

Home Inspection Report

1539 Brompton Ct
Dunwoody, GA 30338

Prepared for: Caroline Patterson and Alex Goldberg



Prepared by: David Hunter

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GLOSSARY OF TERMS

Good News: Positive qualities about the property.

Action: Items that need repair and are considered a priority.

Attention: Minor Repairs and Maintenance Items.

Client Recommendation: Recommend client consider changing or upgrading this item.

INSPECTION AND REPORT LIMITATIONS

This Inspection is a visual inspection of the property listed above and is intended only as a general guide to help the client make their own evaluation of the overall condition of the building. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which are concealed, camouflaged or unaccessible to inspect are excluded from this inspection and report.

Customer is advised to read and understand the Inspection Contract which lists the inspection limitations, exclusions and the scope of the inspection. The inspection is performed in compliance with the ASHI standard of practice, a copy of which is available upon request or at www.ashi.org.

This inspection and report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. This report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems or their component parts. This report does not constitute any express or implied warranty of the condition of the property and it should not be relied upon as such. To the best of our knowledge and belief, all statements and information in this report are true and correct.

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INSPECTION REPORT SUMMARY



August 12, 2020

Caroline Patterson and Alex Goldberg
1539 Brompton Ct
Dunwoody, GA 30338

The following is an opinion report, reflecting the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied.

This Home Inspection Report Summary is intended to provide an overview of the building. This report summary is not the entire report. The complete report may include additional information of concern to you. The entire Inspection Report must be carefully read to fully assess the findings of the inspection.

It is strongly recommended that you have appropriate licensed contractors evaluate each concern and the entire system further BEFORE the close of escrow for additional concerns that may be discovered or be outside our area of expertise or beyond the scope of our inspection.

Please call our office for any clarifications or further questions.

Thank you for selecting Hunter Home Inspections to do your home inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,
David Hunter

Hunter Home Inspections LLC.
678-822-2600

ASHI #247068
ICC #5308794

GOOD NEWS

Building Description

1. **GOOD NEWS:** Overall, the home was constructed in a professional manner and shows workmanship consistent with accepted standards.

Lot Conditions

2. **GOOD NEWS:** The home has a large back yard.

Exterior Walls & Components

3. **GOOD NEWS:** Brick siding and fiber cement siding are installed. Benefits include lower maintenance than wood siding and a higher re-sale value.

Plumbing

4. **GOOD NEWS:** The interior water supply piping in the home is predominantly copper. Copper is considered the most reliable and durable water pipe material.

Gas Service

5. **GOOD NEWS:** There is a Carbon Monoxide alarm installed in the home. This inspection cannot verify its ability to safely monitor current carbon monoxide levels or the carbon monoxide level that will set off the alarm.

Kitchen

6. **GOOD NEWS:** Stone counter tops are installed in the kitchen.

7. **GOOD NEWS:** There is a built in microwave oven.

Bathrooms

8. **GOOD NEWS:** The toilets in the master bathroom, middle rear bathroom, and hall bathroom are the water saving type that use only 1.6 gallons per flush instead of the older type that use 3 to 4 gallons of water.

Garage

9. **GOOD NEWS:** The overhead garage door is made of metal, which lasts longer and requires less maintenance than a wood door.

ACTION ITEMS

Lot Conditions

Grading and Drainage:

1. - The grade of the soil on the left side of the home slopes toward the foundation.
 - The grade of the soil on the front of the home does not have sufficient slope to keep water away from the foundation. Water is entering the crawlspace.
- Re-grading or a drain system is recommended to help prevent settlement of the foundation and water from entering the crawlspace.

Foundation

Evidence of Water:

2. - At the time of the inspection the soil was wet at several locations of the crawlspace. Repairs by a water proofing contractor are recommended to stop water entry and to help keep the crawlspace dry. Not all locations are shown below.

Vapor Barrier:

3. - Some areas of the ground in the crawlspace are not covered with plastic.
- Not all locations are shown below. Recommend installing plastic where missing so that the entire area is completely covered to help reduce the moisture level.

Ventilation:

4. - The crawlspace vents on the left front of the home are below grade and the wood around them will allow water entry into the crawlspace.

Repair is recommended to prevent water entry into the crawlspace and help keep it dry.

Evidence of Fungus:

5. - There is a fungus or mold like substance on the floor joists and subfloor in the crawlspace. Not all locations are shown below. This inspection does not include testing for mold.
- Recommend having mold testing or remediation completed by a by a licensed mold remediation company.

Exterior Walls & Components

Trim Condition:

6. - Some of the soffits on the front and rear of the home are loose.
 - Wood rot was noted at the front door.
- Recommend having a contractor repair as needed.

Exterior Doors:

7. - The French doors in the sunroom were locked and I did not have a key to test it. The stationary door does not lock.
- The front storm door does not latch.

Porches

Condition:

8. - There are loose bricks at the step of the front porch.
 - The sunroom porch is not bolted to the home. This can allow it to pull away from the home.
 - There is not a railing on one side of the screen porch stairway.
 - There is not a graspable railing on the sunroom stairs. A graspable railing is required on at least one side for safety.
 - The screen porch door is deteriorated.
 - One of the screens is torn.
- Recommend having a qualified contractor make necessary repairs.

Deck

Framing:

9. - The deck is not bolted to the home. This can allow the deck to collapse.
 - The floor joists for the deck are too small and are over spanned. 2x6 boards are not allowed to be used for floor joists.
 - The mid span support posts are only supporting three of the floor joists and they do not have proper footings under them.
 - The openings in the deck railings are too wide. Current safety standards allows a maximum of 4" as a safety issue for small children.
 - The railings around the deck are too low. They are 26 1/2 inches high, the minimum height requirement is 36 in.
 - The stairway is too narrow, it is 30 inches wide. 36 inches is the minimum width for all stairways.
- Recommend having a qualified contractor evaluate the deck and repair as needed.

Roofing

Condition of Roof:

10. - Some of the shingles at the front of the home have been covered with tar. This is not a permanent repair.
 - Damaged shingles were noted at several locations.
 - Some of the shingles on the rear of the home turn upward. This can allow water entry.
 - There is evidence of a roof leak above the garage.
 - The shingles have excessive granular loss.
- Recommend having a licensed roofing contractor evaluate the roofing system and repair or replace as needed.

Attic

Condition of Access:

11. - The hardware on the attic pull down stairs is loose. This can cause collapse of the stairs.
Repair is recommended for safety.

Framing Condition:

12. - One of the roof rafters above the fireplace was cut to install the flue, and one ceiling joist above the garage was cut to install the access panel.
Recommend a qualified framing contractor repair as needed.

Condition of Insulation:

13. - There is no insulation above the laundry room, above half of the kitchen, and above a section of the hallway. The insulation in the rest of the attic is low, it is approximately 5 inch thick.

Electrical System

Panel Condition:

14. - One of the breakers in the electrical panel is double tapped. This is when two wires are connected to one breaker. These need to be separated so that each circuit will have its own breaker.
- There is more than one wire installed in the terminals on the neutral bar in the panel box.
- The electrical panel is not installed in a manner to allow for safe access for operation, repair, or inspection as required by industry standards. The clear space in front of a panel box is required to be a minimum of 30" wide, 36" deep and 80" high.
Repair by an electrician is recommended.

Wiring Condition:

15. - Some of the wiring in the crawlspace is loose and laying on the ground.
- There is an open junction box in the attic. This is a fire hazard.
- The conduit on the electrical wire to the kitchen sink disposer is loose, this leaves the wires exposed.
Repair by an electrician is recommended.

Receptacles:

16. - Ungrounded receptacles were noted at the deck, in the screen porch, and in the garage.
- There is a loose receptacle in the garage.
- There is not an electrical receptacle to the left of the range. This was required at the time the kitchen was remodeled.
Repair by an electrician is recommended.

GFCI Protection:

17. - The receptacles at the deck, in the screen porch, in the garage, some of the receptacles in the kitchen, and the master bath jetted tub motor did not shut off when tested for GFCI protection.
This is a shock hazard. Repair by an electrician is recommended for safety.

Interior Lighting:

18. - The light in the dining room did not function correctly from both of the three way switch locations.
Repair or replacement by an electrician is recommended.

Plumbing

Piping Condition:

19. - There is a leak on the water pipe in the crawlspace under the kitchen.
- The saddle valve in the crawlspace under the kitchen is rusted.
Repair by a plumber is recommended.

Waste & Vent Pipe Condition:

20. - There are leaks in the drain piping in the crawlspace.
Recommend having the waste piping evaluated and repaired as needed by a licensed plumber.

Water Heater

Flue Pipe:

21. - The water heater flue collar is not properly installed and centered over the exhaust pipe on the tank.
- The flue pipe for the water heater was reduced from 4 inches down to 3 inches. This is too small for a 75 gallon water heater. This can allow carbon monoxide to spill into the home. Recommend having a licensed plumber make all necessary repairs.

Relief Valve:

22. - The Temperature & Pressure relief valve on the water heater is turned upward, the discharge pipe runs uphill and there is not a drain valve installed. Manufacturers and plumbing standards require the valve to be turned downward and require a drain installed before the pipe goes up after leaving the T&P valve. Water trapped in the discharge pipe can cause back-pressure and damage.
Recommend having a licensed plumber correctly install the T&P valve and install a drain on the lowest point of the pipe before it goes up.

Thermal Expansion:

23. - I could not locate a thermal expansion tank or thermal expansion valve. This was required when the water heater was replaced. Recommend having a plumber install a thermal expansion tank for safety.

Gas Service

Piping Condition:

24. - The sediment trap on the gas line for the water heater is not properly installed.
- I could not locate a sediment trap for the master suite furnace.
- The gas line for the water heater is laying on the floor. The pipe is exposed to damage and leaks.
- The gas piping at the furnace on the exterior of the home is rusted.
Recommend having the gas piping evaluated and repaired by a licensed plumber.

Main Home Air Conditioning

Condensate Drain:

25. - The A/C condensate pump is not operating properly to remove the water. Recommend replacing the pump.

Main Home Heating System

Flue:

26. - The furnace flue pipe in the crawlspace does not have a continuous slope upward and is rusted. This is an unsafe condition. Flue piping must have a constant rise of at least 1/4" per foot. This can result in carbon monoxide gases entering the home.
- The flue pipe above the roof is rusted and the cap is missing.
Recommend having a licensed HVAC contractor check the entire flue system and make all necessary repairs.

Ducts Condition:

27. - One of the ducts in the crawlspace is disconnected, one of the ducts is crushed and several are laying on the ground.
- There are gaps and air leaks at the plenum.
- Some of the ducts in the crawlspace are not insulated.
- Current building standards do not allow HVAC return vents in garages because of concern of carbon monoxide entering the home.
- The ducts are dirty, professional cleaning of the ducts is recommended.
Recommend having a HVAC contractor evaluate the ducts and repair as needed.

Master Suite Heating System

Ducts Condition:

28. - One of the ducts in the crawlspace is disconnected.
- Some of the ducts in the crawlspace are damaged and some are laying on the ground.
Repair by a qualified HVAC contractor is recommended.

Laundry Room

Washer Hookup:

29. - The hot water valve for the clothes washer continues to drip when shut off.
- The hot water valve for the clothes washer leaks at the stem when it is turned on.
Repair by a plumber is recommended.

Bathrooms

Sinks:

30. - The pedestal sink in the hall bathroom is loose. This can cause leaks in the piping. Repair by a plumber is recommended.
- The middle rear bathroom sink has minor cracks in the finish, it is not currently leaking. Eventually it will need to be replaced.

Jetted Tub:

31. - There is no access to the motor for the jetted tub. There should be an access panel large enough to inspect and service the pump and motor. I could not inspect the pump and piping to the jets. I could not verify if the motor is properly bonded to a cold water pipe.
Recommend gaining access and inspecting the piping and bonding.

Interior

Animals or Insects:

32. - Rodent droppings and traps were found in the attic and crawlspace. Recommend having the owner or a pest control company verify that the rodents have been removed and all entry points have been closed off. Remove all feces from the home.

Fireplace

Firebox:

33. - The heat reflector panel in the rear of the fireplace is cracked.
Repair by a chimney sweep is recommended.

Chimney Cap:

34. - The cap on the top of the chimney is rusted. Recommend having the cap evaluated by a chimney sweep and painted or replaced as needed to prevent water damage.

Garage

Door to Home:

35. - The door from the garage to the home has a glass window that is too large for the door to be considered a fire rated installation. Over 100" of glass is too large. For safety, recommend replacing the door with a fire rated door.

ATTENTION ITEMS

Lot Conditions

Shrubs and Trees:

1. - The shrubs should be trimmed at least 12 inches away from the home. This space is recommended to avoid moisture buildup in the siding.

Fencing

Gates Condition:

2. - The gate on the left side of the home needs repair to function properly.

Foundation

Insulation:

3. - The insulation in the crawlspace under the master bedroom is installed incorrectly. The vapor barrier should be next to the flooring (toward the heated side). Also, the manufacturer states that the paper cannot be left exposed because it is a fire hazard.

- The floor above the main crawlspace is not insulated. This was not required when the home was built. Recommend installing insulation to keep the home comfortable and save on energy costs.

Attic

Attic Floor:

4. - There is an open chase in the attic at the chimney. This was allowed at time of construction. For safety, recommend closing off the opening for fire draft and fire spread prevention and because the walls below are not insulated which will allow hot or cold air directly against the interior walls, wasting energy. Plywood, drywall or sheet metal can be used to close the opening.

Electrical System

Ceiling Fans:

5. - The ceiling fans in the family room and the right rear bedroom are noisy. Repair or replacement is recommended.

Smoke Detectors

6. - Recommend replacing the battery in the smoke detector when you move in. The detector should be tested regularly.

Plumbing

Exterior Faucets:

7. - The handle for the exterior faucet on the front of the home is broken.

- The exterior faucet on the front of the home is loose. This can cause damage to the water pipe and a leak.

Repair by a plumber is recommended.

- During the winter, it is recommended to shut off the water supply to the exterior faucets and install insulating covers over the faucets to help prevent freeze damage to the faucet or piping.

Irrigation System:

8. - The cover is missing from one of the sprinkler system valve boxes in the front yard.

- The lawn irrigation system was turned off. Recommend having the homeowner confirm the condition of the system and demonstrate the operation.

Main Home Air Conditioning

Refrigerant Lines:

9. - Missing insulation was noted on the refrigerant line at the outside condenser unit. Replacement will help with the energy efficiency of the system.

Main Home Heating System

Filter:

- 10. - The main level furnace filter is dirty. Replacement is recommended.

Master Suite Heating System

Filter:

- 11. - The furnace filter is dirty. Replacement is recommended.
- The cover over the filter opening does not keep the rain water out. Repair by a HVAC technician is recommended.

Kitchen

Microwave Oven:

- 12. - The microwave oven door handle is missing. Replacement is recommended.

Range / Oven:

- 13. - I could not get the control panel to unlock in order to test the oven and broiler. Repair by an appliance technician is recommended.

Laundry Room

Dryer Hookup:

- 14. - The 240-volt electrical receptacle for the dryer is the older 3 prong type (for dryers built before 1998). Check your dryer for electrical cord compatibility. If not compatible, recommend contacting an electrician to install a new receptacle and possibly a new circuit.

Utility Sink:

- 15. - The faucet on the laundry room sink is loose. Repair by a plumber is recommended.

Bathrooms

Toilets:

- 16. - The wrong flapper is installed in the hall bathroom toilet. This causes the toilet to use more than the 1.6 gallons per flush as intended. Recommend replacing the flapper with the correct type to save on water consumption.
- The laundry room toilet does not comply with DeKalb County water conservation regulations.

Tub/Shower Valves & Drains:

- 17. - The master bathroom shower head leaks. Repair by a plumber is recommended.

Interior

Doors:

- 18. - The door for the master bathroom does not latch.
- The doors for the right rear bedroom closet hit each other when closing.
- The ball catches at the top of the master bedroom closet doors need to be adjusted/lubricated for proper operation. Repairs are recommended.

Walls / Ceilings:

- 19. - There is water damage to the wall of the laundry room and the garage ceiling. Replacement of all damaged drywall is recommended.

Flooring:

- 20. - Some of the flooring in the laundry room is loose.

Comments

- 21. - I could not get the central vacuum system to operate. Repair or replacement is recommended.

GENERAL INFORMATION

Client & Inspection Information

Client: Caroline Patterson and Alex Goldberg.

Inspection Address: 1539 Brompton Ct
Dunwoody, GA 30338.

Inspection Date: August 12, 2020 8:30 AM.

Home Occupied: The home is vacant.

People Present: The buyers were present at the end of the inspection.

Weather: Sunny, Outside Temperature: 80-85 degrees, Soil Conditions: Dry.

Comments: - This inspection does not cover cosmetic issues.

Building Description

Type: Ranch style single family home on a crawlspace.

Age: Approximately 49 Years.

Utility Services: All utilities were on at the time of the inspection.

Comments: **GOOD NEWS:** Overall, the home was constructed in a professional manner and shows workmanship consistent with accepted standards.

GROUNDS

Driveway And Walkways

Driveway: Concrete driveway.

Driveway Condition: The driveway is in satisfactory condition.

Walkway: Concrete walkway.

Walkway Condition: The walkway is in satisfactory condition.

Lot Conditions

Grading and Drainage:

Action - The grade of the soil on the left side of the home slopes toward the foundation.
- The grade of the soil on the front of the home does not have sufficient slope to keep water away from the foundation. Water is entering the crawlspace.
Re-grading or a drain system is recommended to help prevent settlement of the foundation and water from entering the crawlspace.



Shrubs and Trees:

Attention - The shrubs should be trimmed at least 12 inches away from the home. This space is recommended to avoid moisture buildup in the siding.



Comments: **GOOD NEWS:** The home has a large back yard.

Fencing

Description: Wood fence with vertical slats.

Gates Condition: **Attention** - The gate on the left side of the home needs repair to function properly.

STRUCTURAL

Foundation

Foundation Type: Crawlspace below grade with masonry block foundation walls.

Foundation Condition: The exposed portions of the foundation walls appear to be satisfactory.

Crawlspace Entrance: The crawlspace entrance is located on the rear of the home.

Method of Inspection: The crawlspace was inspected by entering and crawling through.

Load Bearing Support: Hollow masonry block piers and wood beams are installed to support the floor system. The piers and main beams appear to be in satisfactory condition.

Evidence of Water: **Action** - At the time of the inspection the soil was wet at several locations of the crawlspace. Repairs by a water proofing contractor are recommended to stop water entry and to help keep the crawlspace dry. Not all locations are shown below.





Vapor Barrier: **Action** - Some areas of the ground in the crawlspace are not covered with plastic. Not all locations are shown below. Recommend installing plastic where missing so that the entire area is completely covered to help reduce the moisture level.



Ventilation: **Action** - The crawlspace vents on the left front of the home are below grade and the wood around them will allow water entry into the crawlspace.
Repair is recommended to prevent water entry into the crawlspace and help keep it dry.



Insulation: **Attention** - The insulation in the crawlspace under the master bedroom is installed incorrectly. The vapor barrier should be next to the flooring (toward the heated side). Also, the manufacturer states that the paper cannot be left exposed because it is a fire hazard.
- The floor above the main crawlspace is not insulated. This was not required when the home was built. Recommend installing insulation to keep the home comfortable and save on energy costs.



Evidence of Fungus: **Action** - There is a fungus or mold like substance on the floor joists and subfloor in the crawlspace. Not all locations are shown below. This inspection does not include testing for mold. Recommend having mold testing or remediation completed by a by a licensed mold remediation company.



EXTERIOR

Exterior Walls & Components

Siding Material:

GOOD NEWS: Brick siding and fiber cement siding are installed. Benefits include lower maintenance than wood siding and a higher re-sale value.

Siding Condition:

The siding is in satisfactory condition.

Trim Condition: **Action** - Some of the soffits on the front and rear of the home are loose.
- Wood rot was noted at the front door.
Recommend having a contractor repair as needed.



Windows Description: Wood windows with double pane insulated glass and Wood windows with single pane glass are installed.

Windows Condition: The windows are in satisfactory condition.

Exterior Doors: **Action** - The French doors in the sunroom were locked and I did not have a key to test it. The stationary door does not lock.
- The front storm door does not latch.

NOTE: The home has Schlage brand locks installed on the exterior doors. The door knob will open from the inside when it is actually locked, therefore, you could go outside not realizing that the door is locked and lock yourself out. Schlage locks are very good, they view this as a safety feature allowing you to get out quickly in an emergency.

Porches

Condition: **Action** - There are loose bricks at the step of the front porch.
- The sunroom porch is not bolted to the home. This can allow it to pull away from the home.
- There is not a railing on one side of the screen porch stairway.
- There is not a graspable railing on the sunroom stairs. A graspable railing is required on at least one side for safety.
- The screen porch door is deteriorated.
- One of the screens is torn.
Recommend having a qualified contractor make necessary repairs.



Deck

Materials: Pressure treated wood.
It is recommended that you seal the wood to prolong its life.

Framing:

- Action** - The deck is not bolted to the home. This can allow the deck to collapse.
- The floor joists for the deck are too small and are over spanned. 2x6 boards are not allowed to be used for floor joists.
 - The mid span support posts are only supporting three of the floor joists and they do not have proper footings under them.
 - The openings in the deck railings are too wide. Current safety standards allows a maximum of 4" as a safety issue for small children.
 - The railings around the deck are too low. They are 26 1/2 inches high, the minimum height requirement is 36 in.
 - The stairway is too narrow, it is 30 inches wide. 36 inches is the minimum width for all stairways.
- Recommend having a qualified contractor evaluate the deck and repair as needed.



ROOF & ATTIC

Roofing

Description: Hip style roof with fiberglass composition shingles.

Means of Inspection: The roof covering was inspected by walking on the roof.

Condition of Roof:

Action - Some of the shingles at the front of the home have been covered with tar. This is not a permanent repair.

- Damaged shingles were noted at several locations.
- Some of the shingles on the rear of the home turn upward. This can allow water entry.
- There is evidence of a roof leak above the garage.
- The shingles have excessive granular loss.

Recommend having a licensed roofing contractor evaluate the roofing system and repair or replace as needed.





Attic

Access Pull down stairs in the hallway ceiling.

Description:

Condition of Access: **Action** - The hardware on the attic pull down stairs is loose. This can cause collapse of the stairs. Repair is recommended for safety.



Method of Inspection: The attic was inspected by entering and walking through the area.

Attic Floor: **Attention** - There is an open chase in the attic at the chimney. This was allowed at time of construction. For safety, recommend closing off the opening for fire draft and fire spread prevention and because the walls below are not insulated which will allow hot or cold air directly against the interior walls, wasting energy. Plywood, drywall or sheet metal can be used to close the opening.



Framing Condition:

Action - One of the roof rafters above the fireplace was cut to install the flue, and one ceiling joist above the garage was cut to install the access panel. Recommend a qualified framing contractor repair as needed.



Roof Decking: The roof decking material is plywood sheeting. The visible decking is in satisfactory condition.

Insulation: Blown in fiberglass and roll fiberglass batts are installed.

Condition of Insulation: **Action** - There is no insulation above the laundry room, above half of the kitchen, and above a section of the hallway. The insulation in the rest of the attic is low, it is approximately 5 inch thick.



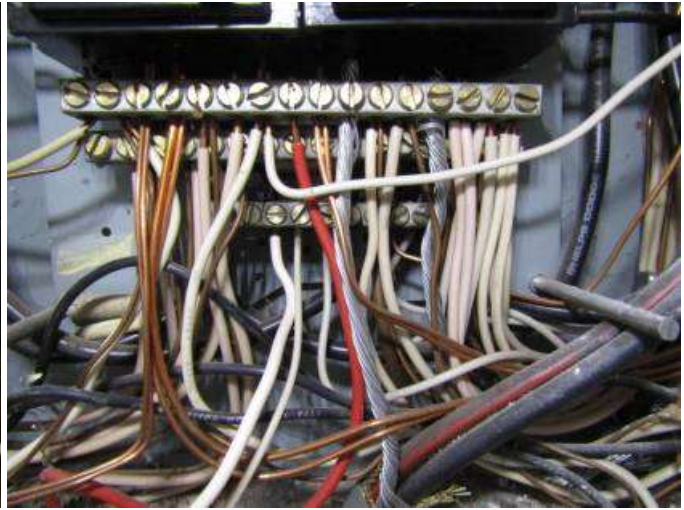
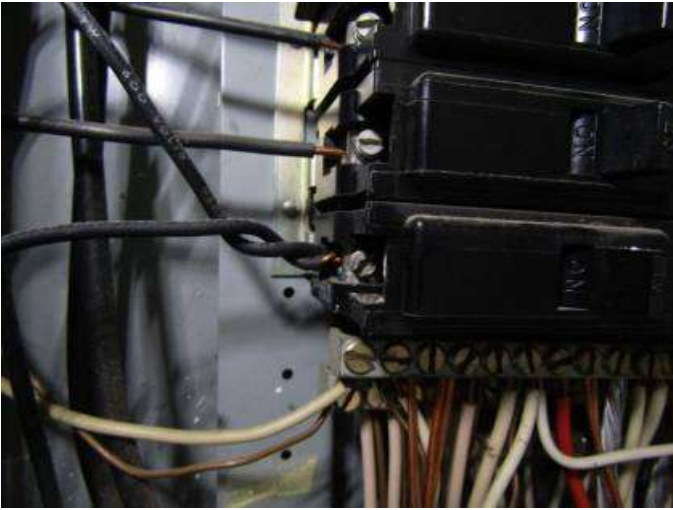


Whole House Fan: The fan was turned on and was functional.

ELECTRICAL SYSTEM

Electrical System

Electric Service:	The electrical service to the home is 150 amps, 120/240 volts.
Service Condition:	The overhead electrical service lines to the home are in satisfactory condition.
System Ground:	The grounding conductor for the electrical system is connected to the water piping and is satisfactory.
Service Cable to Panel:	Stranded aluminum wire. The visible portion of the cable is in satisfactory condition.
Distribution Panel:	Circuit breaker type, 150 amp. It is located in the store room off the garage. Split Buss type distribution panel. This is an older style electrical breaker panel. Instead of one main breaker, there is a series of main breakers in the panel. The top six breakers must be turned off to shut off all power in the panel box.
Panel Condition:	Action - One of the breakers in the electrical panel is double tapped. This is when two wires are connected to one breaker. These need to be separated so that each circuit will have its own breaker. - There is more than one wire installed in the terminals on the neutral bar in the panel box. - The electrical panel is not installed in a manner to allow for safe access for operation, repair, or inspection as required by industry standards. The clear space in front of a panel box is required to be a minimum of 30" wide, 36" deep and 80" high. Repair by an electrician is recommended.



Circuit Wiring Type:

The predominant wiring in the home is plastic insulated cable with copper wires, commonly referred to as Romex.

Wiring Condition:

Action - Some of the wiring in the crawlspace is loose and laying on the ground.
 - There is an open junction box in the attic. This is a fire hazard.
 - The conduit on the electrical wire to the kitchen sink disposer is loose, this leaves the wires exposed.
 Repair by an electrician is recommended.



Receptacles: **Action** - Ungrounded receptacles were noted at the deck, in the screen porch, and in the garage.

- There is a loose receptacle in the garage.
- There is not an electrical receptacle to the left of the range. This was required at the time the kitchen was remodeled.

Repair by an electrician is recommended.



GFCI Protection:

Action - The receptacles at the deck, in the screen porch, in the garage, some of the receptacles in the kitchen, and the master bath jetted tub motor did not shut off when tested for GFCI protection. This is a shock hazard. Repair by an electrician is recommended for safety.

Ceiling Fans:

Attention - The ceiling fans in the family room and the right rear bedroom are noisy. Repair or replacement is recommended.

Interior Lighting:

Action - The light in the dining room did not function correctly from both of the three way switch locations. Repair or replacement by an electrician is recommended.

Exterior Lighting:

The exterior lighting appears functional.

Smoke Detectors:

The smoke detector functioned when the test button was pushed.

Smoke Detectors

Attention - Recommend replacing the battery in the smoke detector when you move in. The detector should be tested regularly.

PLUMBING SYSTEM

Water Source: Public Water System.

Water Service Piping: The visible portion of the main water line to the home is copper.

Main Water Shut off: The main water shut off valve is located in the middle front of the crawlspace and at the meter by the street.



Water Pressure:

The water pressure was 50 PSI. This is within the acceptable range of 40 to 80 pounds per square inch.

Interior Supply Piping:

GOOD NEWS: The interior water supply piping in the home is predominantly copper. Copper is considered the most reliable and durable water pipe material.

Piping Condition:

Action - There is a leak on the water pipe in the crawlspace under the kitchen.
 - The saddle valve in the crawlspace under the kitchen is rusted.
 Repair by a plumber is recommended.



Exterior Faucets:

Attention - The handle for the exterior faucet on the front of the home is broken.
 - The exterior faucet on the front of the home is loose. This can cause damage to the water pipe and a leak.
 Repair by a plumber is recommended.

- During the winter, it is recommended to shut off the water supply to the exterior faucets and install insulating covers over the faucets to help prevent freeze damage to the faucet or piping.

Waste & Vent Piping:

The predominant plumbing waste line and vent pipes in the home are cast iron. There is also some PVC piping installed.

Waste & Vent Pipe Condition:

Action - There are leaks in the drain piping in the crawlspace.
Recommend having the waste piping evaluated and repaired as needed by a licensed plumber.



Irrigation System:

Attention - The cover is missing from one of the sprinkler system valve boxes in the front yard.
- The lawn irrigation system was turned off. Recommend having the homeowner confirm the condition of the system and demonstrate the operation.



Water Heater

Description: Type: Gas heated, Capacity: 75 gallons, Manufactured: 6/2015.

Condition: The water heater was functional at the time of inspection.

Flue Pipe: **Action** - The water heater flue collar is not properly installed and centered over the exhaust pipe on the tank.
- The flue pipe for the water heater was reduced from 4 inches down to 3 inches. This is too small for a 75 gallon water heater.
This can allow carbon monoxide to spill into the home. Recommend having a licensed plumber make all necessary repairs.



Relief Valve: **Action** - The Temperature & Pressure relief valve on the water heater is turned upward, the discharge pipe runs uphill and there is not a drain valve installed. Manufacturers and plumbing standards require the valve to be turned downward and require a drain installed before the pipe goes up after leaving the T&P valve. Water trapped in the discharge pipe can cause back-pressure and damage.
Recommend having a licensed plumber correctly install the T&P valve and install a drain on the lowest point of the pipe before it goes up.



Thermal Expansion:

Action - I could not locate a thermal expansion tank or thermal expansion valve. This was required when the water heater was replaced. Recommend having a plumber install a thermal expansion tank for safety.



Gas Service

Gas Supply:

Natural gas. The main gas shut-off valve is located at the gas meter on the left side of the home.

Piping Condition:

Action - The sediment trap on the gas line for the water heater is not properly installed.
 - I could not locate a sediment trap for the master suite furnace.
 - The gas line for the water heater is laying on the floor. The pipe is exposed to damage and leaks.
 - The gas piping at the furnace on the exterior of the home is rusted.
 Recommend having the gas piping evaluated and repaired by a licensed plumber.



improper trap at the water heater



rustied piping outside at the furnace



rustied piping outside at the furnace



copper gas tubing laying on the floor

Comments:

GOOD NEWS: There is a Carbon Monoxide alarm installed in the home. This inspection cannot verify its ability to safely monitor current carbon monoxide levels or the carbon monoxide level that will set off the alarm.

HEATING & AIR CONDITIONING

Upstairs Air Conditioning

Description:

Main Home Air Conditioning

Description: Split System Central A/C. Size: 4 Ton. Manufactured: 5/2019.

Condition: The temperature differential on the main level a/c system was 17 degrees. This is within the desired range of 15 - 20 degrees F. The scope of this inspection does not include the effectiveness or adequacy of the system.

Condenser: The condensing coil was clean, and no blockage was noted.

Refrigerant Lines: **Attention** - Missing insulation was noted on the refrigerant line at the outside condenser unit. Replacement will help with the energy efficiency of the system.



Condensate Drain: **Action** - The A/C condensate pump is not operating properly to remove the water. Recommend replacing the pump.



Master Suite Air Conditioning

Description: Split System Central A/C. Size: 2 Ton. Manufactured: 3/2016.

Condition: The temperature differential was 18 degrees. This is within the desired range of 15 - 20 degrees F. The scope of this inspection does not include the effectiveness or adequacy of the system.

Condenser: The condensing coil was clean, and no blockage was noted.

Main Home Heating System

Description: Gas fired forced air furnace, 80,000 BTU. Manufactured: 10/2015.

Condition: The main level heating system was turned on and appeared to be operating normally.

Flue: **Action** - The furnace flue pipe in the crawlspace does not have a continuous slope upward and is rusted. This is an unsafe condition. Flue piping must have a constant rise of at least 1/4" per foot. This can result in carbon monoxide gases entering the home.
- The flue pipe above the roof is rusted and the cap is missing. Recommend having a licensed HVAC contractor check the entire flue system and make all necessary repairs.



**Combustion
Air:**

Availability of secondary air for combustion and flue draft is adequate.

Filter:

The air filter is a disposable type. 20" X 25" X 1" It is recommended that the filter be changed every 90 to 120 days for best performance.

Attention - The main level furnace filter is dirty. Replacement is recommended.

**Ducts
Condition:**

Action - One of the ducts in the crawlspace is disconnected, one of the ducts is crushed and several are laying on the ground.
- There are gaps and air leaks at the plenum.
- Some of the ducts in the crawlspace are not insulated.
- Current building standards do not allow HVAC return vents in garages because of concern of carbon monoxide entering the home.
- The ducts are dirty, professional cleaning of the ducts is recommended.
Recommend having a HVAC contractor evaluate the ducts and repair as needed.





Master Suite Heating System

- Description:** Gas fired forced air furnace, 60,000 BTU. Manufactured: 3/2016.
- Condition:** The heating system was turned on and appeared to be operating normally.
- Combustion Air:** Availability of secondary air for combustion and flue draft is adequate.
- Filter:** The air filter is a disposable type. 16" X 20" X 1" It is recommended that the filter be changed every 90 to 120 days for best performance.
- Attention** - The furnace filter is dirty. Replacement is recommended.
- The cover over the filter opening does not keep the rain water out. Repair by a HVAC technician is recommended.



Ducts
Condition:

Action - One of the ducts in the crawlspace is disconnected.
- Some of the ducts in the crawlspace are damaged and some are laying on the ground. Repair by a qualified HVAC contractor is recommended.



KITCHEN

Kitchen

Countertops: **GOOD NEWS:** Stone counter tops are installed in the kitchen.

Cabinets: **Attention** - The cabinet underneath the kitchen sink has minor damage from a previous leak.



Sink / Faucet: The sink and faucet are satisfactory. No leaks were noted after filling and draining the sink.

Disposal: The food waste disposal was functional. The performance of the disposer is not included in this inspection.

Dishwasher: The dishwasher was operated on normal cycle, no leaks were noted. The adequacy and performance of the dishwasher is beyond the scope of this inspection and is not included in this report.

Microwave Oven: **GOOD NEWS:** There is a built in microwave oven.

The microwave oven was tested and operated normally.

Attention - The microwave oven door handle is missing. Replacement is recommended.

Range / Oven: There is a free standing gas range. The timers and temperature settings were not tested and are not part of this inspection.

Attention - I could not get the control panel to unlock in order to test the oven and broiler. Repair by an appliance technician is recommended.

Stove Vent The exhaust fan operated satisfactory. The vent is a filter and re-circulating air type. The filter will require periodic cleaning.

Refrigerator: The refrigerator was functional at time of inspection. This inspection determines only if the unit is currently keeping the contents cold. The ice maker and water dispenser are beyond the scope of this inspection.

LAUNDRY ROOM

Laundry Room

Washer Hookup: **Action** - The hot water valve for the clothes washer continues to drip when shut off.
- The hot water valve for the clothes washer leaks at the stem when it is turned on.
Repair by a plumber is recommended.

Dryer Hookup: **Attention** - The 240-volt electrical receptacle for the dryer is the older 3 prong type (for dryers built before 1998). Check your dryer for electrical cord compatibility. If not compatible, recommend contacting an electrician to install a new receptacle and possibly a new circuit.

Dryer Vent: The dryer vent and vent hood flapper appear to be functional.

Attention - Recommend cleaning the dryer vent pipe when you move in. The dryer vent should be cleaned about once a year on average to prevent fires. Cleaning your dryer vent will save money on your utility bills because drying time is reduced with a clean vent and your dryer will last longer.

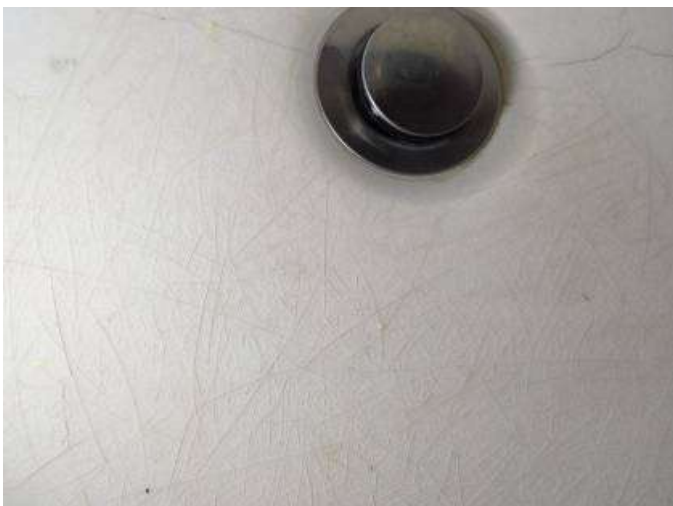
Utility Sink: **Attention** - The faucet on the laundry room sink is loose.
Repair by a plumber is recommended.

BATHROOMS

Bathrooms

Cabinets: The vanity cabinets and countertops are in satisfactory condition.

Sinks: **Action** - The pedestal sink in the hall bathroom is loose. This can cause leaks in the piping. Repair by a plumber is recommended.
- The middle rear bathroom sink has minor cracks in the finish, it is not currently leaking. Eventually it will need to be replaced.



Toilets	GOOD NEWS: The toilets in the master bathroom, middle rear bathroom, and hall bathroom are the water saving type that use only 1.6 gallons per flush instead of the older type that use 3 to 4 gallons of water.
Toilets:	Attention - The wrong flapper is installed in the hall bathroom toilet. This causes the toilet to use more than the 1.6 gallons per flush as intended. Recommend replacing the flapper with the correct type to save on water consumption. - The laundry room toilet does not comply with DeKalb County water conservation regulations.
Tubs/Shower Walls Floors:	The tub/shower walls appear to be in satisfactory condition.
Tub/Shower Valves & Drains:	Attention - The master bathroom shower head leaks. Repair by a plumber is recommended.
Jetted Tub:	The tub was filled with water and the jets activated, no leaks were noted. Action - There is no access to the motor for the jetted tub. There should be an access panel large enough to inspect and service the pump and motor. I could not inspect the pump and piping to the jets. I could not verify if the motor is properly bonded to a cold water pipe. Recommend gaining access and inspecting the piping and bonding.
Ventilation:	The bathroom exhaust fans were functional.

INTERIOR

Interior

Doors:	Attention - The door for the master bathroom does not latch. - The doors for the right rear bedroom closet hit each other when closing. - The ball catches at the top of the master bedroom closet doors need to be adjusted/lubricated for proper operation. Repairs are recommended.
Walls / Ceilings:	Attention - There is water damage to the wall of the laundry room and the garage ceiling. Replacement of all damaged drywall is recommended.



Flooring: **Attention** - Some of the flooring in the laundry room is loose.



Animals or Insects: **Action** - Rodent droppings and traps were found in the attic and crawlspace. Recommend having the owner or a pest control company verify that the rodents have been removed and all entry points have been closed off. Remove all feces from the home.



Comments **Attention** - I could not get the central vacuum system to operate. Repair or replacement is recommended.

Fireplace

Type: Prefabricated fireplace with a gas log set installed.

Hearth: The hearth is in satisfactory condition.

Firebox: **Action** - The heat reflector panel in the rear of the fireplace is cracked. Repair by a chimney sweep is recommended.



Flue: Viewed from the firebox, the visible portions of the flue and damper are satisfactory.

Chimney Cap: **Action** - The cap on the top of the chimney is rusted. Recommend having the cap evaluated by a chimney sweep and painted or replaced as needed to prevent water damage.



GARAGE / CARPORT

Garage

- Type:** Attached two car garage.
- Vehicle Door:** **GOOD NEWS:** The overhead garage door is made of metal, which lasts longer and requires less maintenance than a wood door.
- Vehicle Door Condition:** The overhead garage door is in satisfactory condition and is functional.
- Door Opener:** The automatic door opener and the electronic beam safety reverse system operated properly. The remote controls were not available for testing.
- Door to Home:** **Action** - The door from the garage to the home has a glass window that is too large for the door to be considered a fire rated installation. Over 100" of glass is too large. For safety, recommend replacing the door with a fire rated door.

