



Inspection Report

Adam Zola

Property Address:
8980 Moor Park Run
Duluth GA 30097



Residential Inspector of America, Inc.

Lou Qualtiere
3276 Buford Dr., Ste 104-306
Buford, GA 30519
770.476.4963

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Date: 8/1/2020	Time: 01:00:00 PM	Report ID: 080120LQ1092
Property: 8980 Moor Park Run Duluth GA 30097	Customer: Adam Zola	Real Estate Professional: Mike Ross Weichert Realty (Atlanta)

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90 Day Mold Warranty 90 Day Main Sewer/Water Line Warranty

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IMPORTANT INFORMATION ABOUT THIS INSPECTION

RIA's home inspections are completed in accordance with the American Society of Home Inspectors Standards of Practice (ASHI), your RIA Inspection Agreement, and other RIA Terms & Conditions that are viewable by clicking [HERE](#) or by requesting an emailed copy. Please be sure that you fully read and understand these items. If an item is not listed in this report as "Inspected", then it is not part of this inspection and you should have the item further evaluated prior to your closing.

INSPECTED: The condition of the item at the time of inspection was evaluated and any necessary comments will be made in this report.

NOT INSPECTED: The item was not inspected for reasons noted in this report. If concerns exist regarding "Not Inspected" items, further evaluation is recommended.

REPAIR/REPLACE: The item is in need of repairs, replacement, further evaluation by a specialist, or is of concern to the inspector.

NOT PRESENT: The item is not present in this home.

In Attendance:

Customer and their agent

Approximate age of building:

Over 10 Years

Temperature:

Over 80

Weather:

Clear

Inspector:

Lou Qualtiere

Summary



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This report may contain videos which can be seen by clicking the link on Page 3.

The items listed below are in need of repair, replacement, further evaluation, or are safety issues. All concerns related to items in this summary or throughout this report should be resolved prior to closing. If LEFT and RIGHT directions are given in this summary, it is determined by facing the front of the home from the exterior.

1. Exterior

1.1 EXTERIOR SIDING

Inspected, Repair or Replace



Seal the window trim to the stone siding around the house to prevent water entry into the wall cavity and fixture box. See photo(s) for location(s).

1.2 DOORS

Inspected, Repair or Replace



Minor rot damage on lower part of the side door(s). Repair or replace damaged wood. It is possible that there have been repairs made to this area in the past, and it can be expected that more damage will occur in the future. This area may be prone to future damage. See photo(s) for example(s).

1.3 WINDOWS

Inspected, Repair or Replace



Water damage found on the exterior casing and other wood trim on a few windows. This is common for a house of this type and more should be expected in the future. Have damaged wood repaired or replaced as needed. Extent of any water damage or entry into wall cavity under or around window is not visible and is not known. See photos for locations of damaged trim on windows. Contractor should evaluate trim on house and replace all as needed.

1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Inspected, Repair or Replace



(1) No metal flashing could be seen between the rear deck and the rear wall. This was not often enforced or required in older homes, but flashing makes a better seal between the deck and house. Condition of framing between deck and house is not known.



(2) It cannot be determined if the rear deck columns are on adequate footings. Columns are sitting on a patio slab that is likely a few inches deep. Footings under columns are intended to be at least 12 inches below the soil and wide enough to prevent movement of columns.

1.5 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

Inspected, Repair or Replace



(1) The garden area formed by the front wall of the house, and the side walk from the driveway to the front landing, may prohibit quick drainage of run off water. These garden areas often are slow to drain and can cause water entry in the basement. See photo(s) for example(s).



(2) Surface drain(s) located at the rear side will need periodical cleaning and maintenance. Drain outlets not found. Have owner point out location of all drain outlets. It cannot be determined if all underground drain tubes are free from obstruction. It will be critical to keep all drain basin grates clear of debris. Flooding may occur if drains are clogged.



(3) Trim vegetation away from siding. It is best to have a clear path around the house so periodic inspections can be made to prevent vines/branches from damaging siding. See photo(s) for example(s).

4. Roofing

4.3 GUTTERS & DOWNSPOUTS

Inspected, Repair or Replace



Have owner point out location of the outlets of the buried down spout extensions. They should come to daylight and the ends were not found.

5. Insulation and Ventilation

5.3 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS

Inspected, Repair or Replace



The master bathroom vent fan pipe is disconnected and venting into attic space. Have vent pipe reconnected.

6. Heating / Central Air Conditioning

6.0 HEATING EQUIPMENT

Inspected, Repair or Replace



(2) Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system are concealed from view, and our inspection is visual and is intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct system, since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

6.5 GAS/LP FIRELOGS AND FIREPLACES**Inspected, Repair or Replace**

C-clamp needed on the damper to prevent it from being closed, since fireplace is using gas logs. This will help prevent carbon monoxide build up in living space.

6.6 COOLING AND AIR HANDLER EQUIPMENT**Inspected, Repair or Replace**

(2) Along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the system(s). Unit was not disassembled.



(3) A/c unit(s) is the older R-22 type of refrigerant gas (freon) that is being phased out of production and will likely be expensive and difficult to find in the near future. The newer type of freon does not mix with the older type.

A/c unit(s) usually last about 15 years, and it is likely that the unit(s) in this home will need replacement in the near future.



(4) Evidence of condensation leaks were noted at the top of the attic unit (green stains). These leaks caused minor rust inside the unit. There is a note on the evaporator coils indicating that there was a leak at this area. Have the seller ascertain that any leaks were properly repaired or have an HVAC contractor evaluate this situation to make repairs as needed.

7. Electrical System

7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING**Inspected, Repair or Replace**

(1) Breaker in the electrical panel for the a/c unit is the 50 amp type. Info tag on the a/c unit outside calls for a 35 amp breaker to be the max size. Breaker in panel is 15 amps over sized. Have electrician change breaker to the required size.



(2) Cover needed on the open junction box in the attic (front part) area. Covers are used to control sparking.

7.7 SMOKE DETECTORS**Inspected, Repair or Replace**

Smoke detectors can last 10 years before needing replacement. Smoke detectors in this house work, but it is recommended that they be replaced. See photo(s) for example(s).

7.8 CARBON MONOXIDE DETECTORS**Inspected, Repair or Replace**

No carbon monoxide detectors found in home. It is recommended that one be installed according to the manufacturer's instructions. If one is present, owner should point out location. These were not required in older homes.

8. Plumbing System

8.2 TUBS, SINKS, TOILETS & SHOWER STALLS**Inspected, Repair or Replace**

(1) Master bath tub stopper does not engage fully. Water continues to drain when in the closed position. Adjust or replace as needed.



(2) Tub in upstairs bath has chip on the top. Have repaired to prevent rust and further damage to finish.

8.3 WATER HEATER**Inspected, Repair or Replace**

(2) Bleeder valve needed on the drain pipe from the temperature pressure relief valve since the drain pipe is routed in an up position. See photo(s) for example(s).



(3) Better support needed for expansion tank. A strap attached to framing is typically adequate. This will relieve any stress on the supply pipe joints. See photo(s) for example(s).

9. Interiors

9.5 WINDOWS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace



Replace all "fogged" windows. The seal between the panes of glass has failed allowing moisture to enter between the panes. It is possible that more may fog in the future. Have window contractor evaluate all windows because it is highly likely that if one window has had a seal failure, that more seal failures in different windows will occur. See photos for examples. It is difficult to identify seal failure in windows when the weather is rainy, over cast, foggy or the glass is wet from recent rains or condensation. Buyer should resolve all concerns prior to closing.

9.7 INTERIOR DOORS

Inspected, Repair or Replace



Plantation shutter at laundry egress door will not stay latched. Have adjusted or repaired as need to avoid damage to shutter, frame or surrounding area and items.

10. Built-In Kitchen Appliances

10.0 DISHWASHER

Inspected, Repair or Replace



Worn out and damaged touch control panel on front of dishwasher. Unit works, but panel is worn out.

10.1 RANGES/OVENS/COOKTOPS

Inspected, Repair or Replace



Dial indicators on stove top are worn and faded. Difficult to determine settings.

1. Exterior

Styles & Materials

Siding Material:	Decks steps patio sidewalk etc.:	Exterior Entry Doors:
Brick veneer	Covered porch	Wood
Stone	Deck	Steel
Wood Shakes		Insulated glass
Driveway:		
Concrete		

Items

1.0 EXTERIOR ELEVATION PHOTOS

Comments: Inspected

These are photos of the home taken from different angles and are not intended to show any defects.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)

1.1 EXTERIOR SIDING

Comments: Inspected, Repair or Replace

🔧 Seal the window trim to the stone siding around the house to prevent water entry into the wall cavity and fixture box. See photo(s) for location(s).



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)

1.2 DOORS

Comments: Inspected, Repair or Replace

🔧 Minor rot damage on lower part of the side door(s). Repair or replace damaged wood. It is possible that there have been repairs made to this area in the past, and it can be expected that more damage will occur in the future. This area may be prone to future damage. See photo(s) for example(s).



1.2 Item 1(Picture)

1.3 WINDOWS

Comments: Inspected, Repair or Replace

🔧 Water damage found on the exterior casing and other wood trim on a few windows. This is common for a house of this type and more should be expected in the future. Have damaged wood repaired or replaced as needed. Extent of any water damage or entry into wall cavity under or around window is not visible and is not known. See photos for locations of damaged trim on windows. Contractor should evaluate trim on house and replace all as needed.



1.3 Item 1(Picture)



1.3 Item 2(Picture)



1.3 Item 3(Picture)



1.3 Item 4(Picture)



1.3 Item 5(Picture)



1.3 Item 6(Picture)



1.3 Item 7(Picture)

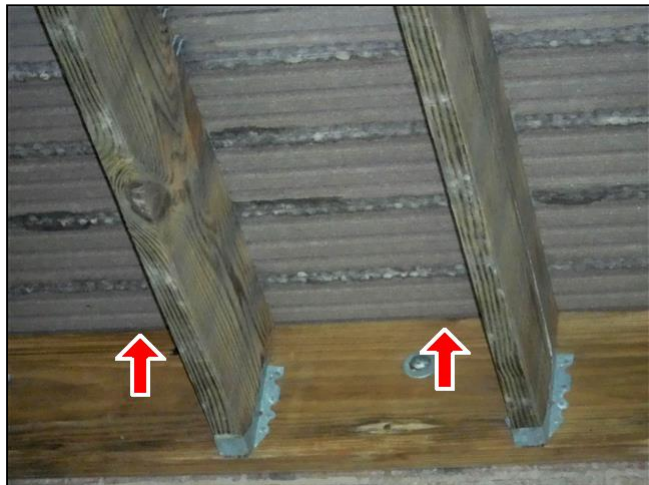


1.3 Item 8(Picture)

1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Comments: Inspected, Repair or Replace

🔧 (1) No metal flashing could be seen between the rear deck and the rear wall. This was not often enforced or required in older homes, but flashing makes a better seal between the deck and house. Condition of framing between deck and house is not known.



1.4 Item 1(Picture)

🔧 (2) It cannot be determined if the rear deck columns are on adequate footings. Columns are sitting on a patio slab that is likely a few inches deep. Footings under columns are intended to be at least 12 inches below the soil and wide enough to prevent movement of columns.



1.4 Item 2(Picture)

1.5 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

Comments: Inspected, Repair or Replace

🔧 (1) The garden area formed by the front wall of the house, and the side walk from the driveway to the front landing, may prohibit quick drainage of run off water. These garden areas often are slow to drain and can cause water entry in the basement. See photo(s) for example(s).



1.5 Item 1(Picture)

🔧 (2) Surface drain(s) located at the rear side will need periodical cleaning and maintenance. Drain outlets not found. Have owner point out location of all drain outlets. It cannot be determined if all underground drain tubes are free from obstruction. It will be critical to keep all drain basin grates clear of debris. Flooding may occur if drains are clogged.



1.5 Item 2(Picture)

🦋 (3) Trim vegetation away from siding. It is best to have a clear path around the house so periodic inspections can be made to prevent vines/branches from damaging siding. See photo(s) for example(s).



1.5 Item 3(Picture)

1.6 EAVES, SOFFITS AND FASCIAS

Comments: Inspected

1.7 EXTERIOR TRIM

Comments: Inspected

1.8 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK

Comments: Inspected

2. Garage

Styles & Materials

Garage Door Type:	Garage Door Material:
Two automatic	Insulated
	Metal

Items

2.0 GARAGE CEILINGS

Comments: Inspected

2.1 GARAGE WALLS

Comments: Inspected

Garage inspection was limited due to the amount of stored items being in the garage at the time of the inspection. See photo(s) for example(s). Buyer should resolve all concerns prior to closing.



2.1 Item 1(Picture)

2.2 GARAGE FLOOR

Comments: Inspected

2.3 VEHICLE DOOR(s)

Comments: Inspected

2.4 VEHICLE DOOR OPENER (s)

Comments: Inspected

2.5 OCCUPIANT DOOR FROM THE INSIDE OF THE HOME TO THE GARAGE

Comments: Inspected

3. Structural Components

Styles & Materials

Foundation: Poured concrete Basement	Roof Structure: 2 X 8 Rafters Lateral bracing OSB Sheathing	Method Used to Observe Attic: Walked
Floor Structure: TJI Manufactured Floor Joists 19.2" O.C.	Wall Structure: Not visible	Columns or Piers: Supporting walls
Ceiling Structure: Not visible	Roof-Type: Gable	Attic info: Pull Down stairs Light in attic Knee wall door

Items

3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected

(1) Many stored items in the basement limiting visual inspection of the floor and walls. Insulation was not removed from between all floor and rim joist. It is possible that some concealed defects may be revealed when stored items are removed.



3.0 Item 1(Picture)



3.0 Item 2(Picture)

(2) Basement is mostly finished limiting visual inspection of the floor, walls and ceiling areas. Not all insulation was removed from between floor joist and along rim joist. A few unfinished areas were available for inspection of space between drop ceiling and floor frame.



3.0 Item 3(Picture)



3.0 Item 4(Picture)



3.0 Item 5(Picture)



3.0 Item 6(Picture)

3.1 WALLS (Structural)

Comments: Inspected

3.2 COLUMNS OR PIERS

Comments: Inspected

3.3 FLOORS (Structural)

Comments: Inspected

Cracks in concrete basement floor are not wide enough to be a structural concern and are likely due to settlement. See photos. Have patched as needed.



3.3 Item 1(Picture)

3.4 CEILINGS (structural)

Comments: Inspected

3.5 ROOF STRUCTURE AND ATTIC

Comments: Inspected

Views of attic framing and insulation. Attic space entered and inspected from the closest locations possible.



3.5 Item 1(Picture)



3.5 Item 2(Picture)

3.6 WATER ENTRY IN BASEMENT/CRAWL

Comments: Inspected

4. Roofing

Styles & Materials

Roof Covering:	Viewed Roof Covering From:	Sky Light(s):
3-Tab asphalt/fiberglass	Ground	None
	Ladder	
	Limited view due to height of building	

Chimney (exterior):
Wood Shake

Items

4.0 ROOF COVERINGS

Comments: Inspected

Views of roof.



4.0 Item 1(Picture)



4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)

4.1 FLASHINGS

Comments: Inspected

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

Boot flashing around plumbing vents on the roof are ok now, but these last about 5-7 years before needing replacement. They crack and split and allow rain water to leak into attic.



4.2 Item 1(Picture)

4.3 GUTTERS & DOWNSPOUTS

Comments: Inspected, Repair or Replace

🔧 Have owner point out location of the outlets of the buried down spout extensions. They should come to daylight and the ends were not found.



4.3 Item 1(Picture)



4.3 Item 2(Picture)



4.3 Item 3(Picture)

4.4 WATER ENTRY IN ROOF

Comments: Inspected

5. Insulation and Ventilation

Styles & Materials

Attic Insulation: Blown Cellulose	Roof Ventilation: Gable vents Ridge vents Soffit Vents	Basement/Crawlspace Floor System Insulation: Batts
Dryer Vent: Solid smooth metal	Dryer Power Source: 220 Electric	Exhaust Fans: Fan only

Items

5.0 INSULATION IN ATTIC

Comments: Inspected

View of insulation in attic.



5.0 Item 1(Picture)



5.0 Item 2(Picture)



5.0 Item 3(Picture)

5.1 INSULATION BETWEEN FLOOR JOISTS IN BASEMENT OR CRAWL SPACE

Comments: Inspected

5.2 VENTILATION OF ROOF

Comments: Inspected

5.3 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS

Comments: Inspected, Repair or Replace

🔧 The master bathroom vent fan pipe is disconnected and venting into attic space. Have vent pipe reconnected.



5.3 Item 1(Picture)

6. Heating / Central Air Conditioning

Styles & Materials

Heating Equipment Type: Forced Air Heat Pump Forced Air (also provides cool air)	Heating Equipment Age: 2002 2003	Heat Temp: The main level heat read 101 degrees. The upper level heat read 100 degrees. Basement level heat read 98.
Number of Heat Systems (excluding wood): Three	Energy Source: Natural gas	Ductwork: Insulated
Filter Type: Disposable	Types of Fireplaces: Vented gas logs	Operable Fireplaces: Two
Cooling Equipment Type: Central forced Air A/C	Cooling Equipment Age: 2003 2010 2019	Number of AC Only Units: Three
A/C Temp: Main level system read 60 degrees Upper level system read 65 degrees. Basement level system made 68 degree air.	Cooling Equipment Energy Source: Electricity	Basement HVAC: Seperate system

Items

6.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

(1) View of furnaces.



6.0 Item 1(Picture)



6.0 Item 2(Picture)



6.0 Item 3(Picture)

🔧 (2) Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system are concealed from view, and our inspection is visual and is intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct system, since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

6.1 NORMAL OPERATING CONTROLS/ THEROMSTAT

Comments: Inspected

6.2 DISTRIBUTION SYSTEMS

Comments: Inspected

6.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM


Comments: Inspected

6.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

6.5 GAS/LP FIRELOGS AND FIREPLACES

Comments: Inspected, Repair or Replace

 C-clamp needed on the damper to prevent it from being closed, since fireplace is using gas logs. This will help prevent carbon monoxide build up in living space.



6.5 Item 1(Picture)

6.6 COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected, Repair or Replace

(1) View of a/c unit(s) outside.



6.6 Item 1(Picture)

🔧 (2) Along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the system(s). Unit was not disassembled.

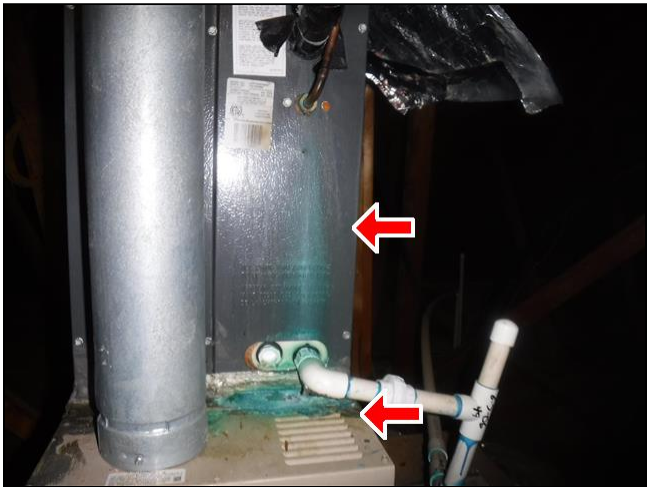
🔧 (3) A/c unit(s) is the older R-22 type of refrigerant gas (freon) that is being phased out of production and will likely be expensive and difficult to find in the near future. The newer type of freon does not mix with the older type.

A/c unit(s) usually last about 15 years, and it is likely that the unit(s) in this home will need replacement in the near future.

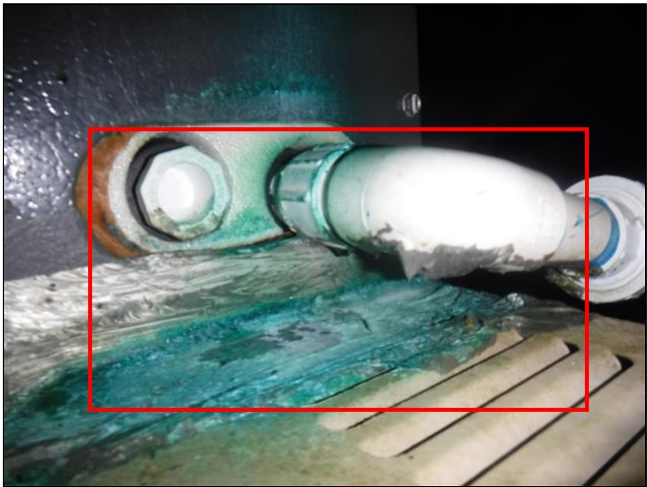


6.6 Item 2(Picture)

🔧 (4) Evidence of condensation leaks were noted at the top of the attic unit (green stains). These leaks caused minor rust inside the unit. There is a note on the evaporator coils indicating that there was a leak at this area. Have the seller ascertain that any leaks were properly repaired or have an HVAC contractor evaluate this situation to make repairs as needed.



6.6 Item 3(Picture)



6.6 Item 4(Picture)

6.7 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

7. Electrical System

Styles & Materials

Panel capacity: (2) 200 AMP service panel	Main Disconnect Location: Meter	Panel Type: Circuit breakers
Wiring Methods: Romex	Branch wire 15 and 20 AMP: Copper	Electrical Service Conductors: Below ground

Items

7.0 SERVICE ENTRANCE CONDUCTORS & MAIN DISCONNECT BREAKER

Comments: Inspected

Main electrical disconnect location.



7.0 Item 1(Picture)

7.1 SERVICE GROUNDING

Comments: Inspected

7.2 PANEL BOX & SUB-PANEL

Comments: Inspected

View of panel. Panel was inspected for function (not code compliance) and building codes and standards have changed over the years.



7.2 Item 1(Picture)

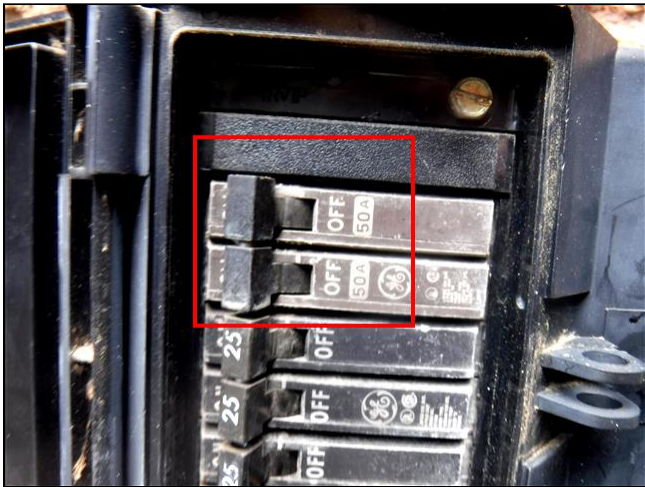


7.2 Item 2(Picture)

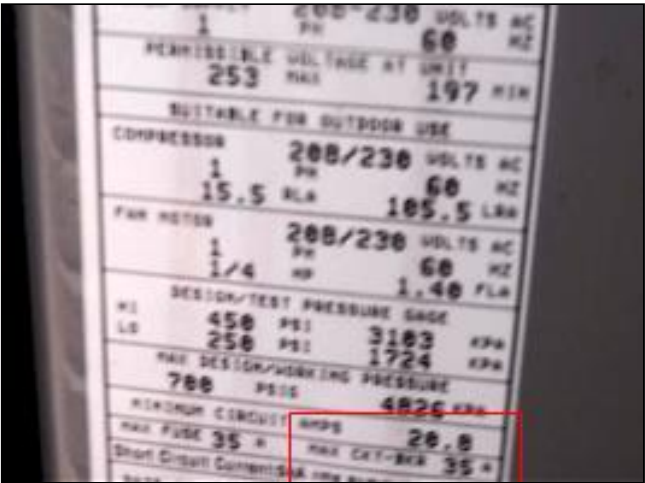
7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Comments: Inspected, Repair or Replace

🔧 (1) Breaker in the electrical panel for the a/c unit is the 50 amp type. Info tag on the a/c unit outside calls for a 35 amp breaker to be the max size. Breaker in panel is 15 amps over sized. Have electrician change breaker to the required size.



7.3 Item 1(Picture)

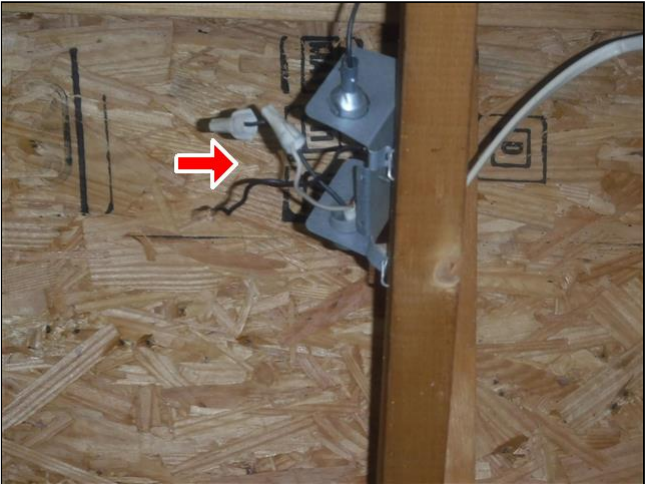


7.3 Item 2(Picture)

🔧 (2) Cover needed on the open junction box in the attic (front part) area. Covers are used to control sparking.



7.3 Item 3(Picture)

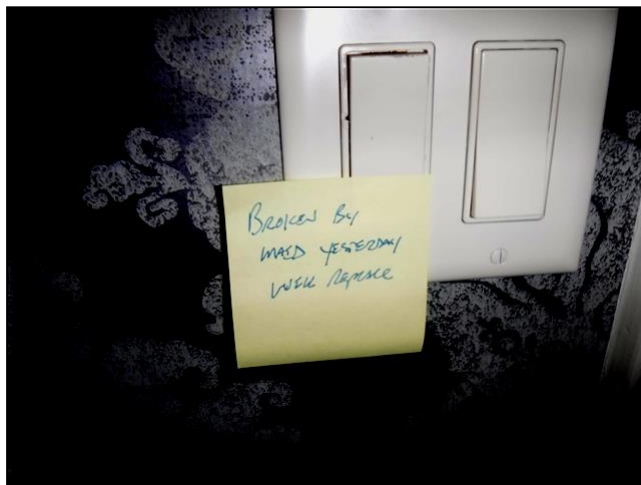


7.3 Item 4(Picture)

7.4 OUTLETS & LIGHT FIXTURES

Comments: Inspected

Half bath fan switch broken, have repaired or replaced as needed.



7.4 Item 1(Picture)

7.5 CONDUIT


Comments: Inspected

7.6 OPERATION OF GFCI & OR AFCI

Comments: Inspected

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace


 Smoke detectors can last 10 years before needing replacement. Smoke detectors in this house work, but it is recommended that they be replaced. See photo(s) for example(s).



7.7 Item 1(Picture)

7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected, Repair or Replace

 No carbon monoxide detectors found in home. It is recommended that one be installed according to the manufacturer's instructions. If one is present, owner should point out location. These were not required in older homes.

8. Plumbing System

Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Copper	Plumbing Water Distribution (inside home): Copper
Plumbing Drain Pipe: PVC	Water Heater Capacity: 50 Gallon	Water Heater Age: 2020
Water Heater Location: Basement	Water Heater Power Source: Gas	

Items

8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

Condition of sewer pipe below ground level is not known since it is not visible. A lot of water is run through the plumbing system during the inspection, but this cannot simulate several weeks or months of normal living conditions. Sewer scoping can reveal any cracks, obstructions or low spots in the sewer pipe that could lead to clogs. Click [HERE](#) for more information.

8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Comments: Inspected

8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

Comments: Inspected, Repair or Replace

🔧 (1) Master bath tub stopper does not engage fully. Water continues to drain when in the closed position. Adjust or replace as needed.



8.2 Item 1(Picture)

🔧 (2) Tub in upstairs bath has chip on the top. Have repaired to prevent rust and further damage to finish.



8.2 Item 2(Picture)

8.3 WATER HEATER

Comments: Inspected, Repair or Replace

(1) View of water heater.



8.3 Item 1(Picture)

🔧 (2) Bleeder valve needed on the drain pipe from the temperature pressure relief valve since the drain pipe is routed in an up position. See photo(s) for example(s).



8.3 Item 2(Picture)

🔧 (3) Better support needed for expansion tank. A strap attached to framing is typically adequate. This will relieve any stress on the supply pipe joints. See photo(s) for example(s).



8.3 Item 3(Picture)

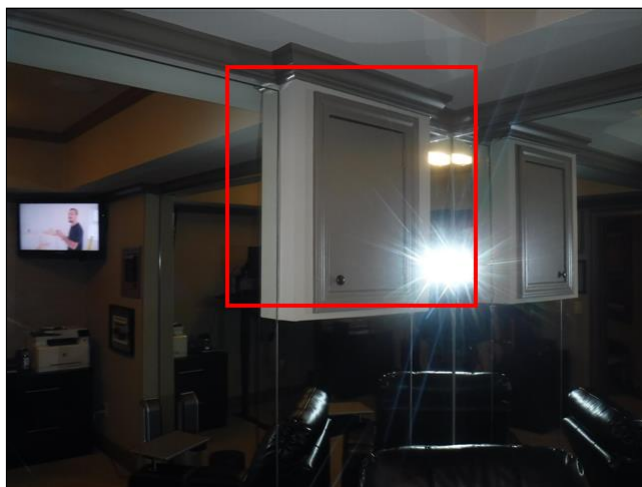
8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

The main water shut off is in the basement.



8.4 Item 1(Picture)



8.4 Item 2(Picture)

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

8.6 MAIN FUEL GAS SHUT OFF

Comments: Inspected

Main gas shut off is at the meter.



8.6 Item 1(Picture)

9. Interiors

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Window Types:

- Double-hung
- Thermal/Insulated
- Wood

Items

9.0 CEILINGS

Comments: Inspected

9.1 WALLS

Comments: Inspected

Many stored items were in the house during the inspection, somewhat limiting visual inspection of walls, windows, floors, closets, areas under sinks, ect... It is possible that some defect issues may be concealed in areas not accessible or visible during this inspection.



9.1 Item 1(Picture)



9.1 Item 2(Picture)



9.1 Item 3(Picture)



9.1 Item 4(Picture)

9.2 FLOORS

Comments: Inspected

9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

9.4 COUNTERS AND INSTALLED CABINETS (REPRESENTATIVE NUMBER)

Comments: Inspected

9.5 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

🔧 Replace all "fogged" windows. The seal between the panes of glass has failed allowing moisture to enter between the panes. It is possible that more may fog in the future. Have window contractor evaluate all windows because it is highly likely that if one window has had a seal failure, that more seal failures in different windows will occur. See photos for examples. It is difficult to identify seal failure in windows when the weather is rainy, over cast, foggy or the glass is wet from recent rains or condensation. Buyer should resolve all concerns prior to closing.



9.5 Item 1(Picture)

9.6 BATHROOMS

Comments: Inspected

9.7 INTERIOR DOORS

Comments: Inspected, Repair or Replace

🔧 Plantation shutter at laundry egress door will not stay latched. Have adjusted or repaired as need to avoid damage to shutter, frame or surrounding area and items.



9.7 Item 1(Picture)

9.8 PESTS

Comments: Inspected

10. Built-In Kitchen Appliances

The kitchen appliances were checked for basic function only.

Items

10.0 DISHWASHER

Comments: Inspected, Repair or Replace

🔧 Worn out and damaged touch control panel on front of dishwasher. Unit works, but panel is worn out.



10.0 Item 1(Picture)

10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected, Repair or Replace

🔧 Dial indicators on stove top are worn and faded. Difficult to determine settings.



10.1 Item 1(Picture)

10.2 VENT HOOD/DOWN DRAFT

Comments: Inspected

10.3 GARBAGE DISPOSAL

Comments: Inspected

10.4 MICROWAVE

Comments: Inspected

10.5 REFRIGERATOR

Comments: Inspected

Not clear if refrigerator stays with the house.

10.6 ICE MAKER

Comments: Inspected