit, directly or indirectly, from this agreement and inspection report. Our contractual relationship is only to the person(s) purchasing our report/service.

We understand the serious nature of real estate transactions and attempt to take reasonable actions to provide value and protect our clients.

A part of many real estate transactions are contingencies limiting the time available for follow up inspections, repair work, or further inquiries. We are not responsible for any investigations that are not completed prior to the end of the contingency period.

Report Definitions

The following definitions of comment descriptions represent this inspection report.

Inspected: The item was visually observed and appears to be functioning as intended.

Not Inspected: The item was not inspected (reason for non-inspection should be noted):

Not Present: The item was not found or is not present.

Action Item: The item is not functioning as intended or needs repair or further evaluation.

Consideration Item: The item should be monitored and repair/replacement should be considered. (Includes definitions, helpful tips, recommended upgrades, conditions requiring repair due to normal wear, and conditions that have not significantly affected usability or function - but may if left unattended).

Action Items



Encompass Home Inspections

4505 Dennington Trace
Cumming GA 30028
4047349902

Customer
Carmen Chang

Address
1130 Compton Way
Suwanee GA 30024

1. Client Advice

1.0 Comments

Inspected

(1) **SAFETY/HEALTH:** Any defect, component or system that has a possibility of inflicting personal injury or affecting the health and well being of anyone in a family including children or the elderly. Although some of these items may be grandfathered in under current building code due to period of time the home was built therefore not requiring that the change or repair be completed. It is important that you are aware of the items and the current code revisions. All safety defects have a high priority of repair.

MAJOR DEFECT: A list of items that if corrected could likely have estimated repair costs over \$500.

Many of the items should be addressed to avoid more costly repairs in the future. There are still other minor defects listed that are necessary to correct even though repair costs are less.

All defects should be repaired.

SERVICE/REPAIR: Includes any system, device, appliance or condition that requires action to return it to normal condition or operation. Generally estimated repair costs range between \$50.00 and \$500.00

3. Exterior

3.6 Doors

Inspected

SERVICE / REPAIR: The exterior door sticks and is difficult to operate at front entrance. Modify or repair as necessary to operate normally.



3.6 Item 1(Picture) front entrance door (possible loose hinges)

3.7 Trim / Soffit / Fascia

Inspected

SERVICE / REPAIR: Wood rot and deterioration are present. Evaluate all areas and replace/repair all wood rot to the extent found to prevent further damage to any area. All replacement wood should be primed on all sides, caulked and painted as required. Any damage on the exterior wall or trim that allows openings into the wall cavity or interior can cause significant water damage over time if not repaired.



3.7 Item 1(Picture) right side of the house q



3.7 Item 2(Picture) right front fascia



3.7 Item 3(Picture) center front window trim



3.7 Item 4(Picture) center front fascia



3.7 Item 5(Picture) left side of the house



3.7 Item 6(Picture) chimney corner boards



3.7 Item 7(Picture) chimney corner boards

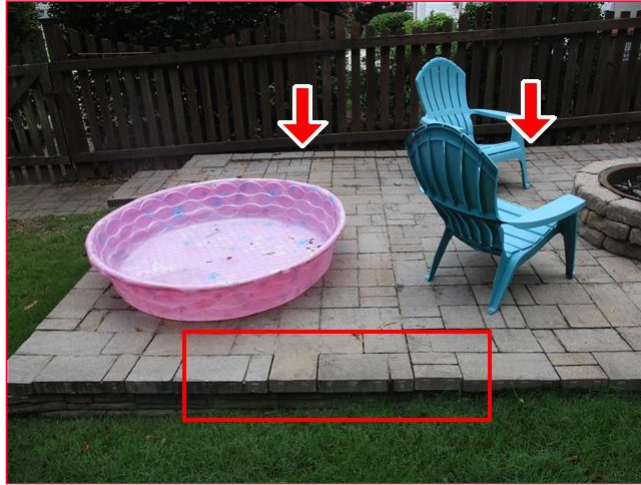


3.7 Item 8(Picture) chimney trim

3.13 Patio

Inspected

SAFETY / HEALTH: Loose and uneven areas of patio surfaces noted from settling/erosion of the base material. Recommend a landscaper to repair.



3.13 Item 1(Picture) uneven and loose walking surfaces at the rear paver patio

3.21 Building Envelope

Inspected

SERVICE / REPAIR: Missing/ damaged vent cover noted. Replacement is necessary to prevent pest and water entry.



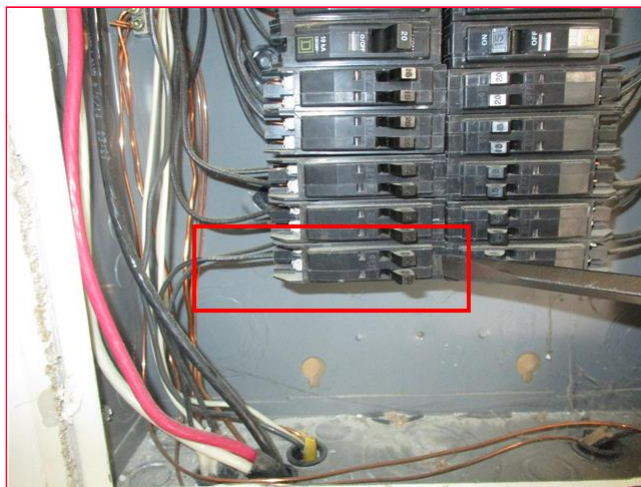
3.21 Item 1(Picture) replace the damaged vent hood on the left side of the house at the HVAC lines

6. Electrical

6.3 Panel Interior

Inspected

SAFETY / HEALTH: Breaker (or fuse) oversized for circuit wire serving the main panel box. Should be 15 amp maximum due to serving a 14 gauge circuit. Replacement by electrician recommended - confirm that not oversized for other reasons that should be corrected.

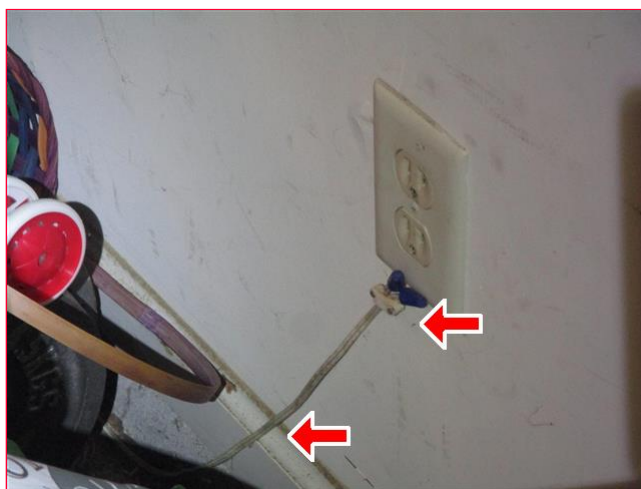


6.3 Item 1(Picture) lower left breaker

6.4 Wiring

Inspected

SERVICE / REPAIR: Lower voltage wiring (similar to a lamp cord) is in use as permanent wiring. This wiring is not intended to be used for permanent use and needs to be replaced. Advise a licensed electrician to correct as needed for safety.



6.4 Item 1(Picture) garage: have the wiring corrected for safety and the spliced connection contained in a junction box with a cover

7. Heating and Cooling

7.1 Heating System

Inspected

SERVICE / REPAIR: The furnaces are more than 15 years old where the average life expectancy is 17 to 22 years. There is a limited view of the furnace heat exchanger without a physical tear down and because of the age of the equipment, a HVAC service technician should evaluate the unit(s) periodically and advise condition (which may include replacing at some point in the future). Consider budgeting for replacement or have warranty program established. Also have CO detector installed in sleeping areas where older system serves for added safety.

12. Bathrooms

12.1 Toilets

Inspected

(1) **SERVICE / REPAIR:** The toilet is loose at the base when checked. This is allowing the base to pivot and often results in leaking if not corrected. Recommend that the condition be corrected.



12.1 Item 1(Picture) second floor hall bath



12.1 Item 2(Picture) master bath



12.1 Item 3(Picture) half bath

(2) **SERVICE / REPAIR:** Flushing the toilet at Upstairs hall bathroom requires holding down the handle to flush completely. Recommend having tank assembly modified to flush with a normal push down and release to obtain normal flush. Recommend that the condition be corrected.



12.1 Item 4(Picture)

(3) **SERVICE / REPAIR:** Toilet found to fill slowly after flushing. Have fill device repaired or replaced to function normally..



12.1 Item 5(Picture) upstairs hall bath

12.2 Sinks

Inspected

(1) **SERVICE / REPAIR:** Slow drain observed at Upstairs hall bathroom sink and should be cleaned and/or cleared to function normally. May require disassembly of drain line to clear properly.



12.2 Item 1(Picture) upstairs hall bath

12.3 Bathtubs**Inspected**

(2) **SERVICE / REPAIR:** Fill spout not tight to tub wall at Upstairs hall bathroom. Modify and seal to prevent moisture access behind wall assembly.



12.3 Item 2(Picture) tub spout is loose and should be secured, once secured seal around to keep water from entering the wall

13. Laundry

13.1 Dryer**Not Inspected**

SERVICE / REPAIR: The damper on the end of the dryer vent is full of lint. Have the vent cleaned for maximum efficiency and to prevent animal entry. Hood located on side of house.



13.1 Item 1(Picture) clear all lint from the dryer line

Consideration Items



Encompass Home Inspections

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4047349902

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Carmen Chang

Address
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1. Client Advice

1.0 Comments

Inspected

(2) **GENERAL NOTE:** The buyer is responsible for managing to their satisfaction the minor touch up of cosmetic surface issues. They are beyond the scope of a standard ASHI inspection. The inspection does not address unpainted, scuffed, or otherwise imperfect conditions of doors, windows, walls, floors, ceilings, trim, or minor holes, etc. Also included is maintenance for normal wear and tear. Highly recommend that the buyer do a pre-walk before closing to identify any surface issues that may be hidden during the inspection due to storage of possessions and personal items of seller.

(3) **GENERAL NOTE:** We recommend that a home warranty be acquired on all home appliances and equipment due to their age, condition or unique circumstances. This is a good investment for homes over five years of age. Equipment must be in good working order on date of warranty contract. Many warranty companies require that HVAC systems be evaluated and serviced by a professional service technician prior to closing to gather a baseline status. You may be able to acquire a home warranty as a condition of sale.

(4) **GENERAL NOTE:** Main gas shut off is located at the left side of the house.



1.0 Item 1(Picture) main gas shut off

3. Exterior

3.3 Porch

Inspected

SERVICE / REPAIR: Cracks present. This is an indication of settling. We are unable to determine if it is a past problem or an ongoing one. This area should be monitored as repairs may be necessary in the future. If one side of the crack is raised enough to trip over, it is a safety hazard as well as an indication of uneven ground movement. Recommended to seal all open cracks to avoid rain water subsurface erosion and damage from ice.



3.3 Item 1(Picture) sample photo

3.22 Comments

Inspected

GENERAL NOTE: Plant growth adjacent to building limits inspection of wood trim elements. Keep trimmed back to reduce chances of developing moisture damage. If damage found after trimming back, have repaired or replaced as necessary.



3.22 Item 1(Picture) trim all vegetation to allow for at least a 12 to 18 inch gap

4. Roofing

4.0 Roof Coverings

Inspected

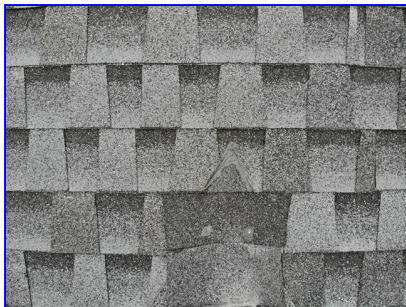
GENERAL NOTE: From our access point the entire roof was not viewable. Our comments indicate the areas that we are able to see from the access point and may not be representative of the entire roof. Drone technology was used to inspect the roof, this method may not identify all defects or installation errors. Seller indicated the roof had just been installed. Obtain the receipts and warranty information from the seller. Roof was in good shape at the time of inspection with no visible defects.



4.0 Item 1(Picture)



4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)



4.0 Item 5(Picture)



4.0 Item 6(Picture)



4.0 Item 7(Picture)



4.0 Item 8(Picture)

5. Plumbing

5.0 Service Entrance

Inspected

(1) GENERAL NOTE: Water pressure was verified at the time of inspection, pressure was in the safe recommended range of 40 to 80 PSI.



5.0 Item 1(Picture) 70 PSI

(2) GENERAL NOTE: Main water shut off is located in the closet at the laundry room.



5.0 Item 2(Picture) main water shut off

5.9 Sprinklers

Not Inspected

GENERAL NOTE: The underground sprinkler system was not tested and is not included in the scope of our inspection. Working condition should be verified by the seller.



5.9 Item 1(Picture)

6. Electrical

6.0 Service Entrance

Inspected

GENERAL NOTE: Main electrical breaker is located at the right side of the house.



6.0 Item 1(Picture) main electrical shut off

6.6 Receptacles

Inspected

GENERAL NOTE: Due to child proof covers installed throughout the house not all outlets were tested for function.



6.6 Item 1(Picture)

6.7 Switches**Inspected**

GENERAL NOTE: Switches with tape over them observed. Because we are unable to determine why the switch is in that position it was not operated. Verification by the seller is advised.



6.7 Item 1(Picture) garage

6.8 Fixtures**Inspected**

SERVICE / REPAIR: Loose lighting fixture noted. Recommend condition be corrected to prevent stress on wires and the potential for electric shock.



6.8 Item 1(Picture) secure all loose light fixtures and seal around to prevent water entry

7. Heating and Cooling

7.0 Air Conditioner

Inspected

(1) **GENERAL NOTE:** Temperature difference results for Air Conditioning System

Unit upper floor Return temp.= 71 Supply temp. = 54 Differential temp. = 17 degrees, PASS

The differential temperature target is a minimum difference of 14-15 degrees between supply and return air temperatures. A difference of 14 degrees indicates minimum functioning of the system. No air flow measurements are made as part of this testing. All return and supply vents may not have been accessible today.



7.0 Item 1(Picture)



7.0 Item 2(Picture)

(2) **GENERAL NOTE:** Temperature difference results for Air Conditioning System

Unit main floor Return temp.= 71 Supply temp. = 55 Differential temp. = 16 degrees, PASS

The differential temperature target is a minimum difference of 14-15 degrees between supply and return air temperatures. A difference of 14 degrees indicates minimum functioning of the system. No air flow measurements are made as part of this testing. All return and supply vents may not have been accessible today.



7.0 Item 3(Picture)



7.0 Item 4(Picture)

(3) **SERVICE / REPAIR:** The insulation on the A/C refrigerant line(s) does not extend all the way to the coil housing. This can allow condensate to drip into the furnace or onto other surfaces below. Recommend install insulation where missing.



7.0 Item 5(Picture) attic

9. Garage

9.3 Floor

Inspected

GENERAL NOTE: Common cracks observed in the concrete surfaces. These are expected and are not generally considered significant. Monitor conditions that should not exceed 1/4 inches width or significant differential settlement.



9.3 Item 1(Picture)

9.4 Walls / Ceilings

Inspected

GENERAL NOTE: Due to personal objects stored in the garage not all areas were visible. Verification of all conditions by the seller is necessary.



9.4 Item 1(Picture)

10. Interiors

10.0 Walls / Ceilings

Inspected

GENERAL NOTE: Touch ups and repairs noted in ceiling(s) during inspection. Seller to disclose cause of problem including extent of repairs made for buyer's future reference. Usually requires full area painting to reduce obvious conditions. Primer needed on stained areas to avoid bleeding back through when painted.



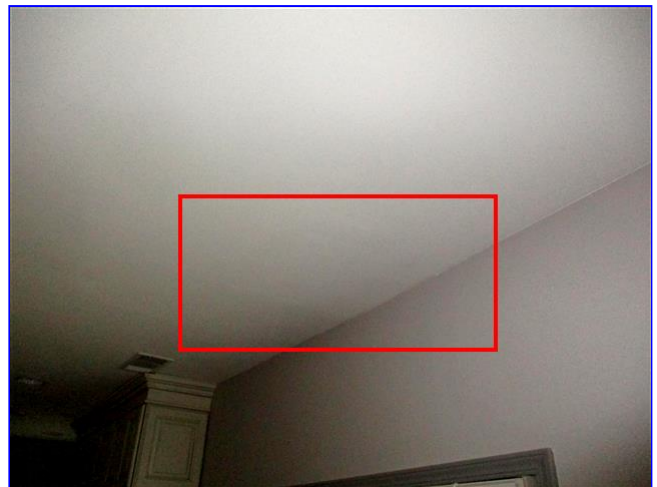
10.0 Item 1(Picture) second floor hall



10.0 Item 2(Picture) second floor hall



10.0 Item 3(Picture) kitchen and dining area ceiling



10.0 Item 4(Picture) kitchen ceiling

10.2 Doors

Inspected

GENERAL NOTE: Door stops are typically installed to provide protection to walls from door knob contact and generally found in wall, floor or hinge mount types. Some found either damaged or missing and consider having installed.



10.2 Item 1(Picture) install door stops at all locations missing them

10.3 Windows**Inspected**

SERVICE / REPAIR: Paint causes many windows to stick and they should be modified to open normally for the average person. At least one window in each sleeping room must be operable as a means of emergency egress.



10.3 Item 1(Picture) repair all windows so they will open for safety and ventilation of the house

10.6 Ceiling Fan / Whole House Fan**Inspected**

SERVICE / REPAIR: Ceiling fan somewhat out of balance and produces an unsafe feeling during operation at certain speeds. Correct to function normally.



10.6 Item 1(Picture) front bedroom

10.7 Fireplace**Not Inspected**

(1) **GENERAL NOTE:** The fireplace located at Living room is presently set up with artificial gas log set and was tested. Dampers are required to have clamps installed to prevent fully closing. This manufacturer required clamp is for safety since exhaust gases contain carbon monoxide. (Partially open dampers often responsible for drafts during winter months and clamp could be removed at owner's discretion.) [If electing to convert back to burning real wood, the present burner mechanism will have to be replaced with cast iron burner because artificial burners cannot withstand the heat and abuse of real wood fires.]

(2) **GENERAL NOTE:** The fireplace was not operated because the pilot light is out. Verification of working condition by the seller is recommended.



10.7 Item 1(Picture)

11. Kitchen

11.6 Microwave

Inspected

SERVICE / REPAIR: Microwave surface light not functional at time of inspection. Verify if bulb is burned out and repair if required.



11.6 Item 1(Picture) replace the bulb and test the appliance for function

12. Bathrooms

12.2 Sinks

Inspected

(2) **SERVICE / REPAIR:** Pop up drain assembly not functional should be repaired or replaced at Master bathroom vanity sink(s).



12.2 Item 2(Picture) left side sink

12.3 Bathtubs

Inspected

(1) **SERVICE / REPAIR:** Tub stopper installed fails to engage to hold water as would be necessary for taking baths at Upstairs hall bathroom. Have device repaired or replaced.



12.3 Item 1(Picture) hall bathroom

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Shane Gauthier

1. Client Advice

Items

1.0 Comments

Comments: Inspected

(1) **SAFETY/HEALTH:** Any defect, component or system that has a possibility of inflicting personal injury or affecting the health and well being of anyone in a family including children or the elderly. Although some of these items may be grandfathered in under current building code due to period of time the home was built therefore not requiring that the change or repair be completed. It is important that you are aware of the items and the current code revisions. All safety defects have a high priority of repair.

MAJOR DEFECT: A list of items that if corrected could likely have estimated repair costs over \$500.

Many of the items should be addressed to avoid more costly repairs in the future. There are still other minor defects listed that are necessary to correct even though repair costs are less.

All defects should be repaired.

SERVICE/REPAIR: Includes any system, device, appliance or condition that requires action to return it to normal condition or operation. Generally estimated repair costs range between \$50.00 and \$500.00

(2) **GENERAL NOTE:** The buyer is responsible for managing to their satisfaction the minor touch up of cosmetic surface issues. They are beyond the scope of a standard ASHI inspection. The inspection does not address unpainted, scuffed, or otherwise imperfect conditions of doors, windows, walls, floors, ceilings, trim, or minor holes, etc. Also included is maintenance for normal wear and tear. Highly recommend that the buyer do a pre-walk before closing to identify any surface issues that may be hidden during the inspection due to storage of possessions and personal items of seller.

(3) **GENERAL NOTE:** We recommend that a home warranty be acquired on all home appliances and equipment due to their age, condition or unique circumstances. This is a good investment for homes over five years of age. Equipment must be in good working order on date of warranty contract. Many warranty companies require that HVAC systems be evaluated and serviced by a professional service technician prior to closing to gather a baseline status. You may be able to acquire a home warranty as a condition of sale.

(4) **GENERAL NOTE:** Main gas shut off is located at the left side of the house.



1.0 Item 1(Picture) main gas shut off

2. Structure

Our inspection of the structure included a visual examination of the exposed, readily accessible portions of the structure. These items were examined for visible defects, excessive wear, and general condition. Many structural components are inaccessible because they are buried below grade or are behind finished surfaces. Therefore, much of the inspection was performed by looking for visible symptoms of movement, damage and deterioration. Where there are no symptoms, conditions requiring further review or repair may go undetected and identification is not possible without destructive testing. We make no representations as to the internal conditions or stability of soils, concrete footings and foundations, except as exhibited by their performance. We cannot predict when or if foundations or roofs might leak in the future.

Styles & Materials

Exterior Walls:	Foundation Type:	Posts:
Wood	Slab	Finished
Beams:	Floor Framing:	Ceiling Framing:
Finished	Wood	Rafters
	Concrete	

Items

2.0 Foundation Walls

Comments: Inspected

2.1 Post / Pier / Column

Comments: Inspected

2.2 Beams

Comments: Inspected

2.3 Floor / Subfloor

Comments: Inspected

2.4 Walls

Comments: Inspected

2.5 Insulation

Comments: Inspected

3. Exterior

Our inspection of the building exterior included a visual examination. Items are examined for defects, excessive wear, and general state of repair. Exterior wood components are randomly probed. We do not probe everywhere. Varying degrees of exterior deterioration could exist in any component. Vegetation, including trees, is examined only to the extent that it is affecting the structure.

Styles & Materials

Lot Grade: Sloped	Driveway: Concrete	Walkways: Concrete
Porch: Concrete	Patio: Concrete Pavers	Type of Home: 2 Story
Trim / Soffit / Fascia: Wood	Exterior Entry Doors: Solid Core	Cladding: Brick Fiber Cement
Windows: Double Insulated	Trees / Shrubs / Ivy: *Trees / shrubs against house	

Items

- 3.0 Grading**
Comments: Inspected
- 3.1 Driveways / Walkways**
Comments: Inspected
- 3.2 Steps**
Comments: Inspected
- 3.3 Porch**
Comments: Inspected

SERVICE / REPAIR: Cracks present. This is an indication of settling. We are unable to determine if it is a past problem or an ongoing one. This area should be monitored as repairs may be necessary in the future. If one side of he crack is raised enough to trip over, it is a safety hazard as well as an indication of uneven ground movement. Recommended to seal all open cracks to avoid rain water subsurface erosion and damage from ice.



3.3 Item 1(Picture) sample photo

- 3.4 Cladding**
Comments: Inspected

3.5 Windows

Comments: Inspected

3.6 Doors

Comments: Inspected

SERVICE / REPAIR: The exterior door sticks and is difficult to operate at front entrance. Modify or repair as necessary to operate normally.



3.6 Item 1(Picture) front entrance door (possible loose hinges)

3.7 Trim / Soffit / Fascia

Comments: Inspected

SERVICE / REPAIR: Wood rot and deterioration are present. Evaluate all areas and replace/repair all wood rot to the extent found to prevent further damage to any area. All replacement wood should be primed on all sides, caulked and painted as required. Any damage on the exterior wall or trim that allows openings into the wall cavity or interior can cause significant water damage over time if not repaired.



3.7 Item 1(Picture) right side of the house q



3.7 Item 2(Picture) right front fascia



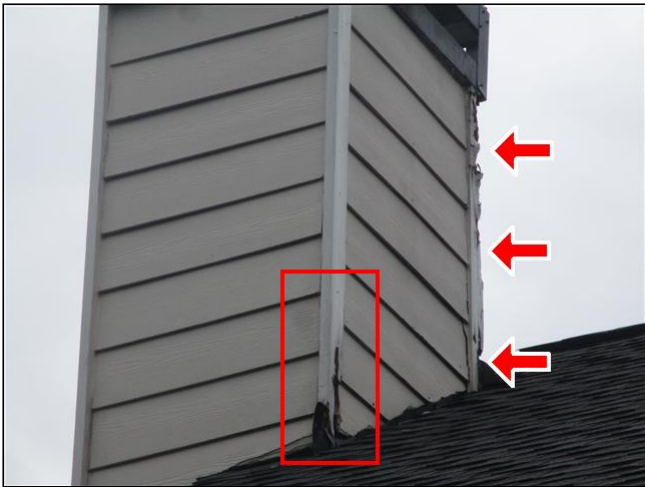
3.7 Item 3(Picture) center front window trim



3.7 Item 4(Picture) center front fascia



3.7 Item 5(Picture) left side of the house



3.7 Item 6(Picture) chimney corner boards



3.7 Item 7(Picture) chimney corner boards



3.7 Item 8(Picture) chimney trim

3.8 Brick

Comments: Inspected

3.9 Cement board siding (Hardie)

Comments: Inspected

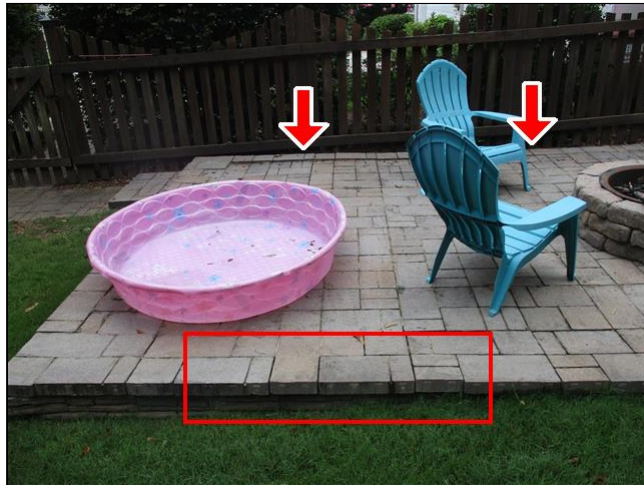
3.12 Fences

Comments: Not Inspected

3.13 Patio

Comments: Inspected

SAFETY / HEALTH: Loose and uneven areas of patio surfaces noted from settling/erosion of the base material. Recommend a landscaper to repair.



3.13 Item 1(Picture) uneven and loose walking surfaces at the rear paver patio

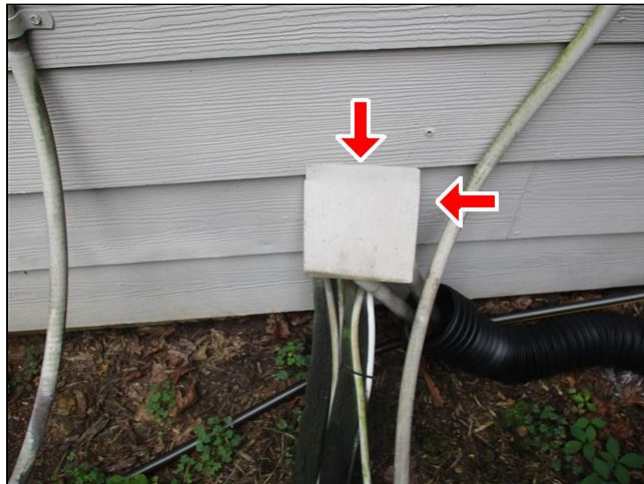
3.20 Chimney

Comments: Inspected

3.21 Building Envelope

Comments: Inspected

SERVICE / REPAIR: Missing/damaged vent cover noted. Replacement is necessary to prevent pest and water entry.



3.21 Item 1(Picture) replace the damaged vent hood on the left side of the house at the HVAC lines

3.22 Comments

Comments: Inspected

GENERAL NOTE: Plant growth adjacent to building limits inspection of wood trim elements. Keep trimmed back to reduce chances of developing moisture damage. If damage found after trimming back, have repaired or replaced as necessary.



3.22 Item 1(Picture) trim all vegetation to allow for at least a 12 to 18 inch gap

4. Roofing

Our inspection of the readily accessible roof system included a visual examination to determine damage or material deterioration. We walk on the roof only when is it safe to do so and is not likely to damage the roof materials. We look for evidence of roof system leaks and damage. We cannot predict when or if a roof might leak in the future.

Styles & Materials

Roof Covering: Asphalt / Fiberglass	How Inspected: *Viewed From Eaves With a Ladder Drone Extra Info : Drone inspection may not identify all defects or installation errors	Estimated Age of Roof: Less than a year
Flashing: Aluminum	Plumbing Vent Boots: Rubber / Neoprene	Gutters: Aluminum
Downspouts: Aluminum	Downspout Runoff: Concrete Plastic	

Items

4.0 Roof Coverings

Comments: Inspected

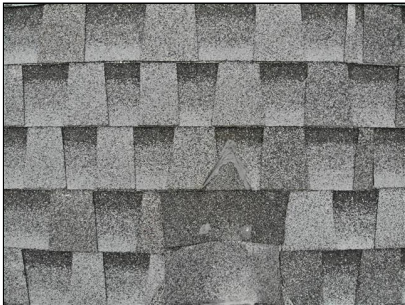
GENERAL NOTE: From our access point the entire roof was not viewable. Our comments indicate the areas that we are able to see from the access point and may not be representative of the entire roof. Drone technology was used to inspect the roof, this method may not identify all defects or installation errors. Seller indicated the roof had just been installed. Obtain the receipts and warranty information from the seller. Roof was in good shape at the time of inspection with no visible defects.



4.0 Item 1(Picture)



4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)



4.0 Item 5(Picture)



4.0 Item 6(Picture)



4.0 Item 7(Picture)



4.0 Item 8(Picture)

4.1 Flashing

Comments: Inspected

4.2 Valleys

Comments: Inspected

4.3 Plumbing Vents

Comments: Inspected

4.4 Furnace / Water Heater Vents

Comments: Inspected

4.5 Attic Vents

Comments: Inspected

4.6 Gutters / Downspouts / Drain Lines

Comments: Inspected

5. Plumbing

Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage, and general state of repair. Plumbing leaks can be present but not evident in the course of a normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or private (septic) waste disposal systems unless specifically noted.

Styles & Materials

Water Provider: Public	Sewer Provider: Unknown	Water Shut Off: Closet Laundry Room
Service Piping: Not all pipe visible	Supply Piping: Copper Other	Waste Piping: PVC
Main Fuel Shut Off Valve: Exterior at gas meter	Fuel / Flue Piping: Black Steel	Water Heater Type #1: Rheem
Water Heater Age #1: 5 Yrs	Water Heater Fuel/Size #1: Natural Gas Tankless Style	BTU's/Watts #1: 180,000 BTU
T/P Valve / Expansion Device: CPVC Expansion Valve	Water Heater Temperature: 115-120	Water Meter Observation: Meter not visible

Items

5.0 Service Entrance

Comments: Inspected

(1) **GENERAL NOTE:** Water pressure was verified at the time of inspection, pressure was in the safe recommended range of 40 to 80 PSI.



5.0 Item 1(Picture) 70 PSI

(2) **GENERAL NOTE:** Main water shut off is located in the closet at the laundry room.



5.0 Item 2(Picture) main water shut off

5.1 Supply Piping

Comments: Inspected

5.2 Exterior Hose Faucets

Comments: Inspected

5.3 Waste Piping

Comments: Inspected

5.4 Fuel Piping - General

Comments: Inspected

5.5 Water Heater - Condition

Comments: Inspected

5.6 Water Heater - Safety

Comments: Inspected

5.7 Water Heater - Fuel / Flue

Comments: Inspected

5.9 Sprinklers

Comments: Not Inspected

GENERAL NOTE: The underground sprinkler system was not tested and is not included in the scope of our inspection. Working condition should be verified by the seller.



5.9 Item 1(Picture)

6. Electrical

Our inspection of the electrical system included a visual examination of readily accessible components including a random sampling of electrical devices to determine adverse conditions and improper wiring methods, grounding, bonding and overcurrent protection. Performing voltage tests, load calculations or determining the adequacy of the electrical system for future usage is outside the scope of this inspection. Telephone, video, audio, security system, landscape lighting, and other low voltage wiring was not included in this inspection unless specifically noted.

Styles & Materials

Service Entrance: Underground	Panel Location: Garage	Main Disconnect Location: Located at Meter
Supply Conductor: Aluminum	Service Capacity: 150 Amps	Overcurrent Protection: Breakers Panel Labeled
Distribution Wires: Copper	Wire Type: Type NM plastic sheathed 3 wire	Receptacles: 3 Prong GFCI in Bathrooms GFCI in Garage GFCI in Kitchen GFCI on Exterior Sample Number Tested
Door Bell: Sounded	Switches: Tested	

Items

6.0 Service Entrance

Comments: Inspected

GENERAL NOTE: Main electrical breaker is located at the right side of the house.



6.0 Item 1(Picture) main electrical shut off

6.1 Grounding

Comments: Inspected

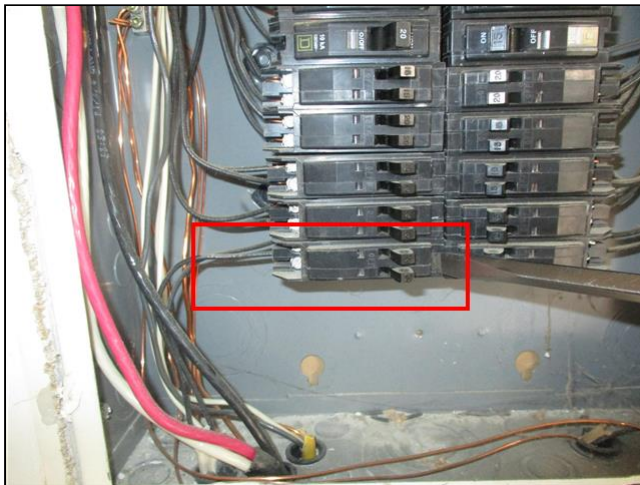
6.2 Panel / Disconnect

Comments: Inspected

6.3 Panel Interior

Comments: Inspected

SAFETY / HEALTH: Breaker (or fuse) oversized for circuit wire serving the main panel box. Should be 15 amp maximum due to serving a 14 gauge circuit. Replacement by electrician recommended - confirm that not oversized for other reasons that should be corrected.

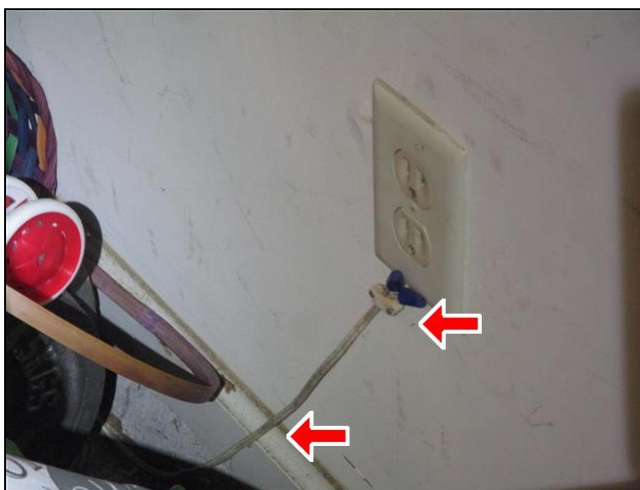


6.3 Item 1(Picture) lower left breaker

6.4 Wiring

Comments: Inspected

SERVICE / REPAIR: Lower voltage wiring (similar to a lamp cord) is in use as permanent wiring. This wiring is not intended to be used for permanent use and needs to be replaced. Advise a licensed electrician to correct as needed for safety.



6.4 Item 1(Picture) garage: have the wiring corrected for safety and the spliced connection contained in a junction box with a cover

6.5 GFCI / AFCI Devices

Comments: Inspected

6.6 Receptacles

Comments: Inspected

GENERAL NOTE: Due to child proof covers installed throughout the house not all outlets were tested for function.



6.6 Item 1(Picture)

6.7 Switches

Comments: Inspected

GENERAL NOTE: Switches with tape over them observed. Because we are unable to determine why the switch is in that position it was not operated. Verification by the seller is advised.



6.7 Item 1(Picture) garage

6.8 Fixtures

Comments: Inspected

SERVICE / REPAIR: Loose lighting fixture noted. Recommend condition be corrected to prevent stress on wires and the potential for electric shock.



6.8 Item 1(Picture) secure all loose light fixtures and seal around to prevent water entry

7. Heating and Cooling

Our inspection of the heating and cooling system included a visual examination of the system's major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include disassembly of the furnace; therefore heat exchangers are not included in the scope of this inspection. Ceiling fans are not typically inspected as they are not within the scope of the inspection.

Styles & Materials

AC Type #1: Central Air	Cooling System Manufacturer #1: Goodman	Cooling System Size (s) #1: 2 Ton
Cooling System Age #1: 10 Yrs	AC Temperature Differential #1: *15 - 17	Condensate Drain / Attic Pan: PVC Gravity Drain
Heating Type #1: Natural Gas Updraft	Heating System Manufacturer #1: Comfortmaker	Furnace Size #1: 50k
Heating System Age #1: *20+ Years	Fuel / Flue Piping: Black Steel Double Wall Vent	Filter Type: Disposable
Ductwork: Insulated Flex (Silver) Ceiling Registers	Thermostat: Programmable	Overflow Pan: Attic Pan Exists
Cooling System Manufacturer #2: Goodman	Cooling System Size (s) #2: 2 Ton	Cooling System Age #2: 10 Yrs
AC Temperature Differential #2: *15 - 17	Heating Type #2: Natural Gas Updraft	Heating System Manufacturer #2: Comfortmaker
Furnace Size #2: 50k	Heating System Age #2: *20+ Yrs	

Items

7.0 Air Conditioner
Comments: Inspected

(1) **GENERAL NOTE:** Temperature difference results for Air Conditioning System

Unit upper floor Return temp.= 71 Supply temp. = 54 Differential temp. = 17 degrees, PASS

The differential temperature target is a minimum difference of 14-15 degrees between supply and return air temperatures. A difference of 14 degrees indicates minimum functioning of the system. No air flow measurements are made as part of this testing. All return and supply vents may not have been accessible today.



7.0 Item 1(Picture)



7.0 Item 2(Picture)

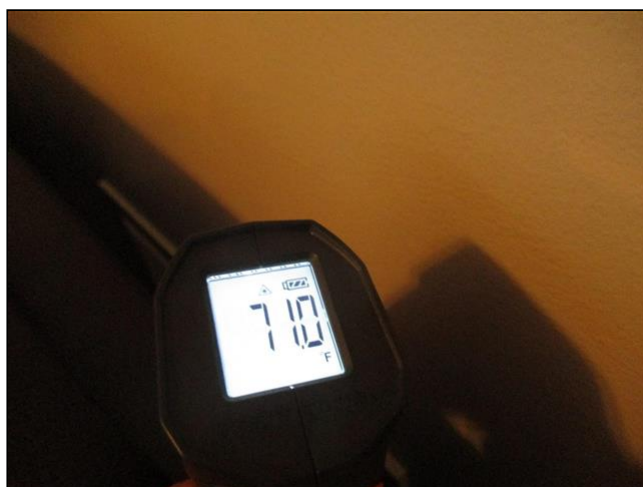
(2) **GENERAL NOTE:** Temperature difference results for Air Conditioning System

Unit main floor Return temp.= 71 Supply temp. = 55 Differential temp. = 16 degrees, PASS

The differential temperature target is a minimum difference of 14-15 degrees between supply and return air temperatures. A difference of 14 degrees indicates minimum functioning of the system. No air flow measurements are made as part of this testing. All return and supply vents may not have been accessible today.



7.0 Item 3(Picture)



7.0 Item 4(Picture)

(3) **SERVICE / REPAIR:** The insulation on the A/C refrigerant line(s) does not extend all the way to the coil housing. This can allow condensate to drip into the furnace or onto other surfaces below. Recommend install insulation where missing.



7.0 Item 5(Picture) attic

7.1 Heating System

Comments: Inspected

SERVICE / REPAIR: The furnaces are more than 15 years old where the average life expectancy is 17 to 22 years. There is a limited view of the furnace heat exchanger without a physical tear down and because of the age of the equipment, a HVAC service technician should evaluate the unit(s) periodically and advise condition (which may include replacing at some point in the future). Consider budgeting for replacement or have warranty program established. Also have CO detector installed in sleeping areas where older system serves for added safety.

7.2 Fuel / Controls

Comments: Inspected

7.3 Venting / Make Up Air

Comments: Inspected

7.4 Filter / Accessories

Comments: Inspected

7.5 Distribution System

Comments: Inspected

7.6 Thermostat

Comments: Inspected

8. Attic

Our inspection of the readily accessible areas of the attic included a visual examination to determine any signs of defects, excessive wear, and general state of repair. When low clearance, framing design or obstructions, deep insulation and mechanical components prohibit walking safely in an unfinished attic, inspection is conducted from the available service platforms or access openings only.

Styles & Materials

Attic Venting:	Method Used to Observe Attic:	Attic Access:
Soffit	Entered	Pull Down Stairs
Ridge	Light In Attic	Located in Bedroom
Attic Insulation Type:	Attic Insulation Thickness / R - Value:	
Blown Fiberglass	6" - 10" Depth	

Items

8.0 Attic Access
Comments: Inspected

8.1 Attic Insulation
Comments: Inspected

8.2 Attic Ventilation
Comments: Inspected

8.3 Attic Framing / Construction
Comments: Inspected

9. Garage

Our inspection of the garage included a visual examination of the readily accessible portions of the walls, ceilings, floors, vehicle and personnel doors, steps and stairways, fire resistive barriers, garage door openers and hardware if applicable.

Styles & Materials

Garage Location: 2 Car Drive Under	Garage Door Type: One Automatic	Garage Door Material: Overhead
Auto Safety Reverse: Electronic Eye	Garage Walls and Ceiling: Drywall	

Items

9.0 Passage Doors

Comments: Inspected

9.1 Garage Doors

Comments: Inspected

9.2 Openers

Comments: Inspected

9.3 Floor

Comments: Inspected

GENERAL NOTE: Common cracks observed in the concrete surfaces. These are expected and are not generally considered significant. Monitor conditions that should not exceed 1/4 inches width or significant differential settlement.



9.3 Item 1(Picture)

9.4 Walls / Ceilings

Comments: Inspected

GENERAL NOTE: Due to personal objects stored in the garage not all areas were visible. Verification of all conditions by the seller is necessary.



9.4 Item 1(Picture)

10. Interiors

Our inspection of the interior included a visual examination for structural and safety deficiencies. Please note that only a representative sample of accessible components was inspected.

Styles & Materials

Floor Coverings:

- Carpet
- Laminate
- Tile
- Vinyl

Wall Coverings:

- Drywall

Ceiling Coverings:

- Drywall

Door Types:

- Hollow Core

Windows:

- Double Pane

Smoke Detectors / Safety:

- Sounded When Tested

Ceiling Fan:

- Tested

Whole House Fan:

- Tested

Fireplace:

- *Artificial Logs

Items

10.0 Walls / Ceilings

Comments: Inspected

GENERAL NOTE: Touch ups and repairs noted in ceiling(s) during inspection. Seller to disclose cause of problem including extent of repairs made for buyer's future reference. Usually requires full area painting to reduce obvious conditions. Primer needed on stained areas to avoid bleeding back through when painted.



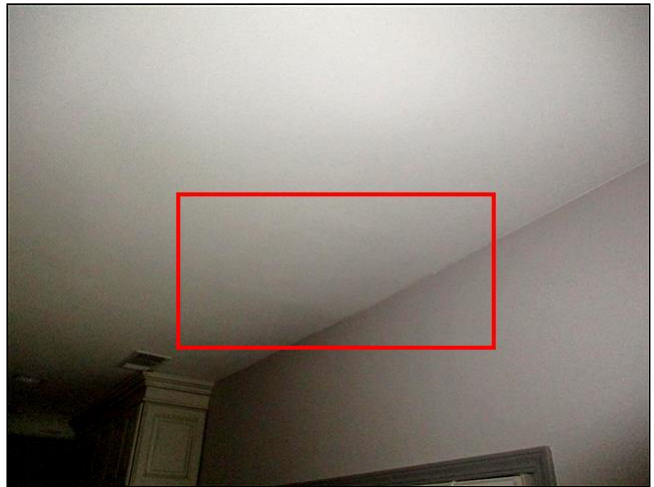
10.0 Item 1(Picture) second floor hall



10.0 Item 2(Picture) second floor hall



10.0 Item 3(Picture) kitchen and dining area ceiling



10.0 Item 4(Picture) kitchen ceiling

10.1 Floors

Comments: Inspected

10.2 Doors

Comments: Inspected

GENERAL NOTE: Door stops are typically installed to provide protection to walls from door knob contact and generally found in wall, floor or hinge mount types. Some found either damaged or missing and consider having installed.



10.2 Item 1(Picture) install door stops at all locations missing them

10.3 Windows

Comments: Inspected

SERVICE / REPAIR: Paint causes many windows to stick and they should be modified to open normally for the average person. At least one window in each sleeping room must be operable as a means of emergency egress.



10.3 Item 1(Picture) repair all windows so they will open for safety and ventilation of the house

10.4 Smoke Detectors / Safety

Comments: Inspected

10.5 Stairways

Comments: Inspected

10.6 Ceiling Fan / Whole House Fan

Comments: Inspected

SERVICE / REPAIR: Ceiling fan somewhat out of balance and produces an unsafe feeling during operation at certain speeds. Correct to function normally.



10.6 Item 1(Picture) front bedroom

10.7 Fireplace

Comments: Not Inspected

(1) **GENERAL NOTE:** The fireplace located at Living room is presently set up with artificial gas log set and was tested. Dampers are required to have clamps installed to prevent fully closing. This manufacturer required clamp is for safety since exhaust gases contain carbon monoxide. (Partially open dampers often responsible for drafts during winter months and clamp could be removed at owner's discretion.) [If electing to convert back to burning real wood, the present burner mechanism will have to be replaced with cast iron burner because artificial burners cannot withstand the heat and abuse of real wood fires.]

(2) **GENERAL NOTE:** The fireplace was not operated because the pilot light is out. Verification of working condition by the seller is recommended.



10.7 Item 1(Picture)

11. Kitchen

Our inspection of the kitchen included a visual examination of the readily accessible components to determine defects, excessive wear, and general state of repair. We tested basic, major built-in appliances using normal operating controls. Accuracy and/or function of clocks, timers, temperature controls and self cleaning functions on ovens is beyond the scope of our testing procedure. Refrigerators or other appliances were not tested or inspected unless specifically noted.

Styles & Materials

Cabinets: Wood Secure	Counter Tops: Solid Surface Secure	Sink: Stainless Single Bowl
Dishwasher: Tested	Disposal: Tested	Range: Electric
Oven: Electric	Microwave: Mounted above Cooktop	

Items

11.0 Counters / Cabinets

Comments: Inspected

11.1 Sink

Comments: Inspected

11.2 Food Waste Disposer

Comments: Inspected

11.3 Dishwasher

Comments: Inspected

11.4 Range / Oven / Cooktop

Comments: Inspected

11.5 Vent Fans

Comments: Inspected

11.6 Microwave

Comments: Inspected

SERVICE / REPAIR: Microwave surface light not functional at time of inspection. Verify if bulb is burned out and repair if required.



11.6 Item 1(Picture) replace the bulb and test the appliance for function

11.8 Refrigerator

Comments: Not Inspected

12. Bathrooms

Our inspection of the bathrooms included a visual examination to determine if there were any active leaks, water damage, deterioration to floors and walls, proper function of components, excessive or unusual wear and general state of repair. Bathroom fixtures are run simultaneously to check for adequate water pressure and volume. Unusual bath features like steam generators or saunas are not inspected unless specifically discussed in this report.

Styles & Materials

Sinks:	Toilet:	Bathtub:
Tested	Tested	Tested
Shower:	Shower / Tub Wall Material:	Bathroom Ventilation:
Tested	Ceramic Tiles	Fan

Items

12.0 Counters / Cabinets

Comments: Inspected

12.1 Toilets

Comments: Inspected

(1) **SERVICE / REPAIR:** The toilet is loose at the base when checked. This is allowing the base to pivot and often results in leaking if not corrected. Recommend that the condition be corrected.



12.1 Item 1(Picture) second floor hall bath



12.1 Item 2(Picture) master bath



12.1 Item 3(Picture) half bath

(2) **SERVICE / REPAIR:** Flushing the toilet at Upstairs hall bathroom requires holding down the handle to flush completely. Recommend having tank assembly modified to flush with a normal push down and release to obtain normal flush. Recommend that the condition be corrected.



12.1 Item 4(Picture)

(3) **SERVICE / REPAIR:** Toilet found to fill slowly after flushing. Have fill device repaired or replaced to function normally..



12.1 Item 5(Picture) upstairs hall bath

12.2 Sinks

Comments: Inspected

(1) **SERVICE / REPAIR:** Slow drain observed at Upstairs hall bathroom sink and should be cleaned and/or cleared to function normally. May require disassembly of drain line to clear properly.



12.2 Item 1(Picture) upstairs hall bath

(2) **SERVICE / REPAIR:** Pop up drain assembly not functional should be repaired or replaced at Master bathroom vanity sink(s).



12.2 Item 2(Picture) left side sink

12.3 Bathtubs

Comments: Inspected

(1) **SERVICE / REPAIR:** Tub stopper installed fails to engage to hold water as would be necessary for taking baths at Upstairs hall bathroom. Have device repaired or replaced.



12.3 Item 1(Picture) hall bathroom

(2) **SERVICE / REPAIR:** Fill spout not tight to tub wall at Upstairs hall bathroom. Modify and seal to prevent moisture access behind wall assembly.



12.3 Item 2(Picture) tub spout is loose and should be secured, once secured seal around to keep water from entering the wall

12.4 Shower

Comments: Inspected

12.5 Tub / Shower walls and surround

Comments: Inspected

12.6 Vent Fans

Comments: Inspected

13. Laundry

Styles & Materials

Clothes Washer:	Dryer Power Source:	Dryer Vent:
Not Tested	Not Tested	Metal

Items

13.0 Washer
Comments: Not Inspected

13.1 Dryer
Comments: Not Inspected

SERVICE / REPAIR: The damper on the end of the dryer vent is full of lint. Have the vent cleaned for maximum efficiency and to prevent animal entry. Hood located on side of house.



13.1 Item 1(Picture) clear all lint from the dryer line