



Prepared For: Steve Bosela

Property Address: 1220 Primrose Dr, Roswell, GA 30076

Inspector: Ronnie McCaskill
Company: WIN Home Inspection- Roswell
dba
(770) 650-1601
rmccaskill@wini.com

Services Included in this Report:

Standard Full Home Inspection

WIN Home Inspection

This report contains confidential information and is supplied solely for use by the client(s) of:

WIN Home Inspection- Roswell dba
1790 Independence Trail, Cumming, Georgia 30040
(770) 650-1601 Ronnie McCaskill

Work Order Number: 081920RM

Service Date: 8/19/2020

Time: 2:00 PM

Site Address:

1220 Primrose Dr, Roswell, GA 30076

For the purpose of this inspection, the Main Entry Door faces: Northeast

Site Information:

Weather: 83 °F - Sunny

Approximate Year Built: 1993

Structure: SF - Wood

Foundation: Slab

Bedrooms: 4

Bathrooms: 3

Floors: 2

Occupied: Yes

Client:

Name: Steve Bosela

Address:

Work Phone:

Home Phone:

Mobile Phone: (330) 770-3385

Email Address: Stephen.bosela@nscorp.com

Client Present at Inspection: Yes

Buyer's Agent:

Name: Kim Rowland

Company: Berkshire Hathaway Home Services GA
Properties

Address: 11525 Haynes Bridge Road
Alpharetta, GA 30009

Phone: (678) 977-4532

Email: kim.rowland@bhhsgeorgia.com

Buyer's Agent Present at Inspection: Yes

Seller's Agent:

Name:

Company:

Address:

Phone:

Email:

Seller's Agent Present at Inspection: No

Inspector: Ronnie McCaskill

WIN Home Inspection- Roswell
dba

License / Certification:

Email: rmccaskill@wini.com

Notes:

NOT A WARRANTY

THE SERVICES PERFORMED, THE AGREEMENT, AND THE REPORT DO NOT CONSTITUTE A WARRANTY, AN INSURANCE POLICY, OR A GUARANTEE OF ANY KIND, NOR DO THEY SUBSTITUTE FOR ANY DISCLOSURE STATEMENT AS MAY BE REQUIRED BY LAW.

There are no warranties made against roof leaks, wet basements, or mechanical breakdowns. The report is NOT a listing of repairs that need to be made. Therefore, you agree NOT to hold us responsible for future failure and repair, or for the non-discovery of any patent or latent defects in material, workmanship, or other conditions of the property which may occur or become evident after the date the services were performed; nor for any alleged non-disclosure of condition that are the express responsibility of the seller of the property. You agree to assume all the risk for conditions which are concealed from view or inaccessible to us at the time that the services were performed.

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE HOME INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE HOME INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

THIS REPORT IS FOR THE EXCLUSIVE USE OF OUR CLIENT AS NAMED IN THE INSPECTION AGREEMENT. It may not be used or relied upon by any other person unless that person is specifically named by us in the Inspection Agreement as a recipient of this report. Distribution of this report to any third party without the written consent of the inspector and WIN Home Inspection is prohibited. As the client, you agree to maintain the confidentiality of this report and to reasonably protect the report from distribution to any third party. You agree to indemnify, defend and hold us harmless if any third party brings a claim against us relating to the inspection or to this report.

EXPLANATION OF TERMS

This report was prepared and written with the age and type of structure taken into consideration. Below is an explanation of the terms used in the report.

FUNCTIONAL: Items marked Functional appear to be in serviceable condition using normal operating controls. There were no visible indication of failure at the time the services were performed.

SATISFACTORY: Items marked Satisfactory appear to be in serviceable condition using normal operating controls. There were no visible indications of failure at the time the services were performed. Items that need minor service that do not significantly affect an item's use may be classified as satisfactory.

ATTENTION: Items marked Attention appear to be in need of preventive maintenance or service. Attention may also indicate an item that the inspector would recommend gaining further information from a third party immediately in order to provide additional clarification and/or insight into the item's condition.

MAINTENANCE: Items marked Maintenance are in need of repair or replacement in order to make the item functional and/or prevent further deterioration.

ACTION REQUIRED: Items marked Action Required appear to be in need of immediate repair or replacement. Delay in repair or replacement may result in a dramatic shortening of the life expectancy of the item, have immediate effect on the item, system, structure, other related items, or present a potential health and/or safety hazard.

PRESENT: Items marked Present were visible at the time the services were performed and were not tested or inspected due to either the type of device or access limitations.

NOT INSPECTED: Items marked Not Inspected may be present at the time the services were performed and were not inspected due to obstruction, weather condition or the inspection of the item is not within the scope of the services performed.

N/A: Items marked N/A are not included in the report. The item may not be present, not included, not accessible, not available, not addressed, not applicable, not appropriate, and/or not examined.

Summary Report

We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyperson when contracting for work that may not be within the scope of your capabilities.

1. Structure - Repairs Evident

Attention

The inspector noted that the home has undergone renovations to include replacing of the siding, exterior trim, and windows. These items appear to be correctly installed and should provide long service life. We recommend questioning the Seller as to why the siding was replaced, who did the work, and whether there are any warranties for material or workmanship.



2. Structure - Carbon Monoxide Detector(s)

Attention

The inspector could not verify that there are any functional hard-wired carbon monoxide (CO) detectors in the home. We do not recommend using plug-in or battery powered CO detectors where possible due to the risk of these not working when needed. Fire safety officials recommend that a CO detector be placed on each floor of the home and outside of sleeping areas. We recommend installing CO detectors that are hardwired to power with a battery back-up as directed by the manufacturer. Newer guidelines require that smoke/CO detectors be interlinked so that if one goes off they all alarm. The existing smoke detectors in the hallways could be changed to combination smoke/CO detectors to accomplish the above recommendation.

Summary Report



Appears to be smoke only

3. Structure - Furniture/Storage Attention

Furnishings and stored items in this home are in the opinion of the Inspector average for an occupied residence with the exception of heavy storage in the garage. There were furnishings and/or stored items inside the home that limited the Inspector's ability to visually inspect all areas of this home. It should be noted that the Inspector is not authorized to move the Seller's personal belongings in order to perform the inspection. A walk-through the home prior to closing is often recommended as issues may become visible once the structure is vacated.



Summary Report

4. Structure Perimeter Exterior - Visible Cracks

Yes

There are small cracks less than 1/8" wide visible in the foundation slabs as pictured below. Small cracks are commonly found on foundations of this type and do not appear to represent a structural issue. The Inspector recommends sealing any cracks to prevent moisture from penetrating through the cracks and to inspect the cracks for widening on an annual basis.



5. Structure Perimeter Exterior - Evidence of Insects

No

The inspector did not find evidence of past termite treatment (drill holes or bait stations). This inspection does not provide a WDO (wood destroying organism) inspection and we strongly recommend that all buyers have a qualified exterminator inspect the home for termites and other insects during the due diligence period. In addition to ordering a WDO inspection during due diligence the buyer may question the Seller as to the status of past treatment and whether a termite bond has been in force continuously during their ownership.

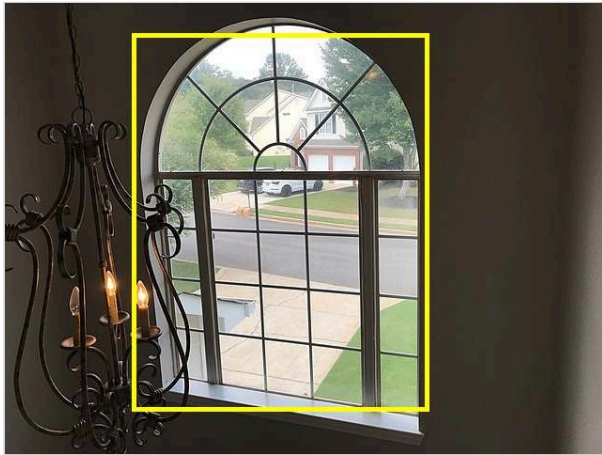


6. Exterior Structure - Double Pane Seals/Insulating Windows

Attention

The inspector found double pane insulating windows that have defective seals as depicted in the photos below. These windows have a slightly reduced energy efficiency and may look hazy and/or have condensation visible under certain atmospheric conditions. Condensation is not always evident under differing weather conditions or exposures to the sun. The visibility through the glass may deteriorate over time and we only recommend replacing these windows should the Buyer deem the hazy appearance unacceptable.

Summary Report

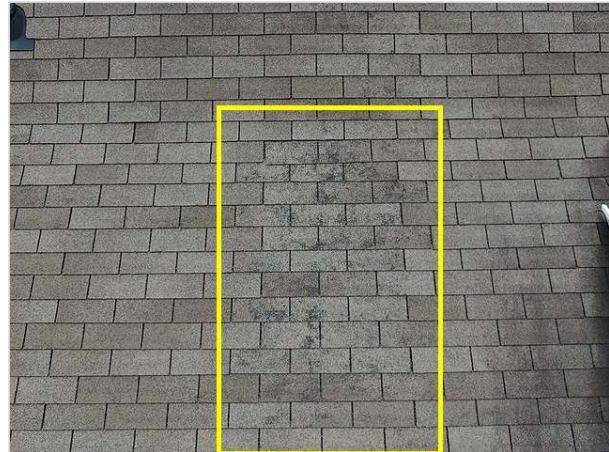


Double pane seal has failed

7. Roof - Cover Material Condition

Satisfactory

The roofing shingles were inspected and we found some localized moderate granule loss that may be due to workers on the roof when the siding was replaced. Periodic inspection and maintenance of the shingles, vents/ chimneys, and flashing is recommended to prevent leaks and address deficiencies early.



Localized granule loss



Localized granule loss



Localized granule loss

Summary Report



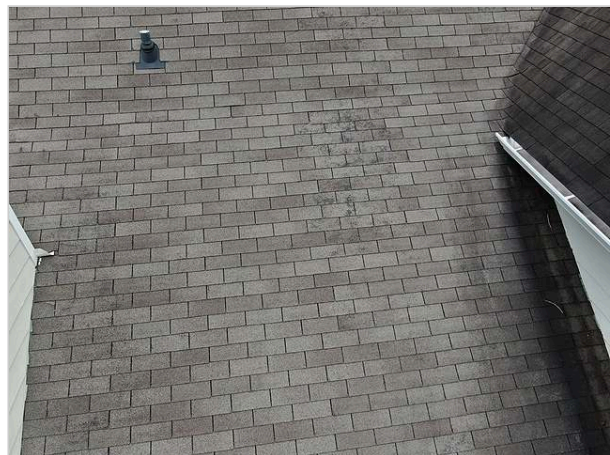
Localized granule loss



Possible wind damage



Localized granule loss



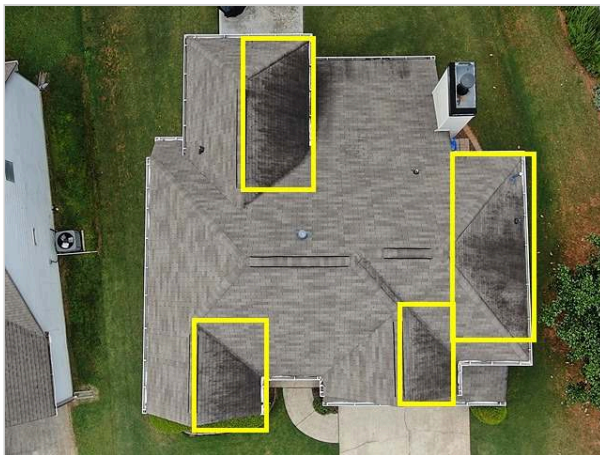
Summary Report



8. Roof - Moss/Mildew

Black Algae

Discoloration of the asphalt shingle roof appeared to be the result of algae growth, indicated by areas of reduced growth on shingles located downhill from metal roof flashing. Zinc in galvanized metal-based flashing inhibits algae growth. Algae growth is a cosmetic issue and will have little effect on shingle roof performance. Improper efforts to remove algae can damage shingles. Any efforts to remove algae should be made by a qualified contractor.



Black Algae

Summary Report

9. Roof - Indications of Leaking

Attention

The Inspector noted a moisture stains at the attic framing above the second floor hall bathroom as noted in the photos below that may be due a current or past roof leak. The area could not be tested with a moisture meter due to their not being a safe walk path. We recommend questioning the Seller as to the history of the stains and any leaks that may have been repaired. Leaks into the structure of a home can result in mold, hidden structural damage, and may attract insects like termites. Additional damage may not be evident to the inspector or may be hidden and we recommend that the area of the leaks be fully evaluated for any of these concerns during the Buyers due diligence period.



Moisture stains on attic framing



Moisture stains on attic framing



No stains or repairs apparent at family room ceiling



No stains or repairs apparent at bathroom ceiling

10. Attic - Inaccessible Areas

Attention

The attic was not fully accessible for the inspector to review the area for leaks, framing or insulation concerns, and rodent activity due to the construction and framing. The attic was reviewed with a flashlight from the area around the furnace and stairs.

Summary Report



Summary Report



11. Patios/Decking/Porches - Concrete Slab

Attention

There are concrete shrinkage cracks that are not effecting the functionality of the patio and do not represent a cause for concern at this time. Consideration may be given to sealing these cracks with an epoxy grout or acrylic resin sealant to provide a pleasing appearance and prevent moisture intrusion that could lead to additional damage.



12. Other Ext. Entry Doors - Weather Stripping

Attention

The inspector noted some damage to the flooring near the exterior patio door that is likely due to wind driven rain. The weather stripping at the door is satisfactory and we recommend the Buyer monitor the area during periods of rain to determine if moisture is still entering the home.

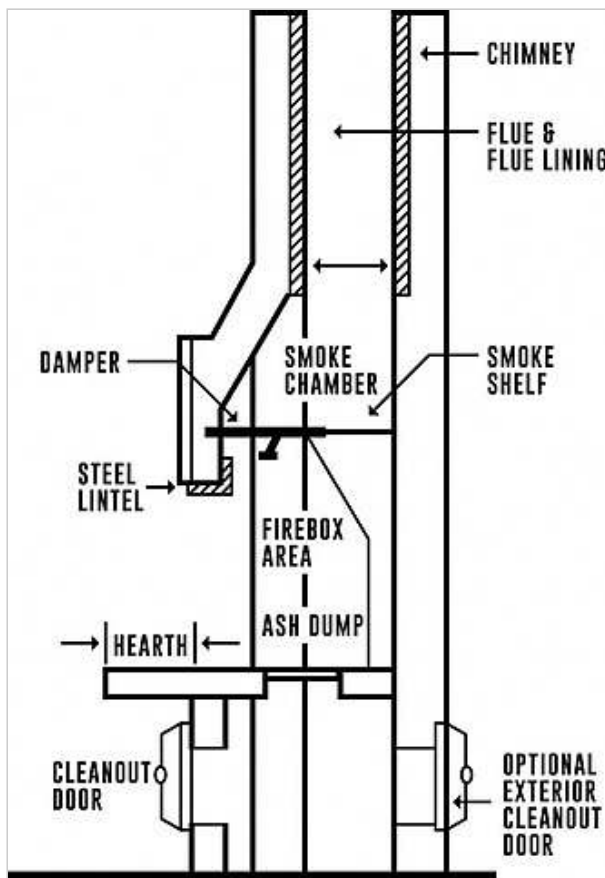
Summary Report



13. Fire Place/Wood Stove - Fire Place/Wood Stove General Statement(s)

Attention

The inspector advises all Buyers to have a qualified chimney sweep inspect all fireplaces, fuel-burning stoves, and chimneys prior to first use and not less than annually going forward. The scope of this inspection is limited to the readily accessible and visible portions of the fireplace and chimney. This inspection is not all-inclusive nor technically exhaustive. The inspection involves a visual-only examination of the readily accessible portions of the chimney exterior, interior, accessible portion of the appliance, and the chimney connection.



Masonry Chimney



14. Fire Place/Wood Stove - Flue Condition

Attention

Summary Report

The fireplace flue is housed inside the chimney and is simply the tube that allows smoke and gas to safely exit the home. Defects in the flue can occur for many reasons and home inspectors are not equipped to fully review the chimney flue for defects and cracks that could lead to an unsafe conditions. Review of the flue during this home inspection is limited to access at the firebox using a flashlight and this review will not turn up all defects in the flue.



15. Kitchen(s) - Dishwasher

Attention

The Inspector noted that the dishwasher drain tube does not loop up to the level of the countertop. There may be enough slack in the line to accomplish this with the current line. We recommend having a qualified handyman or homeowner adjust the drain tube so that a potential backup in the plumbing does not contaminate the dishwasher with bacteria.



Dishwasher drain tube does not attach near
countertop level

16. Kitchen(s) - Oven

Attention

The oven does not have an anti-tip device that would keep it from rocking forward should pressure be applied to the door while it's open. We recommend having a qualified handyman add an anti-tip device for safety especially when there are small children in the home.



No anti-tip bracket

17. Bathroom(s)/Washroom(s) - Tub Fixtures

Attention

The primary bathroom tub fixture is loose and there is a gap around the escutcheon that may allow water into the wall. We recommend having a qualified individual repair the fixture and seal it to the wall to prevent moisture intrusion behind the fixture.

Note - leaks into the structure can lead to conditions conducive to mold growth, structural damage, and termite infestation. We recommend that during repairs the area be checked for these concerns as they may not be evident to the inspector.



Fixture loose and not sealed to wall

18. Bathroom(s)/Washroom(s) - Medicine Cabinet/Vanity

Attention

Storage below sinks can impede the inspection of the cabinet floor for damage and leaks and the inspector is not authorized to move or remove Sellers items. We do however make every effort to identify concerns on the day of the inspection. We recommend the Buyer check the area below sinks for leaks and damage after the Sellers items have been removed and periodically going forward.

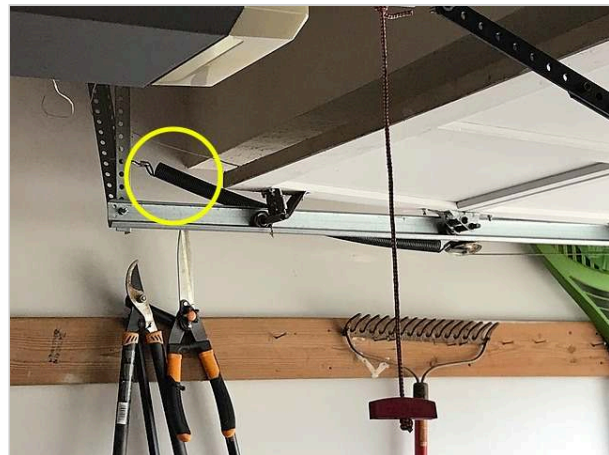
Summary Report



19. Attached Garage - Springs/Mount

Action Required

The springs installed at a garage door on the left side (looking out) did not have containment cables installed. Extension springs should have containment cables installed to help prevent injury or death if a spring should break. The Inspector recommends having a qualified garage door installer add a containment cable to properly tether the springs.



20. Attached Garage - Floor/Foundation

Attention

Summary Report

There are concrete shrinkage and/or settlement cracks present in the garage concrete floor slabs that do not appear to be adversely affecting the foundations but are about 1/4" wide. Consideration should be given to sealing the cracks with an epoxy or acrylic resin sealant to provide a smoother transition and prevent insect, moisture or radon gas intrusion. Grinding or selective removal, compaction of the subgrade and replacement of the slab may be desirable to provide a smooth transition between adjacent slabs with more significant damage.



Due to storage entire garage floor could not be evaluated

21. Air Conditioning - Systems Operation

Action Required - End Of Design Life - Did not Cool

The thermostat controls were used to test the Air Conditioning and we found that the unit servicing the home did not cool effectively on the day of the inspection and is nearing or has exceeded the design life for residential systems. We recommend the Buyer have the Air Conditioning system evaluated by a qualified technician during the Due Diligence period to determine whether repairs or replacement is warranted. The inspector took temperature readings at the supply and return vents. While there may be some cooling capacity to the system (approximately 11 degrees on the day of the inspection), the unit did not maintain a temperature drop of 14-22 degrees between the supply and return vents. The design life of residential Air Conditioning units is 10-15yrs and this unit is 28yrs old.



76.5 at return (2nd floor)



65.5 supply

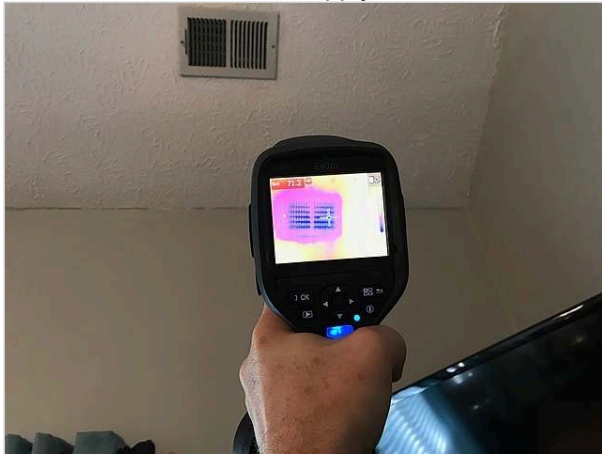
Summary Report



69.1 supply



68.2 supply



71.2 supply



72.5 supply



68.7 supply



73.4 supply

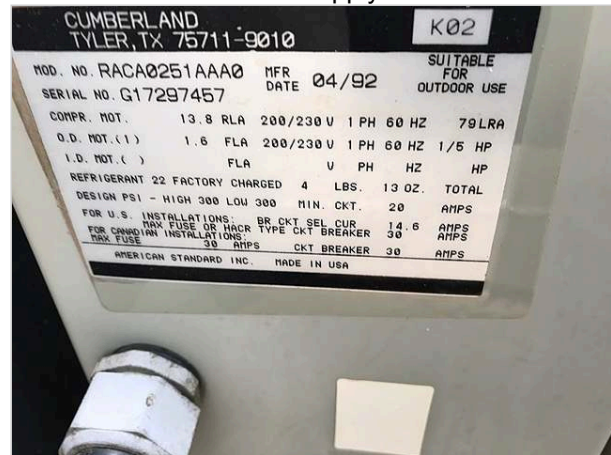
Summary Report



68 supply



67.3 supply



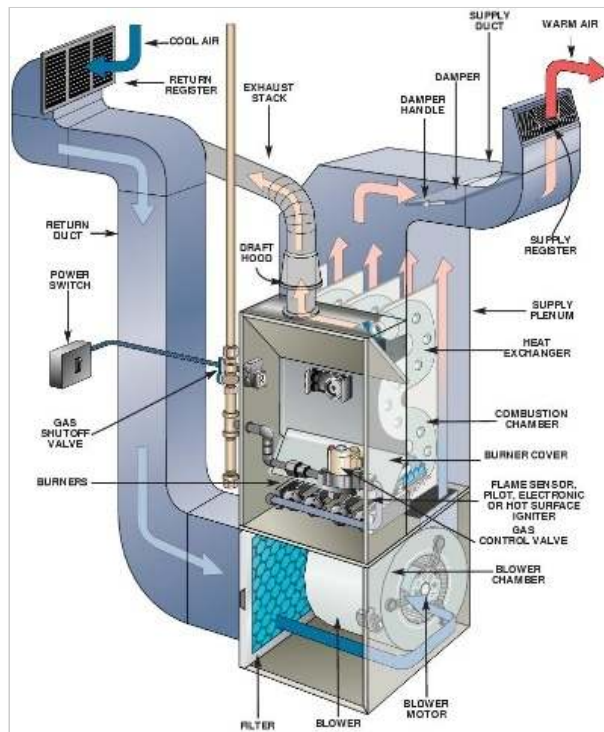
1992 Cumberland A/C

22. Heating System - Heating System General Statement(s)

Attention

Gas furnaces have internal components that can not be checked during the course of a home inspection. Components such as heat exchangers, if defective, can create dangerous conditions inside the home. Therefore, we recommend all gas furnaces be evaluated by a qualified HVAC technician prior to the start of each heating season as a preventative maintenance and safety consideration.

Summary Report



Typical Gas Furnace



23. Heating System - Vents/Flues

Action Required

The furnace and/or water heater vent pipe depicted in the photograph below has less than 1 inch clearance to building materials as is currently required by Building Standards and Practices and the UL listing for the duct. The Inspector recommends having a qualified HVAC technician adjust the vent in an approved manner as required to provide a minimum of 1 inch clearance to the combustible materials for proper fire safety. .



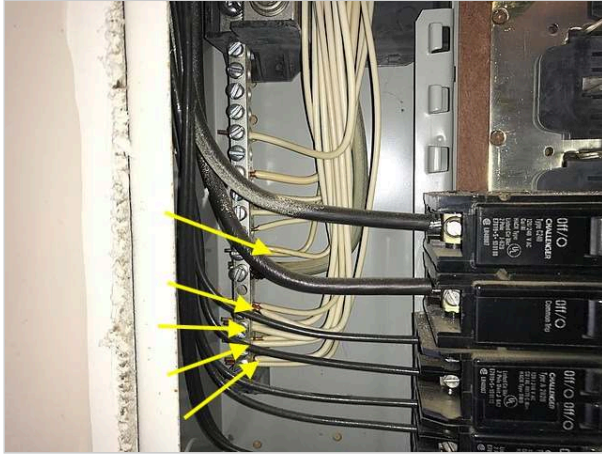
Furnace vent in contact with roofing material

24. Electrical Service - Panel Cover(s) Removed

Action Required - Double Lugged Neutrals

Summary Report

The panel cover was removed and the inspector found current carrying neutral wires double tapped with other neutrals and/or grounds at the bus bar. This condition does not allow for circuits to be isolated when work is being done to the electrical system. Also, panel manufacturers design bus bars to hold only 1 neutral per screw and securing more than one wire may not allow for a positive connection which can lead to a fire hazard. While it was common practice prior to 2002 for electricians to secure multiple neutrals under the same lug it was never allowed. We recommend providing for single lugging of all neutrals at the bus bar.



Double lugged neutrals

25. Electrical Service - Receptacle Ground Verify

Action Required - Open Ground/Reversed/Open Neutral

The outlets pictured below are not wired correctly or are defective. These outlets may represent an electrical shock and/or fire hazard and they may not provide safe service. We recommend having a qualified electrician evaluate and repair or replace as necessary.



Open ground second floor NE bedroom

26. Electrical Service - Service Ground Verified

Action Required - No Bonding Jumpers

The Inspector noted that there are no bonding jumpers over the pressure reducing valve or at the hot and cold water piping above the water heater. Bonding jumpers should be installed at these locations by a qualified electrician since grounding of the piping and electrical systems could be rendered ineffective by the presence of these fittings and equipment or should a plumber ever be required to remove them for maintenance.

Summary Report



No bonding jumper



No bonding jumper

27. Plumbing - Exterior Water Flow

Attention - No Backflow Preventers

The below noted exterior faucets need back-flow preventers or vacuum breakers to prevent possible contamination of the home's water service. These devices are inexpensive, easily installed by homeowners and may be obtained from your local home improvement center or hardware store.



Inspection General Information

Approximate Year Built 1993 Structure SF - Wood Sunny Present at Inspection: Bathrooms 3 Foundation Slab
 Temperature 83 Bedrooms 4 Floors 2 ☐ Seller's Agent Inspection Optional Name ☒ Buyer's Agent ☒ Client
 Report Number 081920RM Northeast Pest ICN ☒ Occupied

Structure

1. Description

Two-Story Traditional Home

2. Approximate Year Built

Approximate Year Built 1993

3. Bedroom(s)

Bedroom(s) 4

4. Bathroom(s)

Bathroom(s) 3

5. Other Room(s)

Family Room and Dining Room

6. Remodel/Modernization Evident

No

7. Repairs Evident

Attention

The inspector noted that the home has undergone renovations to include replacing of the siding, exterior trim, and windows. These items appear to be correctly installed and should provide long service life. We recommend questioning the Seller as to why the siding was replaced, who did the work, and whether there are any warranties for material or workmanship.

8. Smoke Detector(s)

Satisfactory

The Inspector noted the presence of one or more Smoke Detectors in the home. Smoke and Carbon Monoxide detectors are not tested as part of the home inspection. We recommend that each bedroom have a working smoke detector and ideally that each is hard-wired to an AFCI protected breaker and have a battery back-up. We also recommend that a Carbon Monoxide Detector be placed outside each sleeping area and on each floor of the home. Additional Carbon Monoxide detectors may be placed in areas where gas appliances are in use (garage, basement, etc...). Detectors should be tested monthly and batteries should be replaced annually or as required. Fire safety officials recommend replacing detectors at 10 yrs even if they sound when tested. We recommend that the buyer determine the age of the detectors by taking them down and checking for a manufacture date on the back. If the home currently has smoke detectors in the hallway, the Buyer might consider replacing these with a combination unit that can detect smoke and carbon monoxide if there are no other CO detectors in the home.

More information regarding installing Smoke detectors can be found at the [National Fire Prevention Association](#) website.



9. Carbon Monoxide Detector(s)

Attention

The inspector could not verify that there are any functional hard-wired carbon monoxide (CO) detectors in the home. We do not recommend using plug-in or battery powered CO detectors where possible due to the risk of these not working when needed. Fire safety officials recommend that a CO detector be placed on each floor of the home and outside of sleeping areas. We recommend installing CO detectors that are hardwired to power with a battery back-up as directed by the manufacturer. Newer guidelines require that smoke/CO detectors be interlinked so that if one goes off they all alarm. The existing smoke detectors in the hallways could be changed to combination smoke/CO detectors to accomplish the above recommendation

10. Alarm/Security System

Yes

The structure is equipped with a security system that may provide for added safety if it is functional and will stay in the home. Alarm system testing is not within the scope of a home inspection. We recommend the Buyer question the Seller as to whether the system is currently functional, which company provides monitoring, and what steps are necessary to establish service.

11. Windows, Latches/Locks

Satisfactory

Windows were opened, where accessible, and all functioned normally unless otherwise noted in this report. It is normal for windows to stick when they are not used regularly. If windows are found to be stuck there may be a number of remedies including cutting paint that might be binding the window to the frame or lightly tapping on the window frame. Some windows will need periodic adjustment, cleaning, and lubrication to ensure smooth operation.

12. Furniture/Storage

Attention

Furnishings and stored items in this home are in the opinion of the Inspector average for an occupied residence with the exception of heavy storage in the garage. There were furnishings and/or stored items inside the home that limited the Inspector's ability to visually inspect all areas of this home. It should be noted that the Inspector is not authorized to move the Seller's personal belongings in order to perform the inspection. A walk-through the home prior to closing is often recommended as issues may become visible once the structure is vacated.

13. Floor Structure

Concrete Slab On Grade

14. Ceiling Structure

Wood Joists and Beams with Gypsum Board

Home Inspection Details

(Italicized comments also appear in the summary report)

15. Roof Structure

Wood Rafters

16. Interior Walls

Gypsum Wallboard

17. Interior Stairway Structure

Satisfactory

18. Interior Ventilation Method

Functional - Bathrooms

There are functional exhaust fans installed in the bathrooms which should provide for proper ventilation in the home unless noted elsewhere in this report.

Structure Perimeter Exterior

1. Structure Perimeter Exterior General Statement(s)

Structure Perimeter Exterior General Statement(s)



2. Address Identification

Satisfactory

3. Mail Box

Functional

4. Foundation Material(s)

Concrete

5. Visible Cracks

Yes

There are small cracks less than 1/8" wide visible in the foundation slabs as pictured below. Small cracks are commonly found on foundations of this type and do not appear to represent a structural issue. The Inspector recommends sealing any cracks to prevent moisture from penetrating through the cracks and to inspect the cracks for widening on an annual basis.

6. Evidence of Separation over 1/4"

No

7. Evidence of Movement

No

8. Site Drainage

Satisfactory - Slab

9. Evidence of Erosion

No

10. Proper Earth-Wood Clearance

Yes

There should be no contact between the earth and the exterior wood members to prevent wood deterioration and a condition conducive to rodent and insect infestation such as termites. The inspector recommends providing at least 4-6 inches of clearance between the earth or landscaping mulch and wood siding material as a preventive maintenance measure.

11. Vegetation Clear from Structure

Yes

We recommend keeping all shrubs and trees trimmed away from the exterior of the home. Trees can cause damage to the structure and allow for easy access of the roof and attic for rodents and insects. Trees and large shrubs should be trimmed back about 10ft and smaller shrubs around the home should be trimmed back 1ft.

12. Evidence of Insects

No

The inspector did not find evidence of past termite treatment (drill holes or bait stations). This inspection does not provide a WDO (wood destroying organism) inspection and we strongly recommend that all buyers have a qualified exterminator inspect the home for termites and other insects during the due diligence period. In addition to ordering a WDO inspection during due diligence the buyer may question the Seller as to the status of past treatment and whether a termite bond has been in force continuously during their ownership.

13. Evidence of Animal Infestation

No

Exterior Structure

1. Flat Surface Material(s)

Brick and Cement Fiber Hardboard

2. Siding Condition

Functional

The siding material was in satisfactory condition on the day of the inspection. A program of regular maintenance is recommended to maintain the integrity of the caulking around the windows, doors, nail holes and gaps between the siding boards as well as periodic painting to provide long term protection. Siding boards are generally more prone to damage at the bottom run, at roof transitions, and at penetrations where caulking and paint is not properly maintained.

3. Eave/Soffit Areas

Functional

The soffit and eave boards appeared to be in satisfactory condition on the day of the inspection. Soffit and eaves are typically damaged when roof shingles and/or gutters are not properly diverting rain water from the roof so these areas should be checked periodically.



4. Fascia Boards/Trim

Functional

The fascia boards and trim appear to be in good condition and are properly caulked and painted unless noted elsewhere in this report. We recommend homeowners check wood trim seasonally for paint, caulking and early signs of moisture damage.

5. Caulking Structure

Functional

At the time of the inspection the caulking of the structure was functional. The structure will need caulking at the joints in and between the exterior siding and trim materials prior to painting. The Inspector also recommends caulking the joints between the door jambs/mullions and door thresholds, and between the window jambs/mullions and window sills, as a preventive maintenance measure to keep rain water from penetrating into the grain of the wood and causing it to rot. Similarly, it is recommended that the joints between the thresholds and the supporting structures be caulked to prevent moisture intrusion that could damage the flooring.

6. Painted Surfaces

Functional

The paint finishes on the exterior siding and trim are in satisfactory condition and should last a number of years with normal maintenance. Periodic touch-up is often needed in between paintings on those sides of the structure more prone to weathering. The Inspector recommends questioning the Seller about any excess paint available that can be used for touch-up and color matching.

7. Window Glass

Functional

The windows were checked for cracks where accessible and none were noted unless discussed elsewhere in this report.

8. Double Pane Seals/Insulating Windows

Attention

The inspector found double pane insulating windows that have defective seals as depicted in the photos below. These windows have a slightly reduced energy efficiency and may look hazy and/or have condensation visible under certain atmospheric conditions. Condensation is not always evident under differing weather conditions or exposures to the sun. The visibility through the glass may deteriorate over time and we only recommend replacing these windows should the Buyer deem the hazy appearance unacceptable.

9. Window Screens

Functional

The Inspector noted window screens on all operable windows.

Slab Foundation

1. Level/Gradation

Satisfactory

2. Cracks/Separations

Satisfactory

There are small cracks less than 1/16" wide visible in the slab on grade. Small cracks are commonly found on foundations of this type. These appear to be shrinkage cracks that are due to the curing process of concrete that occur shortly after installation. The size of the cracks do not indicate a condition that is in need of attention at this time.

3. Off Sets (Heaving)

Satisfactory

4. Moisture/Dampness

Satisfactory

Site Concrete and Paving

1. Driveway(s)/Parking

Maintenance

There are concrete shrinkage and settlement cracks and joints present in the driveway and/or sidewalk slabs that have limited effect on the functionality of the pavement, but may present tripping hazards to pedestrians at those locations where the elevations on each side of the crack or joint differ by more than 1/2". Consideration should be given to sealing these cracks with an epoxy grout to prevent moisture intrusion that could contribute to long-term deterioration of the slab. Selective replacement or grinding of the surface may be desirable to provide a smooth transition between adjacent slabs with more significant damage.



2. Walkways

Satisfactory

Utility Services

1. Electrical Services

Underground

2. Overhead Service Lines

None

3. Water Source

Public Utility

4. Water Meter Location

At Street

5. Water Shutoff

Garage

6. Sewer

Public Utility

7. Sewer Line Clean-out

Exterior

8. Gas Service

Natural Gas

9. Gas Odors

None Noted

10. Vents/Exhaust

Satisfactory

11. Service Shut Off(s)

As Noted:

The main service shut-off for gas, water and power are documented in the photos below. We recommend that homeowners familiarize themselves with the locations of these so they can be found in case of an emergency (burst pipe, fire, smell of gas, etc...)

Safety Suggestion

The Inspector recommends purchasing an emergency shut off tool for the gas meter. A crescent wrench or special shut off tool can be purchased at your local home improvement store. The Inspector recommends attaching it to the meter with a piece of string for easy accessibility. The gas utility provider recommends shutting the gas off at the meter in the event a gas odor is identified in the structure. Once the gas has been shut off, the gas utility provider should be contacted to inspect the house for leaks in the gas piping or appliances.



Gas shut off



Main breaker



Water shut off

Roof

1. Roof Type

Hip and Gable Roof with Pitched Surfaces

2. Roof Cover Material(s)

Three-Tab Asphalt Composition Shingles

The roof was covered with 3-tab fiberglass asphalt shingles. These shingles are composed of a fiberglass mat embedded in asphalt and covered with ceramic-coated mineral granules. An asphalt sealant strip binds shingles together so that they act as a single membrane. 3-tab shingles usually have a 20-30 year warranty. The actual useful lifespan varies with shingle quality. Determining shingle quality or remaining shingle roof lifespan lies beyond the scope of the General Home Inspection.

3. Cover

1 Layer

4. Cover Material Condition

Satisfactory

The roofing shingles were inspected and we found some localized moderate granule loss that may be due to workers on the roof when the siding was replaced. Periodic inspection and maintenance of the shingles, vents/chimneys, and flashing is recommended to prevent leaks and address deficiencies early.

5. Moss/Mildew

Black Algae

Discoloration of the asphalt shingle roof appeared to be the result of algae growth, indicated by areas of reduced growth on shingles located downhill from metal roof flashing. Zinc in galvanized metal-based flashing inhibits algae growth. Algae growth is a cosmetic issue and will have little effect on shingle roof performance. Improper efforts to remove algae can damage shingles. Any efforts to remove algae should be made by a qualified contractor.

6. Debris on Roof

Satisfactory

There was no significant debris build-up on the roof at the time of the inspection. Debris build-up should be cleaned off the roof surface on a seasonal basis as a proper care and maintenance recommendation.

7. Ridges

Functional

Home Inspection Details

(Italicized comments also appear in the summary report)

The ridge shingles appear to be in functional condition. Ridge shingles are usually the first to show wear and often require replacement during the serviceable life of the roofing. Annual inspection of ridge areas is recommended in order to identify any areas in need of preventive maintenance.



8. Valleys

Satisfactory

The valleys were installed in a conventional manner with shingles from one slope overlapping the valley, and shingles on the adjoining slope cut in a line slightly offset from the valley centerline.



9. Flashing/Caulking

Home Inspection Details

(Italicized comments also appear in the summary report)

Functional

The condition of the flashing and caulking on the day of the inspection was functional. Flashing and caulking at the flashing will need periodic maintenance to prevent leaks from forming. We recommend that the Buyer have the flashing and any caulking around chimneys checked annually for deterioration and repaired as necessary.



10. Vents/Chimneys/Covers

Functional

The vents on the roof were in satisfactory condition on the day of the inspection. Roof vents should be painted with a rust inhibitive paint and caulked at the seams. Plumbing vents typically have a rubber boot that should be checked annually for cracks. Rusting vents and cracked boots are a common cause of leaks into the structure and we recommend having a qualified individual evaluate them annually for deterioration at the roof and moisture stains inside the attic.

Home Inspection Details

(Italicized comments also appear in the summary report)



11. Gutters/Down Spouts

Functional

The inspector noted that all downspouts appear to properly divert rain water away from the homes foundation. Homeowners should periodically check downspouts to ensure they are properly connected and functioning as intended. Improperly functioning gutters and downspouts are common reason for water intrusion in basements and crawlspaces.



12. Drains/Splash Blocks

Functional

The inspector noted that all downspouts appear to properly divert rain water away from the homes foundation. Homeowners should periodically check downspouts to ensure they are properly connected and functioning as intended. Improperly functioning gutters and downspouts are common reason for water intrusion in basements and crawlspaces.

13. Indications of Leaking

Attention

The Inspector noted a moisture stains at the attic framing above the second floor hall bathroom as noted in the photos below that may be due a current or past roof leak. The area could not be tested with a moisture meter due to their not being a safe walk path. We recommend questioning the Seller as to the history of the stains and any leaks that may have been repaired. Leaks into the structure of a home can result in mold, hidden structural damage, and may attract insects like termites. Additional damage may not be evident to the inspector or may be hidden and we recommend that the area of the leaks be fully evaluated for any of these concerns during the Buyers due diligence period.

14. Roof Evaluated From

Drone and Ground Inspection

Attic

1. Access Location/Type

Main Hallway

2. Access

Functional

The access provided to gain entry to the attic area is adequate. We recommend the Buyer check all bolts and screws at pull down stairs occasionally to ensure they will provide safe access.

3. Attic Evaluated By

Entrance

The Inspector entered the attic and inspected the accessible areas for framing condition, insulation, leaks, and rodents. The inspection of the attic is limited to areas where there is adequate clearance and it is safe to walk. Every effort was made to get to all areas of the attic. We recommend that the Buyer enter the attic periodically during rainy weather to check for leaks.

4. Inaccessible Areas

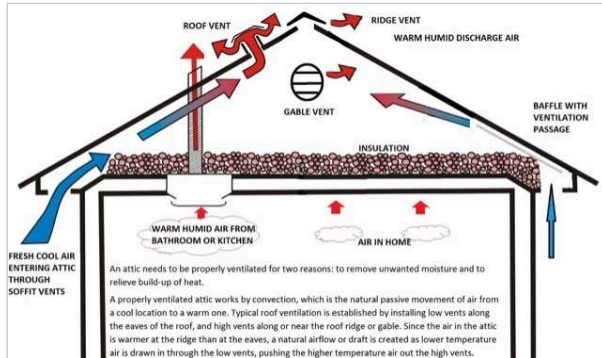
Attention

The attic was not fully accessible for the inspector to review the area for leaks, framing or insulation concerns, and rodent activity due to the construction and framing. The attic was reviewed with a flashlight from the area around the furnace and stairs.

5. Ventilation

Satisfactory

The main attic is ventilated via ridge and soffit vents. Proper air circulation of the attic is critical in the heating and cooling of the home as well as extending the life of the roofing system.



Attic ventilation example

6. Insulation

Satisfactory

The inspector observed no deficiencies in the condition of the thermal insulation at the time of the inspection unless noted elsewhere in this report.

7. Duct Work Piping

Functional

8. Roof Inspect from Underside

Satisfactory

The attic was entered and the underside of the accessible areas of the roof were inspected. The visible condition of the roofing material did not show any evidence that the roof system is currently leaking unless noted elsewhere in this report. The Inspector recommends questioning the Seller to identify if they are aware of the history of any leaks that may have occurred during or prior to their ownership. In addition, periodically re-inspecting the attic during rainy weather is recommended.

9. Light Thru

No

The inspection of the attic space found no evidence of gaps in flashing or structural members that would allow rain water or rodents into the attic unless noted elsewhere in this report.

10. Framing condition

Functional

11. Evidence of Insects

No

12. Evidence of Rodents

No

Patios/Decking/Porches

1. Concrete Slab

Attention

There are concrete shrinkage cracks that are not effecting the functionality of the patio and do not represent a cause for concern at this time. Consideration may be given to sealing these cracks with an epoxy grout or acrylic resin sealant to provide a pleasing appearance and prevent moisture intrusion that could lead to additional damage.

2. Weather Protected Outlet(s)

Satisfactory

3. Lights

Functional

Main Entry Door

1. Correct Application

Yes



2. Door Fit

Functional

3. Weather Strip

Functional

4. Finish

Functional

5. Dead Bolts

Yes

6. Security/Caller Visibility

Functional

7. Door Chime

Functional Doorbell

There is a functional doorbell at the main entry door.

Other Ext. Entry Doors

1. Correct Application

Yes



2. Finish

Satisfactory

3. Door Fit

Functional

4. Weather Stripping

Attention

The inspector noted some damage to the flooring near the exterior patio door that is likely due to wind driven rain. The weather stripping at the door is satisfactory and we recommend the Buyer monitor the area during periods of rain to determine if moisture is still entering the home.

5. Locks

Functional

Fire Place/Wood Stove

1. Fire Place/Wood Stove General Statement(s)

Fire Place/Wood Stove General Statement(s) Attention

The inspector advises all Buyers to have a qualified chimney sweep inspect all fireplaces, fuel-burning stoves, and chimneys prior to first use and not less than annually going forward. The scope of this inspection is limited to the readily accessible and visible portions of the fireplace and chimney. This inspection is not all-inclusive nor technically exhaustive. The inspection involves a visual-only examination of the readily accessible portions of the chimney exterior, interior, accessible portion of the appliance, and the chimney connection.

2. Location

Family Room

3. Firebox

Satisfactory

The inspector found no visible signs of defects in the firebox liner of the fireplace. We recommend the Buyer have the chimney inspected at least once per year by a qualified chimney sweep.



4. Solid Fuel/Gas Logs/Gas Appliance

Solid Fuel Fireplace

The home has one or more solid fuel fireplaces with a gas starter. Our inspection of the fireplace is limited to the readily accessible and visible portions of the lintel, vents and chimneys, damper, and clean out door. The interior sections like the flue liner and smoke shelf are not visible and are not included in this inspection. We recommend that all fireplaces be inspected during due diligence by a qualified chimney sweep.



5. Flue Dampers

Satisfactory

The inspector tested the damper and it operated as designed on the day of the inspection. The fireplace damper separates the firebox from the chimney structure and must be open when starting and burning a fire to facilitate the removal of harmful smoke and dangerous gases from the home. Dampers are typically operated with a handle located at the top of the firebox. In gas fireplaces we recommend adding a damper clip to prevent the damper from being accidentally left closed with a fire burning.



6. Flue Condition

Attention

The fireplace flue is housed inside the chimney and is simply the tube that allows smoke and gas to safely exit the home. Defects in the flue can occur for many reasons and home inspectors are not equipped to fully review the chimney flue for defects and cracks that could lead to an unsafe conditions. Review of the flue during this home inspection is limited to access at the firebox using a flashlight and this review will not turn up all defects in the flue.

7. Exterior Chimney(s) Condition

Functional

8. Rain Cap/Spark Arrestor

Satisfactory

The rain cap and spark arrestor were evaluated and appear to be installed and functioning as intended. The rain cap and spark arrestor are found at the top of the chimney. The rain shield prevents rain from entering the chimney structure which can lead to deterioration and failure of the structure. The spark arrestor helps to keep any embers from the fireplace from exiting out of the chimney and causing a fire. We recommend that these components be checked annually as a preventative/safety maintenance program.

Kitchen(s)

1. Kitchen(s) General Statement(s)

Kitchen(s) General Statement(s) Attention

This inspection does not guarantee the function of kitchen appliances although they may be tested and reported on in this report. Appliances such as dishwashers, refrigerators, and ovens may have defects that can not be uncovered during the limited time a home inspector is on the property. For instance, refrigerators may be cold inside on the day of the inspection but there may be defects with the appliance that keep it from maintaining a desired temperature inside either at the freezer or refrigerator side. A dishwasher may be run with no dishes during an inspection but may not clean dirty dishes thoroughly due to a defect. For these reasons we recommend the Buyer question the Seller as to the ages of the appliances in the kitchen and plan accordingly for replacement based on the design life of these appliances.

Home Inspection Details

(Italicized comments also appear in the summary report)



2. Floor Cover Material

Functional

3. Under Sink Inspection

Satisfactory

The area below the sink was checked for signs of current leaks and none were noted unless documented elsewhere in this report. We are not authorized to move the Sellers stored items to complete the inspection. Storage under kitchen sinks can hide leaks and we recommend that homeowners periodically remove under sink storage to check for leaks to reduce damage should a leak occur.



4. Sink/Faucet Leak

Satisfactory

5. Drains Appear Clear

Satisfactory

Drains may need periodic cleaning due to detergents and debris that can clog traps. We recommend that homeowners use equal parts baking soda and vinegar to clear drains. Start by pouring boiling water down the clogged drain. Follow with 1/2 cup of baking soda then 1/2 cup of vinegar and quickly place a stopper on the drain if possible. Let the mixture work and then follow in 15 minutes with boiling water. More stubborn clogs may require a Zip-It tool, plunger or a professional plumber to free the drain. Commercial cleaning products are also available at local home improvement stores.

6. Garbage Disposal

Satisfactory

The garbage disposal was tested for on/off function. We recommend cold water be used when running the garbage disposal to dispose of food. Cold water helps harden the fats in food being ground and flushed out through the plumbing. To help ensure clear plumbing, run the disposal for a short period of time even after it sounds like all waste has been removed. Citrus peels can be run through to clean and freshen the disposal. Occasionally, homeowners may want to clean the disposal by adding equal parts baking soda and vinegar and letting it sit inside the disposal for 10 minutes before flushing with boiling waters.

7. Dishwasher

Attention

The dishwasher was run for a short cycle to determine that it will turn on, run, and drain normally. The Inspector can make no determination as to the effectiveness of the dishwasher during a home inspection. Dishwashers have an approximate design life of 9yrs although there are exceptions on either side of this estimate.



The Inspector noted that the dishwasher drain tube does not loop up to the level of the countertop. There may be enough slack in the line to accomplish this with the current line. We recommend having a qualified handyman or homeowner adjust the drain tube so that a potential backup in the plumbing does not contaminate the dishwasher with bacteria.

8. Controls

Functional

The inspector used the controls to operate the cooktop on the day of the inspection and they functioned normally.

9. Stove/Cook Top

Electric

10. Cook top, Burners/Elements

Functional - Electric

Home Inspection Details

(Italicized comments also appear in the summary report)

All burners were started and functioned at the time of the inspection. The inspector can not guarantee that a burner will heat to or hold a required temperature.



11. Oven

Attention

The oven does not have an anti-tip device that would keep it from rocking forward should pressure be applied to the door while it's open. We recommend having a qualified handyman add an anti-tip device for safety especially when there are small children in the home.

12. Oven Operational

Satisfactory

The broil and bake function of the oven(s) was checked for on/off operation only. This is not a guarantee that the oven will properly maintain a desired temperature.

Stoves and ovens have an average life expectancy of 10 to 18 years.



13. Stove Exhaust Fan

Satisfactory

There is a functional fan for the cooktop installed in the kitchen. While some fans remove the air to the outside of the home via ducts installed most fans pull the air through a grease filter and exhaust it above the cooktop.

14. Stove Exhaust Filter

Satisfactory

The grease filter for the cook top exhaust fan should be cleaned periodically in the dishwasher to ensure long term service of the fan. Replacement filters are also available at most home improvement stores or at the manufacturers website.



15. Built-in Microwave Operational

Functional

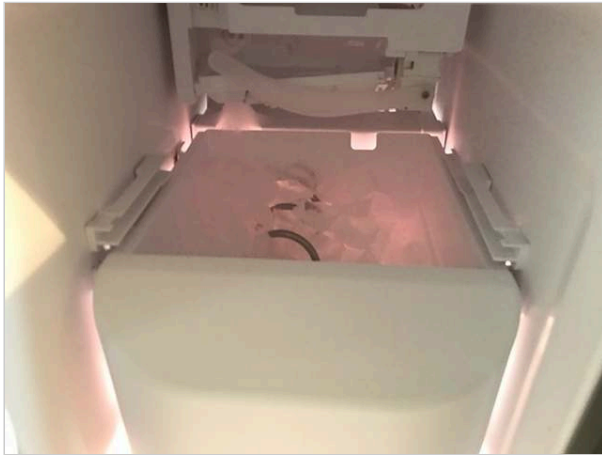
The microwave oven was checked for on/off operation and heating a small paper towel which was moistened. This is not a guarantee that the oven will properly heat food or beverages. Microwave ovens have an approximate design life of 9yrs and newer ovens may be more efficient than older units.



16. Water For Refrigerator

Yes

The Inspector noted that there is ice in the freezer and/or water available through the door of the installed refrigerator.



17. Counter Tops

Satisfactory

The countertops are in satisfactory condition with no major defects noted on the day of the inspection. We recommend that all joints at walls near sinks be kept caulked to prevent moisture intrusion which could cause damage to the structure.

Laundry Area

1. Washer Hookup(s)

Functional

The laundry area has hot and cold water supply lines and a drain for a washing machine. The existing washer was briefly run to check for proper filling and draining and it drained properly.

Drip pans are required in some jurisdictions for laundry areas on the second floor or above living space. Drip pans catch any leaking water should the washing machine tub fail. The drip pan is normally connected to a drain pipe that drains to the exterior of the home. Verifying the drain pipe is present when a washer and dryer are installed is difficult. We recommend the Buyer verify that the drip pan is properly connected to the drain if present. If there is no drain line present, the Buyer should consider having a qualified individual add a drain line for the drip pan.

We recommend the buyer use quality water feed lines and properly attach the drain hose to the drain so that it will not fall out and cause water damage. Clips or wire ties are often added at the drain hose to accomplish this.





2. Drain(s)

Functional

The washing machine drain was tested by running the existing washing machine briefly. The washing machine drained normally and the area was checked for signs of previous leaks. We recommend the Buyer ensure the drain line is properly secured so that it will not back out of the stand pipe while in use.



Clip/attach drain pipe to prevent it from backing out

3. Dryer Hookup(s)

Yes

4. Gas Service

Yes - Capped

5. Dryer Electrical Service 240V

Yes - 3 Prong Outlet

6. Dryer Ventilation System

Satisfactory

The dryer ducting system inspection is limited to the visible condition of the external parts of the system and the inside of ductwork is not reviewed during a home inspection. We recommend that the Buyer question the Seller as to the last time the dryer ductwork was cleaned. Lint build up in dryer ductwork can cause a fire in the home and it reduces the efficiency of the dryer. We recommend cleaning the ductwork at least once per year with tools that are readily available at most home improvement stores. The attached link is an example of dryer vent cleaning process. [Dryer Vent Cleaning Example](#)



Missing rodent/insect flap at dryer vent

7. Floor Condition

Satisfactory

8. Lighting

Satisfactory

9. Area Ventilation

Conditioned Space

10. Shelving/Storage

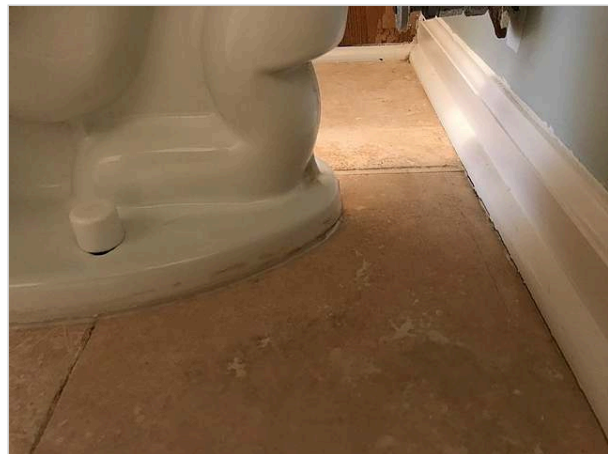
Satisfactory

Bathroom(s)/Washroom(s)

1. Bathroom(s)/Washroom(s) General Statement(s)

Bathroom(s)/Washroom(s) General Statement(s)

The following photos depict the general condition of each bathroom in the home on the day of the inspection. Further detail on any defects noted is provided elsewhere in this report.



Home Inspection Details

(Italicized comments also appear in the summary report)





2. Floor Cover

Functional

The flooring in the bathroom was found to be satisfactory on the day of the inspection. Bathroom flooring should provide for some water resistance to the sub flooring below therefore we recommend tile floors be checked occasionally for cracks and defects which could limit the water resistance of the flooring.

3. Mildew Noted

No

4. Basin(s)/Fixtures

Functional

Shower heads and sink fixtures were tested using normal controls and found to function normally on the day of the inspection unless noted elsewhere in this report. Shower heads may become clogged with debris or due to hard water over time and may need cleaning or replacement if the desired water pressure is not achieved.

5. Basin Drain

Functional

All drains performed adequately at the time of the inspection unless noted elsewhere in this report. Drains may need periodic cleaning due to debris that can clog the traps. Commercial products are available at home improvement stores that may clear slow or clogged drains. An alternative to commercially available products to clear drains is to use equal parts baking soda and vinegar. Start by pouring boiling water down the clogged drain. Follow with 1/2 cup of baking soda then 1/2 cup of vinegar and quickly place a stopper on the drain if possible. Let the mixture work for approximately 15 minutes before pouring more boiling water down the drain. More stubborn clogs may require a Zip-It tool, plunger or a professional plumber.

6. Shower Fixtures

Functional

7. Shower Head(s)

Functional

8. Shower/Tub Enclosure(s)

Functional

9. Water Resist Cover Wall Cover

Functional

The water resistant wall coverings in the bathroom areas are in functional condition and appear to be providing adequate protection to the wall surface.

10. Caulking - Water Exposed Area

Functional

Home Inspection Details

(Italicized comments also appear in the summary report)

The caulk or grout sealants along water exposed areas in the bathrooms appears to provide adequate protection unless noted elsewhere in this report. The caulking and grout seal at bathtubs and shower walls and floors, around toilets and fixtures, and around sink basins should be evaluated and touched up periodically to protect the underlying structure.

We recommend caulking the joint between the toilet and the floor to facilitate good housekeeping and minimize breeding areas for germs and bacteria. It is recommended that the bead of caulk not fully cover the back of the toilet to allow identification of forming leaks at wax rings.

11. Tub(s)

Functional

The review of the tubs in the home showed no major defects unless noted elsewhere in this report.

12. Tub Fixtures

Attention

The primary bathroom tub fixture is loose and there is a gap around the escutcheon that may allow water into the wall. We recommend having a qualified individual repair the fixture and seal it to the wall to prevent moisture intrusion behind the fixture.

Note - leaks into the structure can lead to conditions conducive to mold growth, structural damage, and termite infestation. We recommend that during repairs the area be checked for these concerns as they may not be evident to the inspector.

13. Tub/Shower Drain(s)

Functional

The Inspector ran water in all tubs, showers, and sinks and they drained at an acceptable rate unless noted otherwise. It is difficult to duplicate an occupied home where multiple sources of water may be in use at the same time. The waste water system for the home could be blocked or clogged in a manner that does not show up without a volume of water that can not be run during a normal home inspection. The buyer should consider having a qualified plumber scope the sewer lines, especially if the yard has trees in the vicinity of the drain line, to ensure there are not blockages that would not show up during our review. Also, the drains may need periodic attention to remove clogs or other debris to improve flow.

14. Toilet(s)

Functional

All of the toilets were inspected for cracks, loose floor mountings, cross connections and serviceability. The toilets should be inspected periodically for indications of cracking in the toilet bowl, tank or base. Cracks are an indication that a toilet has reached the end of its useful life and should be replaced before it leaks.

15. Ventilation

Functional

The bathroom fans were tested and functioned normally on the day of the inspection. We recommend using the bathroom fan during showers to remove excess humidity from the area.

16. Heat

Functional

17. Medicine Cabinet/Vanity

Attention

Storage below sinks can impede the inspection of the cabinet floor for damage and leaks and the inspector is not authorized to move or remove Sellers items. We do however make every effort to identify concerns on the day of the inspection. We recommend the Buyer check the area below sinks for leaks and damage after the Sellers items have been removed and periodically going forward.

18. Ceiling/Walls/Doors

Functional

Attached Garage

1. Size

Two Car

2. Garage Door(s)

Functional

Garage doors need periodic adjustment, tightening, and lubrication to perform properly. We recommend having a qualified overhead door contractor service the doors every 5 years to provide reliable operation.

3. Automatic Opener(s)

Functional

The garage door(s) were tested using the wall switch and they opened and closed normally.



4. Springs/Mount

Action Required

The springs installed at a garage door on the left side (looking out) did not have containment cables installed. Extension springs should have containment cables installed to help prevent injury or death if a spring should break. The Inspector recommends having a qualified garage door installer add a containment cable to properly tether the springs.

5. Safety Operation, Opener(s)

Functional

Garage doors have 2 safety features that are meant to reduce the possibility of person or property being hurt or damaged by a closing garage door. The most obvious is the photo-electric motion sensors that can be seen at the bottom of each door. These detect motion moving under the path of the door when it is closing. This sensor can be tested by rolling a ball in front of the sensor while the door is closing. The second feature is the pressure sensing auto reverse sensor. This can be tested by slightly holding the door while it closes or placing a 2 x 4 piece of wood under the door as it closes. An inadequately adjusted pressure sensor can cause damage to the door during this type of testing.

6. Door Seal

Functional

7. Floor/Foundation

Attention

There are concrete shrinkage and/or settlement cracks present in the garage concrete floor slabs that do not appear to be adversely affecting the foundations but are about 1/4" wide. Consideration should be given to sealing the cracks with an epoxy or acrylic resin sealant to provide a smoother transition and prevent insect, moisture or radon gas intrusion. Grinding or selective removal, compaction of the subgrade and replacement of the slab may be desirable to provide a smooth transition between adjacent slabs with more significant damage.

8. Heat

No

Garage areas are not normally heated and are not considered living areas. In addition, current building standards and practices prohibit any HVAC duct openings in the garage to prevent automobile exhaust from seeping into the living areas when the heating and cooling system is not operating and to slow the spread of a fire from the garage to the living spaces. There are no heat vents in the garage

9. Lighting

Functional

10. Fire Wall/Ceiling Board

Satisfactory

The walls and ceilings separating the garage from the home living space appeared to meet generally-accepted current standards for firewalls. Firewalls are designed to resist the spread of a fire which starts in the garage for a certain length of time in order to give the home's occupants adequate time to escape.

11. Door(s), Garage - Building

Functional

Current building standards require doors leading from the garage to living areas be a honeycomb metal door or a solid core door at least 1 3/8 inches thick to provide a higher level of separation between the garage and living area.

12. Evidence of Moisture Penetration

No

Air Conditioning

1. Air Conditioning General Statement(s)

Air Conditioning General Statement(s)

Inspection of home cooling systems typically includes visual examination of readily observable components for adequate condition, and system testing for proper operation using normal controls. Residential systems generally are comprised of an external component (compressor) and an internal component (coils). This cooling system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. Report comments are limited to identification of common requirements and deficiencies.

2. Systems Operation

Action Required - End Of Design Live - Did not Cool

The thermostat controls were used to test the Air Conditioning and we found that the unit servicing the home did not cool effectively on the day of the inspection and is nearing or has exceeded the design life for residential systems. We recommend the Buyer have the Air Conditioning system evaluated by a qualified technician during the Due Diligence period to determine whether repairs or replacement is warranted. The inspector took temperature readings at the supply and return vents. While there may be some cooling capacity to the system (approximately 11 degrees on the day of the inspection), the unit did not maintain a temperature drop of 14-22 degrees between the supply and return vents. The design life of residential Air Conditioning units is 10-15yrs and this unit is 28yrs old.

3. Type of Units

Central Air-Cooled Split System Air Conditioning Units

Home Inspection Details

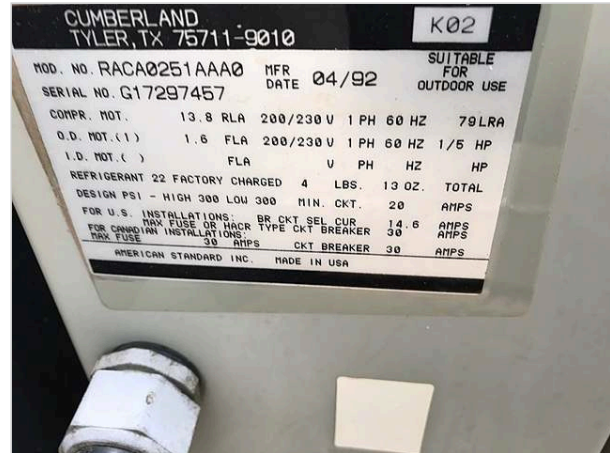
(Italicized comments also appear in the summary report)

4. Manufacturer Specifications

As Noted Below

The home is serviced by 1 A/C unit.

Residential Air Conditioners have an expected design life of 10 - 15yrs but there are exceptions on both sides. The units in this home were manufactured in 1992



1992 Cumberland A/C

5. Service Records/Last Service

None Noted

There were no service labels present and the furnace and air conditioner do not appear to have been professionally serviced recently. The Inspector recommends requesting any service records from the Seller. If a particular service company has been used in the past for regular service, the Buyer may wish to contact that company about an annual preventative maintenance agreement since they may be familiar with the systems.

6. Energy Source

Circuit Breakers In Main Electrical Panel

The Inspector checked the breaker size, wire sizing, and manufacturers recommendations for maximum breaker size and found them in compliance on the day of the inspection.

7. Condensing Coil Condition

Satisfactory

It is important to keep enclosures, landscaping bushes, ornamental grasses and/or other plants trimmed 3-6ft away from air conditioning units to provide sufficient air flow. The coils of the exterior unit may occasionally need to be cleaned which can be done using a garden hose and foaming cleaner available at most home improvement stores. Be sure to properly disconnect power before spraying down the unit and avoid soaking the electric motor inside the unit.

8. Power Disconnect Location

At or Near the Unit

The local disconnects for the air conditioning unit(s) are located within eyesight as required per electrician standards.

9. Condensate Drain System

Functional

Home Inspection Details

(Italicized comments also appear in the summary report)

It is normal for water to drain from the condensate drain tubes on the exterior of the home. Newer construction guidelines place the drain tubes in a conspicuous location so that the homeowner can keep an eye on drains for changes in the flow. We recommend inspecting and cleaning the condensate drain system annually. This is especially important if your furnace is in the attic or another area where excessive water can cause damage to the home.



Heating System

1. Heating System General Statement(s)

Heating System General Statement(s) Attention

Gas furnaces have internal components that can not be checked during the course of a home inspection. Components such as heat exchangers, if defective, can create dangerous conditions inside the home. Therefore, we recommend all gas furnaces be evaluated by a qualified HVAC technician prior to the start of each heating season as a preventative maintenance and safety consideration.

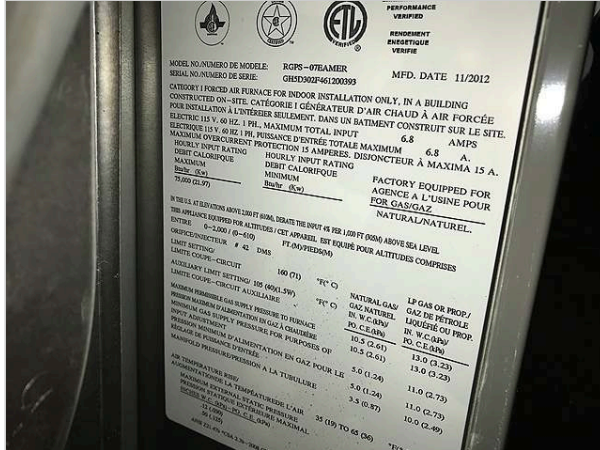
2. System Type(s)/Info

Gas Furnace

Residential furnaces have a typical life expectancy of 15-25yrs. The furnace in this home is 8 yrs old.

Home Inspection Details

(Italicized comments also appear in the summary report)



2012 gas furnace



3. Location(s)

Attic

4. Thermostat Location(s)

Hallway

5. Thermostat Type

Electronic Programmable Thermostat

The home has an electronic programmable thermostat that should add to the energy efficiency of the home if it is properly programmed. We recommend consulting the thermostat manufacturers website for details on programming and operating the thermostat.



6. Thermostat Condition

Satisfactory

The thermostat was used to test the function of the heating and cooling system in the home unless noted elsewhere in this report. The functions of the thermostat performed as intended. Thermostats may have batteries that need to be replaced occasionally to provide proper function.

7. On/Off Check

Satisfactory

The heating system was turned on/off using normal thermostat controls and it was found to be operational on the day of the inspection.

8. Operation Noise

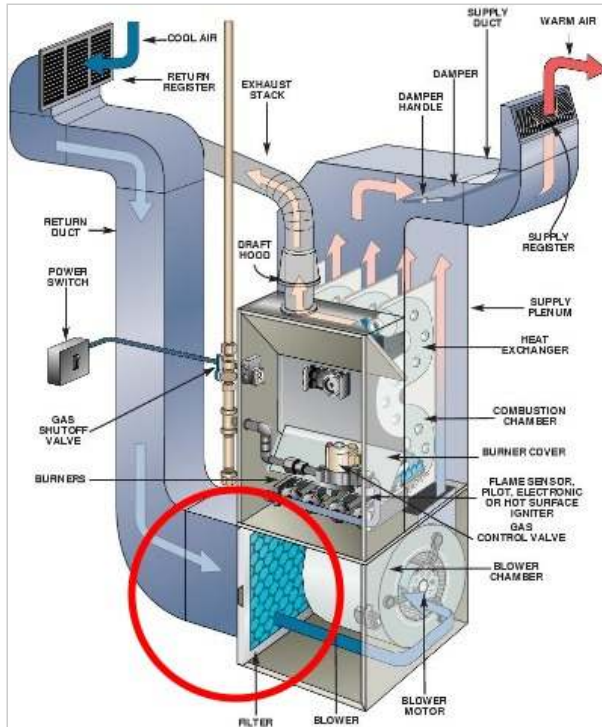
Satisfactory

9. Filter Condition

Satisfactory

The Inspector recommends changing or cleaning the filter(s) every 90 days or perhaps more frequently for persons with allergies.

See attached photos for filter sizes (if accessible)



Typical filter location



10. Vents/Flues

Action Required

The furnace and/or water heater vent pipe depicted in the photograph below has less than 1 inch clearance to building materials as is currently required by Building Standards and Practices and the UL listing for the duct. The Inspector recommends having a qualified HVAC technician adjust the vent in an approved manner as required to provide a minimum of 1 inch clearance to the combustible materials for proper fire safety. .

11. Ducts/Returns/Radiators

Satisfactory

The visible portions of the HVAC ductwork were evaluated and there was not a heavy build up of dust on the day of the inspection. It is not possible to review the inside of the ductwork without specialty equipment and/or removing grills and this would normally be performed by an HVAC contractor. We recommend that homeowners regularly change filters and occasionally have the return side of the system cleaned by a qualified HVAC contractor.

Electrical Service

1. Panel/Sub-Panel Location(s)

Garage

2. Service Size (Amps)/(Volts)

150 A; 120/240 V



3. Over Current Devices

Circuit Breakers

4. Service to Panel

Aluminum

The main panel is service by multi-strand aluminum alloy wires that are not susceptible to the issues associated with single-strand aluminum wiring that was installed in the 1970s.

5. Panel to Structure

Copper

6. Panel Cover

Functional

The panel cover is in functional condition and the circuit breakers appear to have the benefit of complete service labeling. Proper labeling to provide quick identification of service disconnects in the event of an emergency is important.

Home Inspection Details

(Italicized comments also appear in the summary report)



7. Panel Cover(s) Removed

Action Required - Double Lugged Neutrals

The electrical panel cover was removed to provide access to the interior of the panel for inspection.

The panel cover was removed and the inspector found current carrying neutral wires double tapped with other neutrals and/or grounds at the bus bar. This condition does not allow for circuits to be isolated when work is being done to the electrical system. Also, panel manufacturers design bus bars to hold only 1 neutral per screw and securing more than one wire may not allow for a positive connection which can lead to a fire hazard. While it was common practice prior to 2002 for electricians to secure multiple neutrals under the same lug it was never allowed. We recommend providing for single lugging of all neutrals at the bus bar.

8. Breaker Configuration

Functional

The inspector removed the panel cover and reviewed the breakers for mismatched manufacturers, GFCI/AFCI in proper areas, wire connections, and visual damage. No defects were noted unless noted elsewhere in this report. It should be noted that the inspector is not qualified to remove breakers nor evaluate the service load of a panel or the adequacy of any alterations the Buyer may intend to make.

9. Wire-Over Current Compatibility

Satisfactory

Wire sizes for each breaker were inspected and appear to be of the correct gauge for the intended amperage.

10. Receptacle Ground Verify

Action Required - Open Ground/Reversed/Open Neutral

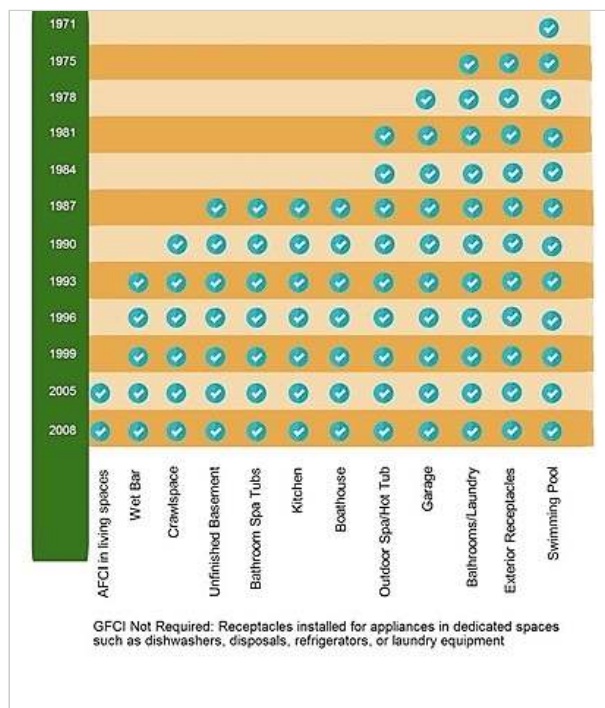
The Inspector tested the accessible three-prong female 120 volt electrical outlets throughout the structure and has not found any that were not correctly grounded. This is not a warranty and an undiscovered condition associated with the concealed wiring may exist. It should also be noted that not all outlets may have been tested due to the presence of furniture and other stored items.

The outlets pictured below are not wired correctly or are defective. These outlets may represent an electrical shock and/or fire hazard and they may not provide safe service. We recommend having a qualified electrician evaluate and repair or replace as necessary.

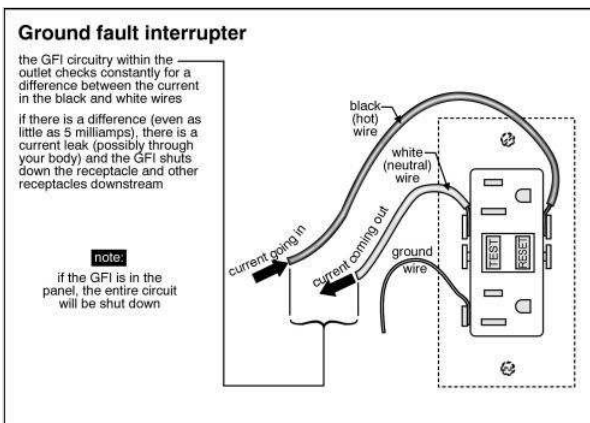
11. G.F.C.I. Protection

Functional

Current Electrical Building Standards and Practices require that Ground Fault Circuit Interrupters (GFCI) be located in areas where there is a higher potential danger of electrical shock (garages, bathrooms, outdoors, kitchen counters, laundry rooms, unfinished basements, whirlpool tubs, within six feet of non-laundry room utility sinks or wet bar sinks; pool pumps, hot tubs, and certain other outlets). GFCI protection was present and functional in these areas unless otherwise noted. The GFCI outlets should be tested by the homeowner on a monthly basis to ensure functional and safe service is provided on an ongoing basis.



GFCI/AFCI requirements by year



Sample GFCI outlet

12. Service Ground Verified

Action Required - No Bonding Jumpers

The electrical service appears to be properly grounded to a grounding electrode, on the exterior of the structure near the meter.

The Inspector noted that there are no bonding jumpers over the pressure reducing valve or at the hot and cold water piping above the water heater. Bonding jumpers should be installed at these locations by a qualified electrician since grounding of the piping and electrical systems could be rendered ineffective by the presence of these fittings and equipment or should a plumber ever be required to remove them for maintenance.

13. Outlets, Switches, Junction Boxes, Lighting

Functional

The Inspector was able to identify and report on the condition of those outlets, switches and junction boxes that were visible and accessible at the time of the inspection. Occupied homes often have furniture and stored items covering electrical outlets, switches and junction boxes which limit their accessibility for inspection.

14. Wire Method

Romex Type NM (Non Metallic) Plastic Shielded Cables

15. Arc Fault Breakers (A.F.C.I.)

Attention - Not required

Arc Fault Circuit Interrupters (AFCIs) are residential circuit breakers with an integrated processor that recognizes the unique current and/or voltage signatures associated with arcing faults and acts to interrupt the circuit to reduce the likelihood of an electrical fire. Current Standards and Practices require that 15 and 20 amp power, lighting and smoke detection circuits in living areas such as kitchens, living rooms, dining rooms, family rooms, sunrooms, parlors, libraries, offices, dens, bedrooms recreation rooms, closets, hallways, laundry areas and other similar rooms or areas be protected by AFCIs. AFCI breakers are relatively expensive when compared to a standard breaker and they are known to result in nuisance tripping on homes with older wiring and electrical

equipment. They were not required when the home was constructed and it is not mandatory to upgrade to the current requirements. Nonetheless, consideration may be given to having a qualified electrician install AFCI breakers, particularly for the bedroom circuits to provide a higher level of fire safety in the sleeping areas. The Buyer may also want to check with their homeowner's insurance carrier to determine if any discounted rates are available for home's with arc-fault protection.

16. Service Bonding

Functional

Plumbing

1. Size Service to Structure

3/4 Inch

2. Structure Pipe Material

Copper

The Copper water piping has a long life expectancy and should provide a number to years of satisfactory flow to the structure.

3. Waste Pipe Material

Not Visible

4. Pipe Rumble Noise

No

5. Surge Bangs

No

Surge bang or water hammer occurs when the water starts or stops abruptly in the home. If water hammer is noted inside a home the first thing to check is the water pressure which should be below 80PSI. The second thing to investigate is whether a newly installed appliance might be the cause. If this is the case, water hammer arrestors can be purchased at most home improvement stores and installed at the source of the problem to correct the issue.

6. Encrustations Evident

Satisfactory

Encrustations (readily visible deposits at the pipe connections) are an early indication of a developing leak. There were no encrustations visible that would indicate a developing leak .

7. Mineral Deposits

No

8. Water Pipe Insulation

Yes - Where Visible

9. Evidence of Leaks

No

10. Interior Water Flow

Functional

11. Exterior Water Flow

Attention - No Backflow Preventers

The below noted exterior faucets need back-flow preventers or vacuum breakers to prevent possible contamination of the home's water service. These devices are inexpensive, easily installed by homeowners and may be obtained from your local home improvement center or hardware store.

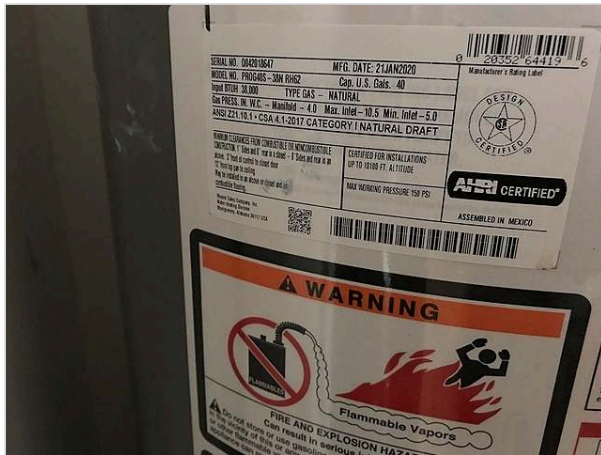
Water Heater

Home Inspection Details

(Italicized comments also appear in the summary report)

1. **Location(s)**
Garage
2. **Type**
Natural Gas

The gas water heater was manufactured in 2020. The life expectancy of a gas water heater is typically 8-12 years from the date of installation, although there are exceptions on both sides.



3. **Size Main/Aux (Gal)**
50 US Gallons

4. **Evidence of Leaks**
No

There were no visible leaks in the water heater that would indicate it is in need of replacing . Inspecting the bottom of the water heater periodically for evidence of moisture is recommended.

5. **Evidence of Encrustation**
No

There were no significant encrustations on the piping connections at the time of the inspection.

6. **Safety Valve**
Functional TPRV

There is a temperature/pressure relief valve (TPRV) installed on the water heater that lets water escape if the temperature or pressure is too high.

7. **Discharge Pipe**
Functional

Home Inspection Details

(Italicized comments also appear in the summary report)

There is an approved discharge pipe connected to the temperature/pressure relief valve (TPRV). The pipe is installed to prevent someone from being sprayed with hot water in the event that a TPRV discharges. Discharging of the valves is uncommon and usually indicates that the water heater is in need of service or the TPRV is in need of replacing.

8. Installation

Functional