

Inspection Report



LOCATED AT:

385 Woodbrook Way

Lawrenceville, GA 30043

Saturday, August 01, 2020

PREPARED EXCLUSIVELY FOR:

Kenya Taylor

BUYERS AGENT:

Keosha Swinney

(404) 435-3303

LISTING AGENT:

Pete Fyre

(678) 428-4281



CERTIFIED
INSPECTOR

Executive Summary

This is a summary review of the inspectors' findings during this inspection. However, it does not contain every detailed observation. This is provided as an additional service to our client, and is presented in the form of a listing of the items which, in the opinion of your inspector, merit further attention, investigation, or improvement. Some of these conditions are of such a nature as to require repair or modification by a skilled craftsman, technician, or specialist. We cannot determine the skill proficiency in handling smaller defects and findings observed in the report by the client, therefore we always recommend items in this report be handled by licensed professionals.

Often, following the inspector's advice will result in improved performance and/or extended life of the component(s) in question. In listing these items, your inspector is not offering any opinion as to who, among the parties to this transaction, should take responsibility for addressing any of these concerns. As with most of the facets of your transaction, we recommend consultation with your Real Estate Professional for further advice with regards to the following items:

BASEMENT DAMPNESS OBSERVATIONS & COMMENTS

BASEMENT BASEMENT/CRAWLSPACE

s-17: Stains noted on wood trim or the foundation wall were visible in the left side of the basement. As these stains appear to be inactive at the time of the inspection we recommend monitoring in the future for any evidence of moisture intrusion.

DRIVEWAY OBSERVATIONS/COMMENTS

FLATWORK GROUNDS

s-21: Existing driveway form boards were still observed to be installed and when left in place are conducive for termite activity and moisture damage. We recommend further evaluation and repairs by a licensed contractor.

OBSERVATIONS/COMMENTS

LANDSCAPING GROUNDS

s-27: Trees planted close to structure. Removal may be needed if they get too big or there is possible damage to the building from underground tree roots.

s-28: Trees are touching or overhanging the front right and rear center of the roof. Recommend trimming to avoid roof surface damage and wildlife entry.

OBSERVATIONS/COMMENTS

CHIMNEY EXTERIOR ELEMENTS

s-30: The chimney cap located at the rear of the roof was observed to have surface rust indicating maintenance required to avoid further deterioration at the time of the inspection.

FIBERBOARD SIDING OBSERVATIONS/ COMMENTS

WALLS EXTERIOR ELEMENTS

s-35: Swelling/moisture damage observed at the following locations: rear right

WOOD TRIM OBSERVATIONS/ COMMENTS

TRIM EXTERIOR ELEMENTS

s-38: Moisture damaged exterior wood trim in need of repairs by a licensed contractor was observed at several locations around the exterior of the home to include but not limited to the front center

s-39: Unsealed caulking gaps observed at penetrations for wires/pipes/vents and dissimilar material junctions including and not limited to the front right trim, right side gas pipe, rear right window, rear center window, exterior lighting fixtures and electrical outlets . All penetrations should be completely sealed to prevent any possibility of water entry. Failure to properly seal all gaps can result in moisture damage to the framing.

STAIRWAY OBSERVATIONS/COMMENTS

STAIRWAYS EXTERIOR ELEMENTS

s-43: Surface raised/settled or rotating.

DECK OBSERVATIONS/COMMENTS

DECKS EXTERIOR ELEMENTS

s-45: The deck was observed to have several deficiencies including but not limited to improper attachment over siding, lag bolts primarily attaching deck to house, missing lateral bracing on the support posts and excessive weathering/ wear in need of further evaluation and repairs by a licensed deck contractor.

RETAINING WALL OBSERVATIONS/COMMENTS

RETAINING WALLS EXTERIOR ELEMENTS

s-47: Displacement/Cracks are serious enough to warrant repair or replacement to the wall. At a minimum monitor the movement of the wall by taking photos and budget to make repairs.

GUTTER OBSERVATIONS/COMMENTS

GUTTERS & DOWNSPOUTS ROOF SYSTEM

s-56: Leaf debris was observed blocking the gutters. Failure to clean the gutters can result in rusted gutters, foundation settlement, erosion of supporting foundation grade and water entering the building. Corrections recommended.

s-57: Secure downspouts to the wall where loose.

DRAIN PIPE OBSERVATIONS/COMMENTS

WASTE LINES PLUMBING SYSTEM

s-68: A sewer camera inspection is recommended based on the age of the home. Generally if the home is 20+ years of age and there is no record of a prior sewer scope, one is recommended to be performed at this time. The only way to determine the integrity of the main drain is by observing the inside of the drain system.

WATERHEATER OBSERVATIONS/COMMENTS

WATER HEATER PLUMBING SYSTEM

s-73: Operating at the time of the inspection.

s-74: An expansion device was not present or visible on the cold water supply located near the water heater at the time of the inspection, we recommend further evaluation and repairs by a licensed plumbing contractor.

HALL BATH OBSERVATIONS/COMMENTS

BATHROOM SECTION

s-80: The commode is loose and needs to have the wax ring replaced at this time to prevent leaks visible and/or hidden. While this is generally not an expensive repair, it can be if the flange is cracked or broken.

HEATING SYSTEM CONDITION

HEATING SYSTEM CONDITION HEATING/ COOLING SYSTEM

s-83: Excluding any listed defects, the HVAC unit was observed to operate in serviceable condition when tested with normal operating controls. We recommend routine service (generally twice a year) per manufacturer installation instructions to ensure proper performance and to uphold any applicable product warranty.

CONDITION

AIR CONDITIONING HEATING/ COOLING SYSTEM

s-89: Excluding any listed defects the HVAC system was observed to operate serviceably in cooling mode when tested with normal operating controls.

s-90: The suction line insulation is damaged in the attic and is needed for proper operation. If left in current condition, condensation can form on the outside of the refrigerant line and drip down onto finished surfaces.

PANEL CONCERNS

ELECTRICAL PANELS ELECTRICAL SYSTEM

s-101: Challenger electric panel- This brand of electric panel has had problems where the breakers connect to the panel that may require replacement of the panel. Most problems cannot be seen without removal of the breakers for evaluation. We recommend further evaluation by an electrician familiar with problems associated with this type of panel and repairs done as needed. This is a fairly new problem so some electricians may not be aware of this concern.

STOVE/OVEN

KITCHEN

s-117: Oven bake element is inoperative. Repair is recommended by a qualified repair man.

EXTERIOR DOOR OBSERVATIONS/ COMMENTS

DOORS INTERIOR

s-128: Double keyed dead bolt locks not allowed at exterior fire egress doors after 2010 were installed at the exterior door(s) and may be replaced with approved thumb flip style dead bolt locks for safety.

WINDOW OBSERVATIONS/ CONCERNS

WINDOWS INTERIOR

s-134: Broken seals resulting in fogging glass were observed in the master bedroom, front sitting room. Under different weather conditions other windows may show failed seals that are not apparent on the day of inspection.

SPECIFIC FLOORING OBSERVATIONS/ COMMENTS

FLOORS INTERIOR

s-146: Some squeaking noted in the main floor, upper hallway.

PEST CONCERNS

OTHER CONCERNS ATTIC

s-157: Wildlife droppings were observed in the attic. Monitor the attic for any wildlife activity and remove if found. Consult a pest control company to determine the full extent of any infestation or damage.



Saturday, August 01, 2020
Kenya Taylor
385 Woodbrook Way
Lawrenceville, GA 30043

Dear Kenya Taylor,

We have enclosed the report for the property inspection we conducted for you on Saturday, August 01, 2020 at:

385 Woodbrook Way
Lawrenceville, GA 30043

Our report is designed to be clear, easy to understand, and helpful. Please take the time to review it carefully. If there is anything you would like us to explain, or if there is other information you would like, please feel free to call us. We would be happy to answer any questions you may have.

We thank you for the opportunity to be of service to you.

Sincerely,



Inspector: Chris Sloan
Protect Home And Property Inspection



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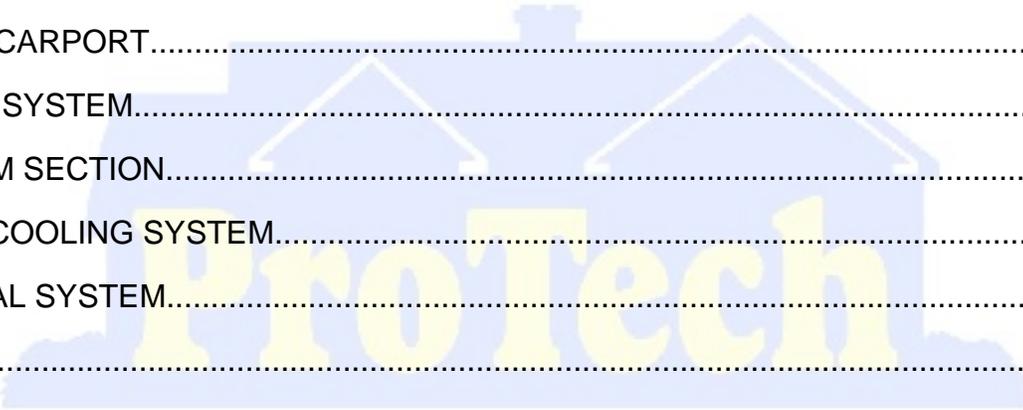
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PROTECH INSPECTION REPORT

REPORT LIMITATIONS This report is intended only as a general guide to help the client make an evaluation of the overall big picture condition of the building, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. While many people use the inspection and report as a tool to negotiate, our goal is to find problems in excess of \$1000 and often will not address smaller problems. Where specific minor repairs are mentioned, they are included to give you, the purchaser, an idea of the types of problems with the building and should not be considered a comprehensive list of defects.

The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, probing of building materials, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

The inspection fee is based on one visit to the property at the time scheduled. If additional visits are required due to utilities being off or limited access to some areas additional charges will apply. Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, mold, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, laundry equipment, efficiency measurement of insulation or heating and cooling equipment, interior of chimney flues, internal or underground drainage or plumbing, buried oil tanks, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; satellite dishes; television wiring; computer wiring; doorbells; security systems; exterior security and yard lighting; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. This is not a code inspection and we will not point out code violations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, cost, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience. We certify that our inspectors or Protech Homes & Property Inspections Inc. have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements.

To the best of our knowledge and belief, all statements and information in this report are true and correct. Should any disagreement or dispute arise between Protech Homes & Property Inspections Inc. and the client, as a result of this inspection or report, the parties agree any litigation arising shall be filed in the Circuit court for Gwinnet County, Georgia . In the event that Company and/or its inspector(s) are found liable due to breach of contract, breach of warranty, negligence, negligent misrepresentation, or any other theory of liability, the liability of the Company and its inspectors shall be limited to a sum equal to the amount of the fee paid by the Client for the inspection and report. The parties party in quagree that any claim asserted must be brought within one (1) year of the accrual oof the cause of action. A pre-inspection agreement signed at the time of the inspection supercedes in any dispute. In the event of a claim, the Client will allow a Protech Homes & Property Inspections Inc. representative to enter the premises and inspect the claim area in question prior to any repairs or the client waives the right to make any claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

OTHER INSPECTIONS AND EVALUATIONS SUCH AS TERMITE INSPECTIONS, EIFS EVALUATIONS, PARTIAL INSPECTIONS, INFRARED SCANNING, COMMERCIAL INSPECTIONS AND MOLD SAMPLING WILL NOT INCLUDE ALL OF THE ABOVE IF WE ARE NOT PERFORMING A FULL RESIDENTIAL INSPECTION.

INSPECTOR INFORMATION

INSPECTOR OF RECORD

1: Chris Sloan

TYPE OF INSPECTION

INSPECTION TYPE

2: Standard Home Inspection

BUILDING CHARACTERISTICS

ESTIMATED AGE OF BUILDING

3: Built around 1997

BUILDING STYLE

4: Single Family Home

OVERALL FINDINGS

INSPECTORS OPINION

INSPECTORS OPINION

5: A visual/ non destructive mold like substance evaluation is included in this home inspection, every Protech inspector has extensive training in the field of fungal and microbial growth inside residential homes. In order for mold to develop inside a home a moisture condition must be present. Examples of a moisture condition include high humidity levels, active roof leaks, waste water leaks, moisture intrusion through foundation components, water supply leaks, moisture damage and intrusion through exterior wall components. It is imperative that moisture conditions favorable to microbial growth be eliminated or any cleanup undertaken will likely need to be repeated.

A musky smell can sometimes indicate a moisture condition in the home. Special attention is recommended in these areas as mold like substances may not be visible during the home inspection. Finished areas, and occupant belongings in the home limit our visibility. When mold like substances are found, often the full extent of the potential contamination cannot be determined without additional evaluation and testing. Testing is always recommended based if there are favorable moisture conditions observed to determine the extent and type of any potential contamination. In our region ventilated crawlspaces are very prone to having high humidity levels and improperly installed vapor barriers, these conditions more often than not present favorable conditions for microbial growth, even with no visible indications we recommend routine monitoring as some mold species like penicillium can develop within a 24 hour time period. Encapsulation is how our area deals with humid crawlspaces, this is a beneficial upgrade that although not required is highly recommended to enhance the quality of the indoor air.

6: Areas of limited visibility due to excess occupant belongings were present in several places of the home. This is common during home inspections and we make attempts to gain full view of materials, and items, in some cases though access cannot be obtained due to large items, or heavy objects. Per ASHI standards, inspectors are not required to move occupant belongings, we recommend performing a careful walkthrough prior to closing in these limited access areas.

7: As a courtesy to our client the home was observed to show signs of wildlife activity evidenced by droppings/ nesting materials, due to the visible evidence in several areas throughout the home we recommend further evaluation by a licensed pest contractor.

WARRANTY RECOMMENDATIONS

WARRANTY RECOMMENDATIONS

8: We recommend purchasing a one year warranty based on the age of some of the mechanical systems and the likelihood for future repairs or replacements. If systems are in need of repair at this time or are very old we strongly recommend service and obtaining a receipt for completed repairs before settlement to help prevent the warranty company from calling it a pre-existing condition and denying coverage.

STRUCTURE

Most building inspectors are not licensed structural engineers and as such cannot legally render a structural opinion. We suggest having any cracks wider than 1/4" or long horizontal cracks in a foundation wall evaluated by a structural engineer. In general small cracks in an older home are considered normal as most buildings are moving to some degree. All cracks in a foundation are considered a structural failure and should be monitored for future movement by taking photos of them and rechecking for changes periodically. That does not necessarily mean a crack needs repair immediately or perhaps at all. If cracks widen significantly within a few years further evaluation is recommended by a licensed structural engineer. It is always possible that small cracks may be an indicator of larger problems that may be hidden from view in a completely different area of the home.

BUILDING COMPONENTS

FOUNDATION

9: Concrete slab

STRUCTURAL WALLS

10: Wood frame construction

FLOORING

11: Open web truss joists.

12: Finished flooring installed over a concrete slab.

ROOF FRAMING

13: The roof is constructed using 2x dimensional lumber covered by OSB sheathing

STRUCTURE OBSERVATIONS & COMMENTS

FOUNDATION OBSERVATIONS

14: Normal hairline cracks were noted in the foundation wall / slab. These cracks are typically the result of normal expansion and contraction and should not be considered a structural concern unless the cracks widen substantially assuming all areas of the foundation are visible. That being said, all cracks should be monitored for future movement by taking pictures to compare in future years.



15: Small cracks less than 1/8" were observed at front center and left side foundation wall/slab. Small cracks are not unusual in any building and they can occur for a variety of reasons. We cannot legally render an opinion without being a licensed structural engineer. If cracks grow to exceed 1/4" in width across the crack further evaluation would be warranted. Smaller cracks are usually just monitored for future movement before repairs are undertaken. We recommend you inquire with the seller as to any past history of movement, history of evaluation and/or repairs attempted.



BASEMENT/CRAWLSPACE

While basements today are often used as living spaces, they in many cases were not built to repel water adequately. If water collects near the foundation, the odds on it getting into the basement or crawlspace are very high. A home inspection is a snapshot in time and most

basements have had water infiltration at some point in the past visible or not. Where we see evidence of water penetration we will report it, but in many cases walls and or floors have been painted, finished, carpeted, and/or blocked by storage. In these cases there may not be evidence of past or even current leakage. The only way to be certain that a basement or crawlspace does not leak is to observe conditions over a prolonged period of wet conditions.

It is not uncommon to see stains that have been in place since a major water event 20 years in the past. Where viewed we routinely test these areas with a moisture meter, however we cannot always tell if the area will leak in the future. When there is a negative grade or problems with the gutters or downspouts outside the odds on future basement dampness increase significantly regardless of past history of conditions at the time of the inspection.

When moisture conditions are elevated it is common to have mold growth. Mold grows quickly and conditions can go from not even visible to obvious in as little as a couple of days. Mold cannot be determined with certainty without lab analysis. A mold test is recommended whenever basement dampness is found or suspected. If you have any sensitivity toward mold or are particularly concerned about mold we can do air sampling either during or after the inspection. Results take about 3-5 days after testing. The home inspection is not a mold evaluation, but one can be arranged for an addition fee if desired. No indoor air quality is conducted in the scope of a standard home inspection. You should be aware a mildew smell is evidence of microbial growth in the area, and further investigation including mold sampling is recommended. You should assume a certain level of mold will always exist in a crawlspace as most crawlspaces offer optimum conditions for mold growth.

BASEMENT

BASEMENT DAMPNESS OBSERVATIONS & COMMENTS

16: Basements of homes in the past were not designed to be finished spaces and it is crucial to keep water out under all circumstances. It is imperative water does not collect near the foundation or it will likely find its way inside at some point.

17: Stains noted on wood trim or the foundation wall were visible in the left side of the basement. As these stains appear to be inactive at the time of the inspection we recommend monitoring in the future for any evidence of moisture intrusion.



GROUNDS

This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Areas too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

The inspection of the lawn irrigation system is not part of a standard home inspection, but can be done for an extra fee. Most homes are in need of regrading somewhere around the foundation. Failure to move water away from the home is the number one cause of water getting into the building. You should assume there is some level of risk of water getting into the building regardless of past history if the proper grade is not established.

FLATWORK

DRIVEWAY DESCRIPTION

18: Concrete



DRIVEWAY OBSERVATIONS/COMMENTS

19: Recommend filling all cracks and openings to prevent further damage or soil compaction which may lead to settlement.

20: Cracking observed and appears normal for a driveway of this age and size. No repairs needed, but take pictures to compare in future years. Avoid heavy moving trucks with a full load.

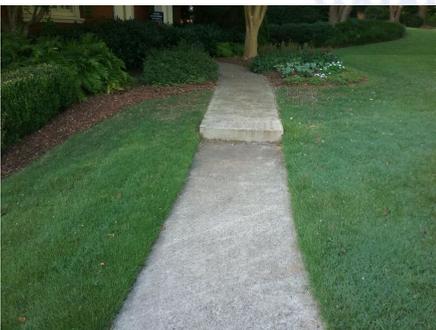


21: Existing driveway form boards were still observed to be installed and when left in place are conducive for termite activity and moisture damage. We recommend further evaluation and repairs by a licensed contractor.



SIDEWALK DESCRIPTION

22: Concrete



SIDEWALK OBSERVATIONS/COMMENTS

23: Good condition

GRADING

GENERAL GRADE

24: Grade at foundation appears serviceable aside from any listed defects allowing surface water to flow away from the foundation.



LANDSCAPING

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OBSERVATIONS/COMMENTS

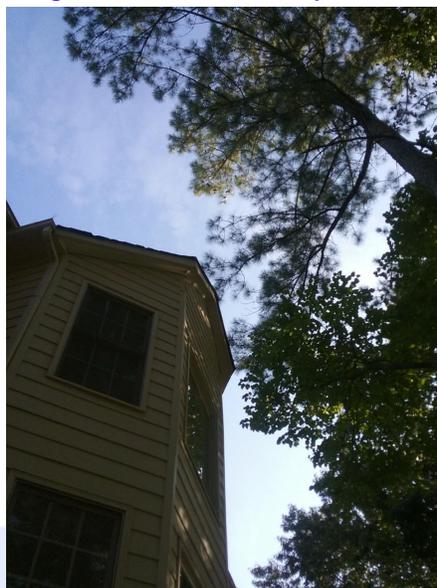
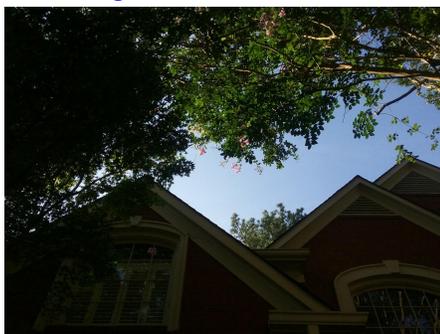
25: Typical condition of landscaping surrounding the building was visible

26: Plants in contact with the exterior of the building were visible at the exterior wall(s) and should be trimmed a minimum of 18" from the exterior to avoid moisture damage.

27: Trees planted close to structure. Removal may be needed if they get too big or there is possible damage to the building from underground tree roots.



28: Trees are touching or overhanging the front right and rear center of the roof. Recommend trimming to avoid roof surface damage and wildlife entry.



EXTERIOR ELEMENTS

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Moving of storage items is beyond the scope of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem, but do indicate movement and should be monitored. All exterior grades should allow for surface and roof water to flow away from the foundation. Non-pressure treated wood should never be below grade or wood will rot and insects may enter and do damage. All concrete slabs experience some degree of cracking due to shrinkage in the drying process. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. The exterior elements listed in this report are those that make up the majority of the building or critical areas. The report is not a comprehensive list of exterior defects, but should be considered a representative sampling. Unless otherwise noted, the house exterior was inspected from the ground.

The chimney inspection was limited to viewing the chimney by looking up into the fireplace when possible and inspection from the ground unless otherwise noted. Where cleaning of a chimney is recommended, further evaluation should also be done as many repairs are not evident until the chimney is cleaned and a cleaning of the chimney often results in additional recommendations. Taking apart metal flue pipes to view the interior is beyond the scope of this inspection. In an older home over 25 years of age with a masonry chimney, cracks in the chimney liner, spalling bricks, un-pargeted smoke shelves or oversized flues used with modern high efficiency gas appliances are common and may require expensive repair. We recommend further evaluation by a licensed chimney sweep in any chimney older than 25 years of age regardless of the stated visual condition.

Few decks built more than 5 years ago would conform to today's building practices. The deck is evaluated for functionality only and not code compliance. Many decks and porches show indications of settlement and/or wood rot or rusting components. Where we deem settlement, rust or rot to be extensive and in need of repair in the near future we will report it, but minor settlement or wood rot is common and will usually not be reflected in the inspection report.

Retaining walls, foundations and building walls are evaluated for functionality and often show evidence of movement to some extent. Where movement does not appear to result in complete failure of the wall in the near term in our judgment, such movement may not be reflected in the report. In our opinion all cracks greater than 1/4" in width or when added up on the same wall greater than 1/4" in a house wall should be evaluated by a structural engineer.

Where wood rot is observed in exterior siding or trim there is always a possibility for additional damage below what is observed. The inspection report does not attempt to report on all areas needing repair. Where more than one area is in need of repair, you should assume other repairs are needed and have the home evaluated by a qualified contractor to get an accurate estimate on repair costs.

CHIMNEY

CHIMNEY DESCRIPTION

29: Fiberboard type



OBSERVATIONS/COMMENTS

30: The chimney cap located at the rear of the roof was observed to have surface rust indicating maintenance required to avoid further deterioration at the time of the inspection.

WALLS

SIDING DESCRIPTION

31: Brick siding

32: Hardboard siding

BRICK SIDING OBSERVATIONS/ COMMENTS

33: As typical maintenance of the exterior brick and stone walls we recommend routine sealing of any unsealed gaps at wall penetrations, junctions of dissimilar materials, and voids between components with caulking or mortar to ensure the water tightness of the building envelope.

FIBERBOARD SIDING OBSERVATIONS/ COMMENTS

34: As typical maintenance for fiberboard siding ensure the siding butt joints and junctions between dissimilar materials remain caulked and painted to prevent moisture damage and possible moisture intrusion.



35: Swelling/moisture damage observed at the following locations: rear right



TRIM

TRIM DESCRIPTION

36: Wood trim

WOOD TRIM OBSERVATIONS/ COMMENTS

37: As typical maintenance for wood trim ensure the trim joints, splits, and junctions between dissimilar materials remain caulked and painted to prevent moisture damage and possible moisture intrusion.

38: Moisture damaged exterior wood trim in need of repairs by a licensed contractor was observed at several locations around the exterior of the home to include but not limited to the front center



39: Unsealed caulking gaps observed at penetrations for wires/pipes/vents and dissimilar material junctions including and not limited to the front right trim, right side gas pipe, rear right window, rear center window, exterior lighting fixtures and electrical outlets . All penetrations should be completely sealed to prevent any possibility of water entry. Failure to properly seal all gaps can result in moisture damage to the framing.





PORCH

PORCH DESCRIPTION

40: Front porch material is brick



PORCH OBSERVATIONS/ COMMENTS

41: Appears serviceable and in normal condition for the age of the home.

STAIRWAYS

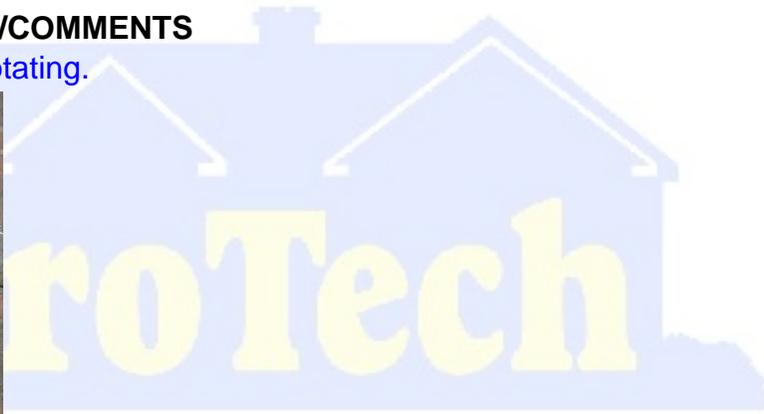
STAIRWAY DESCRIPTION

42: Brick



STAIRWAY OBSERVATIONS/COMMENTS

43: Surface raised/settled or rotating.



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DECKS

DECK DESCRIPTION

44: Painted wood decking



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DECK OBSERVATIONS/COMMENTS

45: The deck was observed to have several deficiencies including but not limited to improper attachment over siding, lag bolts primarily attaching deck to house, missing lateral bracing on the support posts and excessive weathering/ wear in need of further evaluation and repairs by a licensed deck contractor.



RETAINING WALLS

RETAINING WALL DESCRIPTION

46: Concrete



RETAINING WALL OBSERVATIONS/COMMENTS

47: Displacement/Cracks are serious enough to warrant repair or replacement to the wall. At a minimum monitor the movement of the wall by taking photos and budget to make repairs.



ROOF SYSTEM

The foregoing is an opinion of the general quality and condition of the roofing material. The

inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

Our inspection is performed from the equivalent of a 16' extension ladder. Multi story roofs are observed from the ground with binoculars and the attic. In some cases we may not be able to observe all roof surfaces due to the height of the building, restricted access (as on a flat roof with no access hatch), or weather conditions. In those cases we recommend further evaluation by a licensed roofer equipped with the necessary equipment to access these areas.

Where we suggest repairs or further evaluation on a roof, gutter, skylight or flashing it is recommended that the entire roof, gutter, skylights and flashing system be looked at and not just the area suggested. More often than not when one area needs repair other areas need attention as well.

Where ages of the roof or projected remaining life are offered, we do not mean that there will be no problems until then. We offer these comments as a guide to the advisability of repairs vs. replacement only. In a newer roof even expensive repairs may be a good choice, but in an older roof minor repairs may not be the best course of action.

ROOF

ROOF DESCRIPTION

48: Composition shingles. This is the material of choice for most sloped roofs in our climate. Often referred to as fiberglass, asphalt or 3 tab shingles they have an average life of 15-20 years. Some better grades known as architectural style shingles, can have as much as a 30 year warranty, but we rarely see a roof of this type last beyond 25 years. A lighter shade will general absorb less heat and last longer.





ROOF ACCESS

49: The roof was inspected with a combination of methods as appropriate due for safety due to conditions of access, height, and pitch.

ROOF OBSERVATIONS/COMMENTS

50: Normal deterioration for the age of the roof. At some point repairs will be required or leakage may occur. We cannot tell when leaks may develop in the future. Recommend inquiring with the seller if possible for additional information with regards to previous repairs or leakage history.

MAINTENANCE RECOMMENDATIONS

51: We recommend having the roof checked by a licensed roofer going forward and every few years to avoid leaks and make repairs before problems can be seen from the interior of the building.

EXPOSED FLASHINGS

FLASHING DESCRIPTION

52: Metal

53: Composition

FLASHING OBSERVATIONS/COMMENTS

54: No observed or reported deficiencies were noted.

GUTTERS & DOWNSPOUTS

GUTTER & DOWNSPOUT DESCRIPTION

55: Aluminum gutters and downspouts. This is the material of choice for most homes in this area. Aluminum is a long lived material that does not require painting. Periodically, you should check to verify the gutters are still firmly secured to the house and that they are not clogged with debris.

GUTTER OBSERVATIONS/COMMENTS

56: Leaf debris was observed blocking the gutters. Failure to clean the gutters can result in rusted gutters, foundation settlement, erosion of supporting foundation grade and water entering the building. Corrections recommended.



57: Secure downspouts to the wall where loose.



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GARAGE - CARPORT

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Any holes between the garage wall and the residential living space should be sealed with fire rated material such as fire rated drywall. The installation of pull down stairs in the garage is a prime example of an improper hole cut into the roof, but is commonly done.

Garage door openers should be tested monthly to verify proper operation including safety features like electric eyes and proper bounce back when met by an obstruction. Garage doors need maintenance including, painting, oiling the rollers and chains, tightening nuts and bolts along with inspection of older springs. Garage doors and openers frequently fail and may do so between the time of the inspection and move in. Be sure to test the door for proper operation on your final walkthrough to verify it is still functioning properly. Some older garage doors do not have the newer safety devices that prevent the door from closing on children. In these cases we routinely recommend replacement.

It is not a good idea to plug freezers and refrigerators into GFCI outlets in the garage as they are

easily tripped by occupants inside or electrical storms and food may spoil.

GARAGE DESCRIPTION

LOCATION

58: Two car

FIRE WALL

FIREWALL OBSERVATIONS/COMMENTS

59: Repair/ seal any openings in the garage firewall with approved materials to restore its fire rating.



GARAGE DOOR(S)

GARAGE DOOR OBSERVATIONS/COMMENTS

60: Aside from any listed defects the automatic garage door openers were observed to operate in serviceable condition.



PLUMBING SYSTEM

All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection without a sewer camera evaluation and water may not run at the time of the inspection in enough quantity to identify sewer backups that might be clogged out in the yard. A sewer camera inspection is the only way to determine the likelihood of future as well as current problems within the main drain line from the house to the street. This inspection can be done by one of our inspectors for an additional fee if desired. If this home is over 30 years of age or there are large trees in the yard near the pipes, we recommend the drains be scoped to identify any potential problems. Most do not require expensive repairs, but in cases where pipes have to be replaced repairs can be costly.

Backflow preventers are installed in many homes today to prevent risk of contamination to the water supply. In most cases, the backflow preventer is required to be replaced every 5 years, but often has not been changed.

This area has seen numerous problems with pin hole leaks in copper pipes in recent years. Buildings on well and septic systems should have the well water tested and the septic pumped if not pumped within the last year. Inspection of the septic system is beyond the scope of this inspection. Normally a septic system can go 3-5 years between pumping. Buildings on well water with copper supply pipes should also have the water tested for acidity as the copper pipes can be corroded and need replacement if not properly protected. Testing water supply for quality and quantity are beyond the scope of this inspection. Leaks can occur without warning in any home and will happen in every home from time to time. In homes where leaks are detected or have occurred in the past there is a greater risk of mold growth. Leaks should be repaired quickly when they occur.

SUPPLY LINES

MAIN ENTRY PIPE DESCRIPTION

61: Appears to be Copper



LOCATION OF MAIN SHUTOFF

62: Basement front wall



MAIN ENTRY OBSERVATIONS/COMMENTS

63: No observed or reported deficiencies were noted.

INTERIOR SUPPLY PIPES DESCRIPTION

64: Copper.

INTERIOR SUPPLY OBSERVATIONS/COMMENTS

65: No leakage is noted, but monitor in the future.

WASTE LINES

DRAIN DESCRIPTION

66: Plastic.



DRAIN PIPE OBSERVATIONS/COMMENTS

67: There is always a possibility for damaged or broken pipes hidden from view at the time of the inspection. Additionally some slower leaks may not become visible during the inspection process and may show up after a period of time. While our system of testing plumbing fixtures is likely to find defects, sometimes these issues do not show up during the 3-4 hours we are on site. We recommend monitoring under plumbing fixtures and areas below bathrooms for the first few months after moving in for any developing issues.

68: A sewer camera inspection is recommended based on the age of the home. Generally if the home is 20+ years of age and there is no record of a prior sewer scope, one is recommended to be performed at this time. The only way to determine the integrity of the main drain is by observing the inside of the drain system.

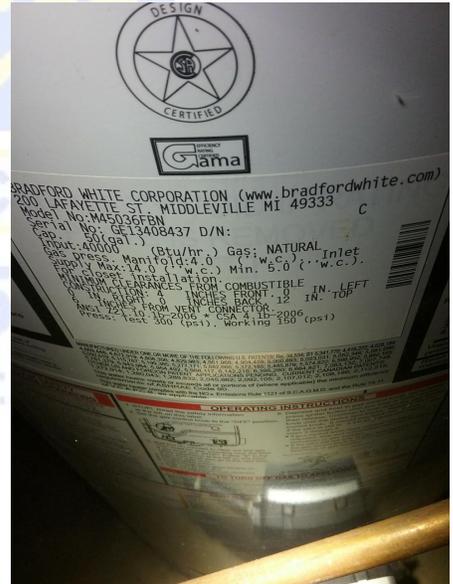
VENTING OBSERVATIONS/COMMENTS

69: Venting materials are the same product as waste lines and appear serviceable from a visual observation.

WATER HEATER

FUEL SOURCE AND SIZE

70: 50 gallon gas water heater



LOCATION

71: Basement

AGE

72: Manufactured around 2013 . The average life for storage tank water heaters today is 8-12 years, and generally 20 years for tankless units. Any water heater over 7 years of age has the potential for failure at any time. That being said, some may last for 20 years or more, thus unless the water heater is located in an area that will cause significant damage when it fails most people change the water heater when it begins to leak or develops other problems to expensive to warrant repair.

WATERHEATER OBSERVATIONS/COMMENTS

73: Operating at the time of the inspection.



74: An expansion device was not present or visible on the cold water supply located near the water heater at the time of the inspection, we recommend further evaluation and repairs by a licensed plumbing contractor.



GAS/OIL LINES

TYPE OF FUEL PIPE DESCRIPTION

75: Black iron

LOCATION OF GAS METER

76: Exterior right side



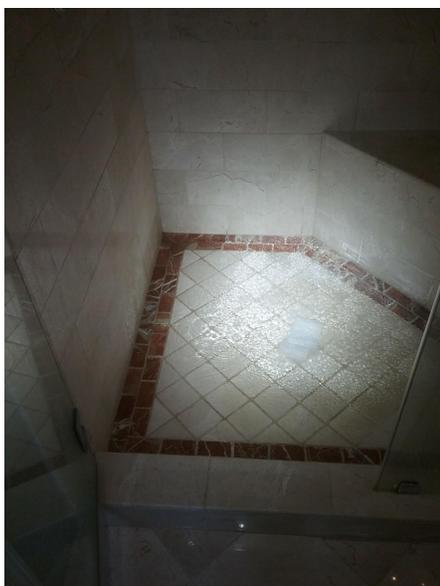
BATHROOM SECTION

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Small imperfections can allow water to get into the wall or floor areas and cause damage. Damage to the structure including wood rot, mold and mildew under areas that have had leakage either in the past or currently is always a possibility and should be anticipated in areas that have had prolonged leaks. Sometimes these repairs can be expensive and is usually not discovered until the walls or flooring is removed in the course of remodeling. Proper ongoing maintenance will be required with all homes. Expect a slow drain in at least one fixture or pipe in a bath every so often. Check for leaks both at the sink spout and under the sink every few months as leaks can develop at any time. Turning the small supply valves at the fixtures often causes a leak. Newer high quality valves are available that are not prone to leaking. Toilets often leak from the tank into the bowl resulting in higher water bills but may not happen with every flush and is not likely to be caught in the course of a home inspection as we are in each bathroom for a short time. This is often and intermittent problem that can be repaired inexpensively (under \$10 for materials) by changing the hardware inside the tank. It is rare that a toilet cannot be repaired, but plumbers often recommend replacement rather than repair. Few warranties will cover toilets and repairs to toilets. If in the course of remodeling tiles are removed in wet areas, expect to find mold as grout is a porous material and water will get behind the tiles in time. It is not uncommon for small repairs to become larger repairs due to unseen

problems and/or parts that are no longer available.

OVERALL OBSERVATIONS/COMMENTS

77: The condition of the bathrooms as a whole is typical for the age and area. As with all homes, there are some repairs needed.



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MAINTENANCE TIPS

78: Caulking is needed frequently in all bathrooms in areas like the counters, tub enclosure, shower enclosure, sink perimeters, faucet penetrations, commode bases, and other junctions of dissimilar materials. Some of these areas were visible at the time of the inspection.

79: Keep the area between the tiles and dissimilar materials well grouted to avoid water intrusion.

HALL BATH OBSERVATIONS/COMMENTS

80: The commode is loose and needs to have the wax ring replaced at this time to prevent leaks visible and/or hidden. While this is generally not an expensive repair, it can be if the flange is cracked or broken.



HEATING/ COOLING SYSTEM

The heating and cooling system when tested, is tested for basic safe operation from a visual standpoint. All possible combinations of operation have not been tested. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. More often than not some level of mold can be detected in the ductwork or on various parts of the HVAC system.

In condos and other buildings where elements of the system are located on the roof the inspection may be limited to the portion inside the unit only, depending on the type of system and/or access at the time of the inspection. Some furnaces, boilers and ductwork, especially in

older homes, may contain asbestos. Reporting on the presence of asbestos is outside the scope of this inspection and can only be determined for certain by evaluation under a microscope. It is common for under slab ductwork to be broken, contain asbestos, mold, standing water and be contaminated by termite treatments. Sending a camera through the ductwork is recommended to determine the condition if concerned. Ductwork is tested to determine if air is moving through them only. The inspection does not speak to the adequacy of air flow to a given area of the home as conditions that may affect air flow will change day to day and season to season. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Cooling systems cannot be tested in cool weather below 40 degrees. Subjective judgment of system capacity is not a part of the inspection. A very rough rule of thumb for AC adequacy is 600-800 sq feet per ton of AC cooling capacity, however an exact determination cannot be made without doing a Manual J report on the property. If the heating or cooling system is older than 10 years we recommend you purchase a one year warranty on the property. Average expected lifespans: Forced air furnaces have an expected life of 15-20 years, AC units 8-12 years, Boilers 25-35 years. The age of the system or expected remaining life is sometimes offered to give the reader an idea of the advisability of repairs only. In a newer system repairs often make sense, while in an older system even a small repair might not be the best course of action or parts may not be available. Where repairs are recommended, we suggest further evaluation of the entire HVAC system as often more extensive work is needed than is readily apparent.

INSTALLED HEATING SYSTEMS

HEATING SYSTEM DESCRIPTION

81: Gas forced air furnace. The average life for a furnace in this area is 15-20 years depending on the quality of the furnace and maintenance levels. A poorly maintained system could fail in as little as 5 years and a well maintained system last over 20 years. All heating and cooling systems will require repair from time to time. It would be unusual for a system to go 15 years without something needing repair. Often the repairs will be for a system that has been off for a while. They don't usually break while they're running.

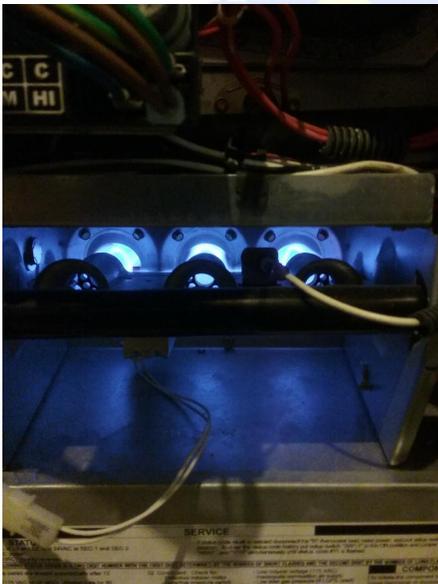
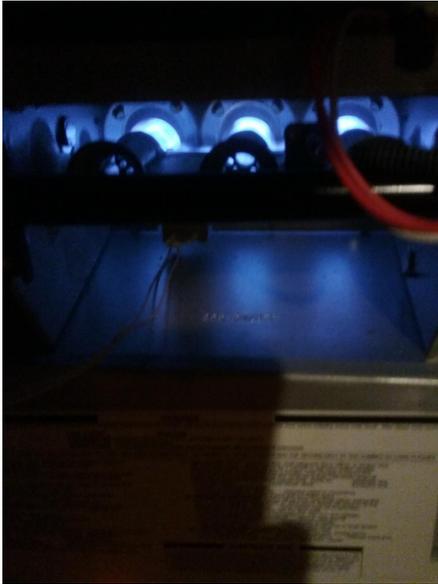
AGE OF SYSTEMS

82: Manufactured around 2016.

HEATING SYSTEM CONDITION

HEATING SYSTEM CONDITION

83: Excluding any listed defects, the HVAC unit was observed to operate in serviceable condition when tested with normal operating controls. We recommend routine service (generally twice a year) per manufacturer installation instructions to ensure proper performance and to uphold any applicable product warranty.





CAPACITY

87: 2 ton AC unit.

88: 2 1/2 ton AC unit.

CONDITION

89: Excluding any listed defects the HVAC system was observed to operate serviceably in cooling mode when tested with normal operating controls.





90: The suction line insulation is damaged in the attic and is needed for proper operation. If left in current condition, condensation can form on the outside of the refrigerant line and drip down onto finished surfaces.



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DUCTWORK

TYPE

91: Flexible Round

CONDITION

92: A limited visual inspection of the HVAC ductwork was conducted and appeared to be serviceable. Please note many ductwork junctions and terminations lose their seal, and may leak conditioned air as not all runs undergo a complete visual examination due to location and building materials.

93: Several were tested for air flow and temperature of the air. While we did not measure quantitatively, the amount of air flowing out of the registers there was at least some air coming out of each register tested. A representative number are tested in the scope of a standard home inspection.

ELECTRICAL SYSTEM

In most buildings in accordance with MD law and ASHI standards of practice, we test a representative number of outlets, switches and fixtures. The home inspection is not a code compliance inspection. In most homes there are aspects of the electrical system that would not comply with the current building code as codes change frequently. We do not expect to find every damaged or improperly wired outlet, switch, or defective light fixture in the scope of a standard inspection. A comprehensive evaluation of the electrical system would take several hours and is not part of a typical home inspection, but can be arranged at another time for an additional fee if desired. In most cases it would be less costly to repair whatever problems are discovered once you move in. You should assume if we find a couple of electrical problems there are more that also need repair. When repairs are needed it is often necessary to upgrade aspects of the system to comply with current building codes which can add to the cost of what appeared to be a simple repair. Electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire building, floor or suite should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Light bulbs are not changed during the inspection, due to time constraints and a concern for damage to the fixture. Where lights are not functioning it would be prudent to ask that all lights be operating at the time of your final walkthrough rather than specific fixtures. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly. In many areas hard wired smoke detectors are now required in each bedroom either when a home is constructed or being remodeled. We do not in the scope of this inspection verify adequate load distribution of circuits in the building. It is not uncommon, especially in an older building to have problems with tripping breakers or blowing fuses when multiple devices are operating simultaneously. Ground fault or (GFCI) outlets and Arc fault circuits (AFCI) are recommended for all homes built today. They are a wise upgrade to any older home not equipped with them. Typically, the GFCI outlets will be protecting the user from electrocution in kitchens, baths, garage, pool, hot tub and exterior outlets along with any other potentially wet area, while AFCI breakers will be protecting bedrooms from fires resulting from an arcing of the electrical current. In homes where more than a couple of electrical problems are observed we advise further evaluation of the entire electrical system by a qualified electrician and repairs done as needed. The home inspection will rarely identify all electrical defects or possible safety upgrades within a building.

SERVICE

TYPE & SIZE

94: The electric service to your home consists of an underground 200 AMP main service entrance wire leading into a 200 AMP main electric panel with copper lower branch wires protected by circuit breakers.

VOLTAGE

95: 120/240 VOLT System

OVERALL CONDITION

96: Appears serviceable

GROUNDING

97: Unable to verify grounding from a visual inspection.

ELECTRICAL PANELS

MAIN DISCONNECT

98: Inside the main electric panel.



MAIN PANEL LOCATION

99: Left side wall



OVERALL CONDITION

100: Appears serviceable. We are checking for functionality in the scope of our inspection and not code compliance. There are often many areas in an older home that would not be compliant with the requirements of a modern home. Where in our opinion there are areas that we deem unsafe we do make recommendations for upgrades regardless of current or past building codes.

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PANEL CONCERNS

101: Challenger electric panel- This brand of electric panel has had problems where the breakers connect to the panel that may require replacement of the panel. Most problems cannot be seen without removal of the breakers for evaluation. We recommend further evaluation by an electrician familiar with problems associated with this type of panel and repairs done as needed. This is a fairly new problem so some electricians may not be aware of this concern.



SUB PANEL #1 LOCATION

102: Garage



SUB PANEL CONCERNS

103: Unsealed opening(s) were observed inside the electrical sub panel. Recommend further evaluation and repairs by a licensed electrician.



CONDUCTORS

LOWER BRANCH WIRING

104: Copper

LOW VOLTAGE

105: Inspection of low voltage wiring systems is considered outside the scope of the home inspection. Examples of these systems include: thermostat wiring, security system wiring, audio wiring, cable/ internet wiring, and land line telephone wiring.

FIXTURES, SWITCHES & OUTLETS

OVERALL CONDITION

106: We test a representative number of outlets, switches and fixtures as part of a home inspection. No furniture or belongings are moved to test the system.

FIXTURE CONCERNS

107: Lights are not operational in some areas, possibly due to bad/ missing bulbs, recommend having all operating for your final walkthrough to verify proper operation.



KITCHEN

Inspection of stand alone freezers, portable microwaves and after market water filtration systems and under cabinet lights are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation, the even heating of the oven or the complete cooling of all areas of the refrigerator.

Appliances are tested for basic operation in one mode only meaning it might not work in another mode. It is not uncommon for an appliance to fail between the time of the inspection and the completion of the sale especially in vacant homes where they may not have been used for a few weeks. Appliances rarely break while running. Like your car, it just won't start one day and like your car it is most likely to be when it has not been on for some time. You are strongly advised to retest all of the equipment at the time of the final walkthrough.

We make no representation as to how long appliances will function in the future. Refrigerators, wine chillers and freezers are checked for cooling only. We do not verify proper operation or determine leakage of water dispensers, filters and ice makers in the scope of this inspection. We do not test all aspects, controls, cycles, seals, speeds and operational temperature of each appliance in the scope of this inspection. No tools are used when testing the appliances. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, glass, lights and thermostat accuracy are not tested or evaluated during this inspection. Appliance are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing. There is often floor damage under dishwashers and refrigerators that may not be discovered until the units are moved for service or replacement. There is a risk for microbial growth whenever an appliance leaks especially if small leaks are not repaired in a timely manner. We do not speculate as to the probability of microbial growth in the scope of our inspection. Air sampling can be done for an additional fee if you are concerned about potential microbial growth.

If the majority of the appliances in the kitchen are older than 10 years you may want to consider purchasing a one year warranty on the home. This type of warranty not only covers the appliances, but plumbing and electrical repairs with a \$50-100 deductible. Where we talk about

the projected life of appliances it is to aid you in determining the best course of action with regard to repair vs. replacement. We have no idea when an appliance may break, but putting repairs into a newer appliance might make sense while repairs to an older one may not. The condition of walls or flooring hidden by washers and dryers cannot be judged. It is recommended that any washer installed over a finished area be installed within a drain pan to help control potential leakage. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned. We strongly recommend metal dryer vents instead of plastic or foil ones and braided metal washer supply hoses instead of rubber ones. While the average life of washers and dryers is between 5-10 years it is not uncommon for one to need repair at any time. It should be assumed there will be minor problems with any appliance over 5 years of age. You will likely need to replace one or two appliances every year, especially the first year you move in. The inspection is not a guarantee nothing will break the first week you move in, it happens all the time. When repairs become too frequent or costly the unit should be replaced regardless of its age.

OVERALL CONDITION

108: The overall condition of the kitchen appears to be average for the age of the home.



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COUNTERS

109: Granite/ Marble/ Quartz countertops. This is a popular high end product that lasts a long time and looks great. It can stain, crack, scratch or get chipped if not properly cared for. Reseal as typical maintenance every year or 2.



110: Grout/caulking is missing in some areas.



CABINETS

111: The cabinets appear to be in normal condition for their age.

FLOORING

112: The flooring appears to be in good condition and should be serviceable for several more years.

SINK AREA

113: Aside from any listed defects the sink and faucet were operating properly at the time of the inspection.



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DISPOSAL

114: Appears serviceable



DISHWASHER

115: Operational as tested, but check again on your final walkthrough as leakage is a common problem.



STOVE/OVEN

116: Aside from any listed defects the stove/ oven appeared to be in serviceable condition.



117: Oven bake element is inoperative. Repair is recommended by a qualified repair man.



MICROWAVE

118: Operational



HOOD/VENTILATION

119: The stove hood was operating properly at the time of the inspection.



120: Installed as part of the microwave.

121: The stove hood/ microwave is not vented to the outside. Clean or change the screen from time to time.

REFRIGERATOR

122: The unit appears to be operating normally at the time of the inspection. Freezer temperatures were observed below freezing and the refrigerator was cold. Per ASHI standards inspection of the refrigeration, internal components, ice maker, and cooling performance is considered outside the scope.



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LAUNDRY

CLOTHES WASHER

123: Laundry wall appears serviceable at time of the inspection. Testing of any clothes washing or drying appliances is considered outside the scope of the inspection. Water cut off valves for washing machines are not tested during the inspection as they are prone to leaking when operated.



WASHER CONCERNS

124: We recommend every washing machine have a pan under it to prevent leakage onto the floor and ceiling below if applicable.



DRYER CONCERNS

125: Prior to use we always recommend checking the dryer vent piping and cleaning out of any excess lint buildup.

INTERIOR

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. In any building built before 1978 there is a possibility for asbestos or lead paint to be present in many products including plaster, flooring and ceilings along with insulation. In fact, any building built before 1978 should not be assumed to be free from these and other well-known contaminants. Moving storage items and furniture are outside the scope of this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not always reported. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Door locks

are not tested in the scope of this inspection. We recommend new locks be installed on all doors requiring keys. The home inspection is not a mold inspection. A specific mold inspection can be ordered as an add on to the home inspection at a later date if desired. Most home inspectors are not trained to do a mold inspection. You should assume there is some level of mold in every home. It is recommended that people with high sensitivities to mold and other allergens consider having mold sampling done to determine if a mold problem exists. Mold is not visible to the naked eye until higher levels exist, but conditions favorable for mold growth can result in higher concentrations growing in as little as 48 hours. You should assume any surface wet for more than 48 hours is likely to begin growing mold. In areas where surface damage is visible due to wood rot, insect damage, mold or uneven settlement it would be prudent to assume problems also exist beyond view and further invasive evaluation will be needed to accurately assess the situation. More often than not, walls, ceilings and floors cannot be opened up in the scope of a real estate transaction. In every transaction we recommend inquiring about any history of past leaks and repairs, as paint and other finishes may mask past evidence of problems.

DOORS

MAIN ENTRY DOOR OBSERVATIONS/ COMMENTS

126: The main entry door appears to be operational and typical for the age of the home.



127: Door sagging and not square in the opening.



EXTERIOR DOOR OBSERVATIONS/ COMMENTS

128: Double keyed dead bolt locks not allowed at exterior fire egress doors after 2010 were installed at the exterior door(s) and may be replaced with approved thumb flip style dead bolt locks for safety.



INTERIOR DOOR OBSERVATIONS/ COMMENTS

129: Appears serviceable, aside from any listed defects.

WINDOWS

WINDOW DESCRIPTION

130: Wood double hung insulated glass windows



GENERAL WINDOW OBSERVATIONS/COMMENTS

131: Testing all aspects of all windows is beyond the scope of a home inspection. Where repairs are recommended you should consider the list of repairs as a sampling of the problems observed and not a complete list of problems regarding the windows.

132: Windows are generally expected to last about 15-20 years without problems. After that you should anticipate some repairs being needed. When repairs become too expensive or frequent then replacement makes sense.

WINDOW OPERATIONAL OBSERVATIONS/ COMMENTS

133: Some windows are sticking and hard to open or could not be opened at all in various places. This is a common problem especially when windows are not operated frequently or the inspection is conducted in humid conditions. We recommend having all windows operable prior to final walkthrough.

WINDOW OBSERVATIONS/ CONCERNS

134: Broken seals resulting in fogging glass were observed in the master bedroom, front sitting room. Under different weather conditions other windows may show failed seals that are not apparent on the day of inspection.



INTERIOR WALLS

WALL DESCRIPTION

135: Drywall.

GENERAL WALL OBSERVATIONS/COMMENTS

136: General condition appears normal for the age of the building. Some minor nail pops or drywall touchups are needed in most homes.

SPECIFIC WALL OBSERVATIONS/ COMMENTS

137: Typical cracks/ minor holes noted in several locations. Although typical for the age of the home we recommend repairs by a licensed contractor.

INTERIOR CEILINGS

CEILING DESCRIPTION

138: Drywall

GENERAL CEILING OBSERVATIONS/COMMENTS

139: General condition appears normal for the age of the building. Some minor nail pops and drywall touchups are needed in most homes.

SPECIFIC CEILING OBSERVATIONS/ COMMENTS

140: Nail pops and or minor drywall holes/cracks were observed in a few areas. Although common for the age of the home this is a minor problem that is easily corrected by a licensed general contractor.

FLOORS

FLOORING DESCRIPTION

141: Hardwood floors

142: Carpeting

143: Ceramic tile

FLOORING OBSERVATIONS/COMMENTS

144: We have no idea what the flooring looks like under carpets and furniture. Moving carpets and furniture is beyond the scope of a home inspection.

145: General condition appears serviceable.

SPECIFIC FLOORING OBSERVATIONS/ COMMENTS

146: Some squeaking noted in the main floor, upper hallway.



147: Squeaks are the result of two materials rubbing against each other. Repairs involve securing the floor so that it does not move. Unfortunately, due to the normal expansion and contraction of the building it is not possible to stop all the squeaks everywhere. You can usually stop one or at least move it from a given area, by screwing or nailing the floor in the area that is making the noise.

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STAIRS & HANDRAILS

STAIR DESCRIPTION

148: Wood stairs covered by wall-to-wall carpet



STAIR OBSERVATIONS/COMMENTS

149: Serviceable condition

RAILING OBSERVATIONS/COMMENTS

150: Stair handrail serviceable.

FIREPLACE/GAS OR WOOD BURNING STOVES

FIREPLACE DESCRIPTION

151: Prefabricated metal wood burning fireplace



SMOKE / FIRE/ CO DETECTORS

SMOKE ALARM OBSERVATIONS/ COMMENTS

152: While we test a representative number of smoke detectors in the home this test only verifies the action of the test button, once moved in we suggest slowly replacing detectors with new units to ensure all are operational. Additionally if the home has a natural gas or propane service we recommend installing carbon monoxide detectors near the gas fired appliances. It is not uncommon to have a few detectors in the home that are non operational.

ATTIC

The inspection of the attic is limited to areas visible from walking areas only. No insulation is moved in the scope of an attic inspection. There is always a possibility for damage, mold, stains, improper wiring, disconnected ducting or venting, disconnected or broken pipes, truss damage and other defects hidden from view by insulation or accessibility. The inspector will not walk anywhere in the attic that he deems unsafe at the time of the inspection or could potentially cause damage to the home. The attic inspection will be limited to the hatch area in temperatures over 120 degrees for the safety of the inspector. Some insulation materials may potentially contain asbestos such as vermiculite. We do not test for asbestos or other potentially unsafe health concerns such as mold in the scope of a standard inspection. Asbestos and mold testing can be arranged for an additional fee. Mold is a concern in many attics and cannot be confirmed without lab analysis. This inspection does not include an evaluation of microbial growth. It is common for animals to enter the attic and they can do significant damage to wires, ceilings, ducting and insulation. Animals should not be tolerated living in an attic. We recommend removal of animals when observed, but they tend to hide when we enter attics during an inspection. More often the only evidence of animals in the attic is feces. Reporting on animal feces is not part of the standard home inspection, unless we consider it an abnormal amount.

INSPECTION METHOD

METHOD OF INSPECTION

153: From attic.



VENTILATION

ATTIC VENTILATION

154: The attic ventilation was observed to be in serviceable condition at the time of the inspection.

TYPE

155: Ridge and soffit vents have been installed. It is considered a good way to vent an attic.

INSULATION

ATTIC INSULATION

156: Fiberglass blown-in



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OTHER CONCERNS

PEST CONCERNS

157: Wildlife droppings were observed in the attic. Monitor the attic for any wildlife activity and remove if found. Consult a pest control company to determine the full extent of any infestation or damage.



ENVIRONMENTAL CONCERNS

Environmental issues include but are not limited to radon, fungi/mold, asbestos, lead paint, lead contamination, toxic waste, formaldehyde, electromagnetic radiation, buried fuel oil tanks, ground water contamination and soil contamination. In some cases we may not be trained or licensed to recognize or discuss these materials. We may make reference to one of more of these materials in this report when we recognize one of the common forms of these substances. If further study or analysis seems prudent, the advice and services of the appropriate specialists are recommended. In some cases that may be us. In those instances a separate agreement will be required.