



Home Inspection
for
Christian Stanko
5535 Concord Downs Drive
Cumming, GA 30040



Inspected By:

John Miller

Home and Stucco Inspections, Inc.

HOME INSPECTION REPORT

HOME AND STUCCO INSPECTIONS, INC.

Peachtree Corners, Georgia 30092
Phone:(770)246-9448 Fax:(770)242-5979

Brief Description of the Subject Structure

This two-story wood framed structure is a single-family residence, constructed in the year circa 2006. It has a two-car attached garage; an asphalt shingle roof; brick and fiber-cement cladding and a concrete slab foundation. The front of the home faces East.

Address of Subject Property:

5535 Concord Downs Drive
Cumming, GA 30040

Copy to:

June Johns

Inspected for:

Christian Stanko

Inspected by:

John Miller
Home and Stucco Inspections, Inc.

Fee \$400.00

Paid **\$400.00**

Visa **Paid in full**
(xxxx7439)

Dated 07/03/2020

Billed Date N/A

Inspection Date 07/03/2020

Time Started 9:00 AM

Weather Clear

Temperature 77 degrees

Recent Weather Rain in the last week

Scope of Inspection: Per your request, the subject property; i.e., the grounds, exterior surfaces visible from ground, garage, carport, structure, attic, basement, crawl space, electrical system, heating system, air conditioning system, plumbing, fireplace, built-in appliances have been visually inspected if present, and major installed systems and components are described. This report, intended to provide you with a better understanding of the condition of the property, reflects our observations and opinions at the time of the inspection and no warranty is expressed or implied. **If this inspection report is received and/or used by the Client, the conditions of this Scope of Inspection are agreed to by the Client.** This inspection and resultant report is conducted and prepared in accordance with the applicable laws of the State of Georgia and the Inspection Standards of the American Society of Home Inspectors. The inspector is not required to: walk on roof; activate utilities; activate systems or equipment that are shut down; report on or evaluate systems or components life expectancy, adequacy, efficiency, or cause of the need to repair; observe items or areas if concealed or not readily accessible; evaluate suitability for any specialized use or conformance to any previous or present regulatory requirements or building codes; or evaluate the present or future market value or marketability of the property. Unless specifically agreed upon and reported on, no inspection or evaluation was made concerning any environmental conditions, soil or geological conditions, recreational facilities, outbuildings, alarms, communication systems, pools, spas, irrigation systems, sewage disposal systems; the presence or absence of pests, wood destroying organisms, mold, fungi, or possible hazardous materials or conditions. **In the event that Home and Stucco Inspections, Inc. or its inspectors are found liable for any errors or omissions, the total value of all claims per subject property are limited to the amount of the inspection fee paid.**

Notice to Client: Those items marked in the "See Summary" column of this report may be acceptable to you when considering the intended use and / or value of the property. This report generally excludes those items which are considered purely cosmetic in nature, but in some instances may be mentioned in the "Summary" section for clarification or maintenance purposes. If references are made to building codes or other standards, these are made in an effort to clarify the issue, and are not intended to infer a building code violation, since Home and Stucco Inspections, Inc. is a private corporation, not a regulatory or policing agency. If any estimates of repair costs or methods of repair were provided, these are only to be considered as rough "ballpark" estimates or methods, not quotations, since Home and Stucco Inspections, Inc., does not perform repairs. Prices and methods of repair may vary depending upon the contractor, engineer, or architect selected.

LEGEND:

"X" IN THE "**Satisfactory**" COLUMN INDICATES THE ITEM APPEARS INSTALLED ACCEPTABLY AND IS FUNCTIONING.

"X" IN THE "**See Summary**" COLUMN INDICATES THE ITEM APPEARS INSTALLED UNACCEPTABLY, BROKEN OR NOT FUNCTIONING AND NEEDS CORRECTION, FURTHER ACTION, OR CLARIFICATION.

ALSO:

THE CONVENTION USED TO IDENTIFY LOCATIONS, BOTH INSIDE AND OUTSIDE, IS TO ASSUME YOU ARE STANDING IN THE FRONT YARD LOOKING AT THE FRONT OF THE STRUCTURE; RELATIVE LOCATIONS WILL BE FRONT, REAR, LEFT AND RIGHT.

Section A

OUTSIDE GROUNDS

| Item # | Satisfactory | See Summary | ITEM | COMMENTS |
|--------|--------------|-------------|---|---|
| A01 | | X | <u>Drainage & Grading</u> (as affect building) | |
| | | | NOTE: Soil grading is to be installed and maintained sloping downward from the foundation such that water will flow away from the building. In addition, since soil and mulch contain moisture, it needs to be eight (8) inches minimum below the bottom sill or wood framing members or at least six (6) inches below the siding. | |
| A02 | | X | <u>Trees, Bushes</u> and other Vegetation (as affect building) | |
| | | | NOTE: Trees or bushes growing too close or hanging over the house can cause damage to the foundation, siding or roof. Large trees within ten (10) feet of the house should be considered for removal; others need to be trimmed away from contact with the house, and should be clear for at least 18 inches around and four (4) feet above the exterior air conditioning equipment. | |
| A03 | | | <u>Retaining Walls</u> | <input checked="" type="checkbox"/> none (as affect building) <input type="checkbox"/> concrete <input type="checkbox"/> treated timber |
| A04 | X | | <u>Driveway</u> | <input checked="" type="checkbox"/> concrete <input type="checkbox"/> asphalt <input type="checkbox"/> gravel or dirt |
| | | | | <input type="checkbox"/> brick or pavers <input checked="" type="checkbox"/> typical cracks |
| A05 | X | | <u>Walks</u> | <input checked="" type="checkbox"/> concrete <input type="checkbox"/> brick <input type="checkbox"/> none |
| | | | | <input type="checkbox"/> typical cracks <input type="checkbox"/> other: |
| A06 | X | | <u>Patios, Stoops & Steps</u> | <input checked="" type="checkbox"/> front <input checked="" type="checkbox"/> rear <input checked="" type="checkbox"/> concrete |
| | | | | <input type="checkbox"/> masonry <input type="checkbox"/> none <input checked="" type="checkbox"/> settling cracks |
| A07 | X | | <u>Fences</u> | <input type="checkbox"/> chain link <input checked="" type="checkbox"/> wood <input type="checkbox"/> none |

Section B

STRUCTURE EXTERIOR

| Item # | Satisfactory | See Summary | ITEM | COMMENTS |
|--------|--------------|-------------|------|----------|
|--------|--------------|-------------|------|----------|

NOTE: Normal observation of exterior surfaces is from the ground using binoculars, as necessary. Inspector is not required to walk on roof nor to observe surfaces of chimneys, vents, roof or walls not visible from the ground. In addition, accessories, such as antennae, solar systems, lightning arresters, etc., are not included as part of this inspection.

ALSO: Per the scope of this inspection, this is a visual inspection, which may not detect concealed moisture conditions which could cause or be causing damage to the interiors of the walls, floors or ceilings.

| | | | |
|-----|---|---|--|
| | | | <u>Roof Style</u> <input checked="" type="checkbox"/> gable <input type="checkbox"/> hip <input checked="" type="checkbox"/> shed <input type="checkbox"/> mansard <input type="checkbox"/> other: <u>Roof Pitch</u> <input type="checkbox"/> steep <input checked="" type="checkbox"/> medium <input type="checkbox"/> low <input type="checkbox"/> flat <u>Estimated Layers of Roofing Shingles</u> <input checked="" type="checkbox"/> one <input type="checkbox"/> two <input type="checkbox"/> not determined <u>Method of Observation</u> <input type="checkbox"/> binoculars from ground – about ___% of the roof surface is visible and observed from the ground <u>Estimated Age:</u> 14-15 yrs. <input checked="" type="checkbox"/> from ladder <input checked="" type="checkbox"/> walked on roof <input type="checkbox"/> from interior |
| B01 | | X | <u>Roofing Materials</u> <input checked="" type="checkbox"/> asphalt shingle <input type="checkbox"/> metal <input type="checkbox"/> other: |
| B02 | | X | <u>Visible Flashings</u> |
| B03 | X | | <u>Fireplace Chimneys/Chimney Caps</u> <input type="checkbox"/> metal vent <input type="checkbox"/> masonry <input checked="" type="checkbox"/> framed <input type="checkbox"/> none |
| B04 | | X | <u>Vents & Skylights</u> |
| B05 | | X | <u>Eaves, Soffits, Fascia & Exterior Trim</u> |
| B06 | | X | <u>Moisture/Insect Damage</u> |
| B07 | | X | <u>Gutters & Downspouts</u> <input type="checkbox"/> none |
| B08 | X | | <u>Splashblocks, Extensions & Drains</u> <input type="checkbox"/> none |
| B09 | | X | <u>Walls (exterior cladding)</u> <input checked="" type="checkbox"/> brick <input type="checkbox"/> wood <input type="checkbox"/> composition <input type="checkbox"/> stucco (hardcoat) <input type="checkbox"/> EIFS (synthetic stucco) <input checked="" type="checkbox"/> fiber-cement <input type="checkbox"/> vinyl <input type="checkbox"/> other: |
| B10 | X | X | <u>Door & Window Frames</u> |
| B11 | X | | <u>Decks, Balconies & Porches</u> <input type="checkbox"/> none <input type="checkbox"/> bolted (n/a) <input type="checkbox"/> open deck flashed (n/a) |
| B12 | | | <u>Stairs & Railings</u> <input checked="" type="checkbox"/> none |
| B13 | X | X | <u>Paint/Caulking/Sealants</u> |

Section C

GARAGE & CARPORT

| Item # | Satisfactory | See Summary | ITEM | COMMENTS |
|--------|--------------|-------------|------|----------|
|--------|--------------|-------------|------|----------|

| | | | | |
|-----|---|---|----------------------------|--|
| C01 | X | X | <u>Ceiling & Walls</u> | <input checked="" type="checkbox"/> garage <input type="checkbox"/> carport <input type="checkbox"/> outside parking |
| C02 | | X | <u>Floor</u> | <input checked="" type="checkbox"/> settling cracks |
| C03 | X | X | <u>Door & Frame</u> | <input checked="" type="checkbox"/> car <input type="checkbox"/> vehicle doors |
| C04 | X | | <u>Opener(s)</u> | <input type="checkbox"/> none |
| C05 | X | | <u>Safety Reverse</u> | |

Section D

FOUNDATION & BASEMENT

| Item # | Satisfactory | See Summary | ITEM | COMMENTS |
|--|--------------|-------------|--|--|
| NOTE: Under-floor crawl spaces will be entered except when access is obstructed, property could be damaged by entry, or when dangerous or adverse conditions are suspected. | | | | |
| D01 | X | | <u>Foundation</u> <input checked="" type="checkbox"/> concrete <input type="checkbox"/> concrete block <input checked="" type="checkbox"/> slab <input type="checkbox"/> typical cracks <input type="checkbox"/> other: | |
| | | | <u>Basement</u> <input checked="" type="checkbox"/> none | Approximately ___% finished, this section of items below addresses only the <u>unfinished</u> areas |
| D02 | | | Walls & Sills | |
| D03 | | | Sub-floor | <input type="checkbox"/> not visible |
| D04 | | | Insulation | <input type="checkbox"/> under floor <input type="checkbox"/> walls <input type="checkbox"/> sills <input type="checkbox"/> none noted |
| D05 | | | Floor Structure | <input type="checkbox"/> joists & beams <input type="checkbox"/> wood I-joists <input type="checkbox"/> Trusses <input type="checkbox"/> other: |
| D06 | | | Posts & Piers Material | <input type="checkbox"/> 2x_ walls <input type="checkbox"/> metal <input type="checkbox"/> wood posts |
| D07 | | | Floor | <input type="checkbox"/> concrete <input type="checkbox"/> dirt <input type="checkbox"/> typical cracks |
| D08 | | | Evidence of Moisture/ Microbial Growth | |
| | | | <u>Crawl Space</u> <input checked="" type="checkbox"/> none | |
| D09 | | | Entry Location: | <input type="checkbox"/> entered <input type="checkbox"/> access limited |
| D10 | | | Walls & Sills | |
| D11 | | | Sub-floor | <input type="checkbox"/> not visible |
| D12 | | | Insulation | <input type="checkbox"/> under floor <input type="checkbox"/> walls <input type="checkbox"/> sills <input type="checkbox"/> none noted |
| D13 | | | Floor Structure | <input type="checkbox"/> joists & beams <input type="checkbox"/> wood I-joists <input type="checkbox"/> trusses <input type="checkbox"/> other: |
| D14 | | | Posts & Piers Material | <input type="checkbox"/> concrete block <input type="checkbox"/> concrete <input type="checkbox"/> wood posts |
| D15 | | | Ventilation | |
| D16 | | | Vapor Barrier | <input type="checkbox"/> none <input type="checkbox"/> poly <input type="checkbox"/> concrete |
| D17 | | | Floor | <input type="checkbox"/> concrete <input type="checkbox"/> dirt |
| D18 | | | Evidence of Moisture/ Microbial Growth | |

Section E

ATTIC

| Item # | Satisfactory | See Summary | ITEM | COMMENTS |
|--|--------------|-------------|--|----------|
| NOTE: Attic spaces will be entered except when access is obstructed, property could be damaged by entry, or when dangerous or adverse conditions are suspected. | | | | |
| E01 | X | X | <u>Access Locations:</u> Garage / Master Bedroom Closet <input checked="" type="checkbox"/> entered <input type="checkbox"/> access limited <input type="checkbox"/> none <input checked="" type="checkbox"/> pull-down <input type="checkbox"/> ceiling scuttle <input type="checkbox"/> wall entry <input type="checkbox"/> walk-up <input type="checkbox"/> walk-in | |
| E02 | X | | <u>Insulation Type</u> <input checked="" type="checkbox"/> loose fill <input checked="" type="checkbox"/> batt or roll <input type="checkbox"/> other Flat Ceiling Estimated Average Depth: 14-15 inches Estimated R-value: 38 per installers tag | |
| E03 | X | | <u>Framing</u> <input checked="" type="checkbox"/> trusses <input type="checkbox"/> rafters & joists | |
| E04 | X | | <u>Ventilation</u> <input type="checkbox"/> fan(s) <input type="checkbox"/> roof <input checked="" type="checkbox"/> gable <input checked="" type="checkbox"/> soffit <input checked="" type="checkbox"/> ridge | |
| E05 | X | | <u>Evidence of Rodents (no)</u> <input type="checkbox"/> nests <input type="checkbox"/> droppings <input type="checkbox"/> trampled insulation | |
| E06 | X | | <u>Evidence of Moisture/Leaks</u> None apparent. | |

Section F

KITCHEN & APPLIANCES

| Item # | Satisfactory | See Summary | ITEM <----- | COMMENTS ----->> | | | |
|--------|--------------|-------------|-------------------------------------|--|---|--|-----------------------------------|
| F01 | X | | <u>Cook</u> | <input type="checkbox"/> top | <input checked="" type="checkbox"/> stove | <input checked="" type="checkbox"/> gas | <input type="checkbox"/> electric |
| F02 | X | | <u>Oven(s)</u> | <input checked="" type="checkbox"/> part of stove | | <input type="checkbox"/> built-in | |
| F03 | X | | <u>Vent</u> | <input type="checkbox"/> recirculating | | <input checked="" type="checkbox"/> vented | <input type="checkbox"/> none |
| F04 | X | | <u>Microwave</u> | <input checked="" type="checkbox"/> built-in (tested only to heat water) | | <input type="checkbox"/> not installed | |
| F05 | X | | <u>Refrigerator</u> | <input type="checkbox"/> not installed | | | |
| F06 | | | <u>Compactor</u> (appears to cycle) | | | <input checked="" type="checkbox"/> none | |
| F07 | X | | <u>Sink & Faucet</u> | | | | |
| F08 | X | | <u>Sink Sprayer</u> | <input type="checkbox"/> none | | | |
| F09 | X | | <u>Disposer</u> (runs & drains) | <input type="checkbox"/> none | | | |
| F10 | X | | <u>Dishwasher</u> (cycles) | <input type="checkbox"/> none | | | |
| F11 | | | <u>Other:</u> | | | | |

Section G

GENERAL INTERIOR

| Item # | Satisfactory | See Summary | ITEM <----- | COMMENTS ----->> | | | |
|--|--------------|-------------|------------------------------|--------------------------------------|--|--------------------------------|---|
| NOTE: If this is an occupied home, floors, walls, windows, closets, cabinets, etc. may not be completely visible due to furnishings and other personal items which may not be moved by the inspector. Per the scope of inspection, this inspection is performed on an "as visible" basis. | | | | | | | |
| G01 | X | X | <u>Doors/Locks</u> | | | | |
| G02 | | X | <u>Windows/Screens</u> | <input type="checkbox"/> single pane | <input checked="" type="checkbox"/> thermal pane | <input type="checkbox"/> metal | <input type="checkbox"/> wood <input checked="" type="checkbox"/> vinyl |
| G03 | X | | <u>Floors</u> | | | | |
| G04 | | X | <u>Walls</u> | | | | |
| G05 | | X | <u>Ceilings</u> | | | | |
| G06 | X | | <u>Stairs & Railings</u> | <input type="checkbox"/> none | | | |
| G07 | X | | <u>Cabinets</u> | | | | |
| G08 | X | | <u>Countertops</u> | | | | |

Section H

ELECTRICAL

| Item # | Satisfactory | See Summary | ITEM <----- | COMMENTS ----->> |
|---|--------------|-------------|------------------------------------|--|
| H01 | X | | <u>Service Location</u> | <input type="checkbox"/> overhead <input checked="" type="checkbox"/> underground <input type="checkbox"/> front <input checked="" type="checkbox"/> right side <input type="checkbox"/> rear <input type="checkbox"/> left side |
| H02 | X | | <u>Meter Location</u> | <input type="checkbox"/> front <input checked="" type="checkbox"/> right side <input type="checkbox"/> rear <input type="checkbox"/> left side |
| H03 | X | | <u>Main Disconnect Location</u> | <input type="checkbox"/> inside <input type="checkbox"/> front <input checked="" type="checkbox"/> right side <input type="checkbox"/> rear <input type="checkbox"/> left side Service Disconnect Amperage Rating: <input type="checkbox"/> 100 <input type="checkbox"/> 125 <input checked="" type="checkbox"/> 150 <input type="checkbox"/> 200 Service Voltage: 120/240 <input type="checkbox"/> 100 <input type="checkbox"/> 125 <input checked="" type="checkbox"/> 150 <input type="checkbox"/> 200 Service Amperage: Service Conductor Material: <input checked="" type="checkbox"/> aluminum <input type="checkbox"/> copper |
| H04 | X | | <u>Grounding Location</u> | <input type="checkbox"/> water line <input type="checkbox"/> front <input checked="" type="checkbox"/> right side <input type="checkbox"/> rear <input type="checkbox"/> left side |
| H05 | X | | <u>Distribution Panel Location</u> | <input checked="" type="checkbox"/> garage <input type="checkbox"/> basement <input type="checkbox"/> hall <input type="checkbox"/> other: _____ |
| H06 | X | | <u>Branch Circuits</u> | <input checked="" type="checkbox"/> 120 volt <input type="checkbox"/> 240 volt |
| H07 | X | | <u>Branch Wiring</u> | <input checked="" type="checkbox"/> copper <input type="checkbox"/> aluminum (240 volt only) |
| H08 | X | | <u>GFCI/AFCI Protection</u> | <input type="checkbox"/> none, see Note below <input type="checkbox"/> none at kitchen, see Note below |
| <p>Note: The GFCI reset for the upstairs bathroom outlets is at the GFCI receptacle in the half bath.</p> <p>NOTE: Although they may not have been required at the time of construction or renovation and may be acceptable for age, GFCI-protected outlets or circuits are suggested for your safety at wet areas, such as: kitchen and bar counter outlets; bathrooms; hydro-massage tubs, garage, exterior, and unfinished basements and crawl spaces. New construction or renovated areas <u>require</u> GFCI protection at these locations.</p> <p>Locations where GFCI-protected outlets are controlled <input checked="" type="checkbox"/> kitchen <input checked="" type="checkbox"/> baths <input checked="" type="checkbox"/> hydro massage tub <input checked="" type="checkbox"/> garage <input checked="" type="checkbox"/> exterior <input type="checkbox"/> basement <input type="checkbox"/> crawl space <input type="checkbox"/> breaker(s) @ panel</p> <p>Locations which are GFCI protected <input checked="" type="checkbox"/> kitchen <input checked="" type="checkbox"/> baths <input checked="" type="checkbox"/> garage <input checked="" type="checkbox"/> exterior <input type="checkbox"/> basement <input type="checkbox"/> crawl space <input type="checkbox"/> hydro massage tub</p> | | | | |
| H09 | X | X | <u>Receptacles/</u> | |
| | | | <u>Cover-plates:</u> | |
| H10 | X | X | <u>Light Switches/</u> | |
| | | | <u>Fixtures/Ceiling Fans:</u> | |
| H11 | | X | <u>Smoke Detector(s)/</u> | <input type="checkbox"/> none <input checked="" type="checkbox"/> not tested |
| | | | <u>Carbon Monoxide</u> | |
| H12 | X | | <u>Exhaust Fan(s)</u> | <input type="checkbox"/> none |
| H13 | | | <u>Whole House Fan</u> | <input type="checkbox"/> speed <input type="checkbox"/> timer <input checked="" type="checkbox"/> none |
| H14 | X | | <u>Doorbell</u> | <input type="checkbox"/> none |

Section I

HEATING & AIR CONDITIONING

| Item # | Satisfactory | See Summary | ITEM | COMMENTS |
|--------|--------------|-------------|---------|----------|
| | | | <-----> | |

NOTE: If the exterior temperature is above 85 degrees F. or if the cooling system uses the same distribution system and is operating, the inspector is not required to activate heating, since this could cause damage to the equipment. If the exterior temperature is under 65 degrees F., or has been under 60 deg. F. during the last 24 hours, the inspector is not required to activate cooling, since this could cause damage to the equipment.

| | | | | | | |
|-----|---|----------|---|---|-----------------------------------|---------------------------------|
| | | | <u>Heating System Installed Location(s)</u> | <input checked="" type="checkbox"/> attic | <input type="checkbox"/> basement | <input type="checkbox"/> garage |
| | | | Manufacturer or Brand: | Trane (mn) Lennox (up) | Estimated Age: | 10 yrs. 15 yrs. |
| | | | Model Number: | TUE1B080A9481AC (mn) G40UH-36A-070-11 (up) | Serial Number: | 10253UC21G 5905L08409 |
| | | | Fuel: | <input checked="" type="checkbox"/> gas <input type="checkbox"/> electric | <input type="checkbox"/> other: | |
| | | | Distribution Type: | <input checked="" type="checkbox"/> forced air | <input type="checkbox"/> other: | |
| I01 | | X | Condition: | <input type="checkbox"/> operated <input checked="" type="checkbox"/> visual inspection only , see Note above | | |
| I02 | X | | Exhaust: | | | |
| I03 | | X | Operating Controls: | <input checked="" type="checkbox"/> operated only on cool | | |
| I04 | X | | Distribution Equipment: | | | |
| I05 | | X | Filter(s): | <input type="checkbox"/> electronic <input type="checkbox"/> re-usable <input checked="" type="checkbox"/> disposable: size 16x25 | | |

| | | | | |
|-----|---|--|---|--|
| | | | <u>Air Conditioning Outdoor Locations</u> | <input type="checkbox"/> front <input checked="" type="checkbox"/> right side <input type="checkbox"/> rear <input type="checkbox"/> left side |
| | | | Manufacturer or Brand: | Lennox (lft-up) Lennox (rt-mn) |
| | | | Tonage: | 2 ton (up) 2 ton (mn) |
| | | | Fuel: | <input checked="" type="checkbox"/> electric <input type="checkbox"/> other: |
| I06 | X | | Condition: | <input checked="" type="checkbox"/> operated <input type="checkbox"/> visual inspection only |
| I07 | X | | Condensate Lines & Pan: | |
| I08 | X | | Refrigerant Lines: | |
| I09 | X | | Temperature Differential | Unit 1 (up) 16 Unit 2 (mn) 15 Unit 3 |
| I10 | X | | Operating Controls: | <input type="checkbox"/> operated only on heat |
| I11 | | | Distribution and Filter Equipment (if separate from heating): | SEE "I04" and "I05" |

| | | | | |
|-----|---|----------|----------------------------|---|
| | | | <u>Fireplace Locations</u> | <input checked="" type="checkbox"/> family/living room <input type="checkbox"/> basement <input type="checkbox"/> bedroom <input type="checkbox"/> none |
| I12 | X | | Firebox: | <input type="checkbox"/> not fully visible due to debris, ashes or gas logs |
| I13 | | X | Flue: | <input type="checkbox"/> none needed <input checked="" type="checkbox"/> not fully visible |
| I14 | X | | Damper: | <input type="checkbox"/> none |
| I15 | X | | Gas Starter: | <input type="checkbox"/> none <input type="checkbox"/> gas logs installed <input checked="" type="checkbox"/> gas fuel only |
| I16 | X | | Hearth: | |

Section J

PLUMBING

| Item # | Satisfactory | See Summary | ITEM | COMMENTS |
|--------|--------------|-------------|---|---|
| | | | <u>Water Service</u> | |
| | | | Meter Location: | Front yard near street |
| | | | NOTE: Per the scope of inspection, underground or buried systems are not included as part of this inspection. Therefore, the underground water service line from the meter to the building was not observed, and no representation is made as to the material and condition of such piping. You may wish to inquire with the owner about the material or any maintenance or repairs. | |
| J01 | | | Piping Entering House: | <input type="checkbox"/> plastic/polybutylene <input type="checkbox"/> copper <input type="checkbox"/> galvanized <input checked="" type="checkbox"/> not visible |
| | | | Cutoff Location: | Meter / <u>Above the right side of the water heater</u> |
| J02 | X | | Piping Visible in House: | <input type="checkbox"/> plastic/polybutylene <input checked="" type="checkbox"/> copper <input type="checkbox"/> galvanized |
| | | | | <input type="checkbox"/> other: _____ |
| J03 | X | | Water Pressure/ Water Spigots: | _____ |
| | | | <u>Sewer Service</u> (see Note below) | |
| | | | NOTE: Per the scope of inspection, underground or buried systems are <u>not included</u> as part of this report and, therefore, the building sewer and disposal system was not inspected. If there is a possibility that this property has a private septic or cesspool, you may wish to inquire with the local Environmental Health Department to help determine the type of disposal system, location and description. If it is determined to have a private system, you may wish to inquire of the owner as to when the system was last pumped or serviced. | |
| J04 | X | | Piping in House: | <input checked="" type="checkbox"/> plastic <input type="checkbox"/> cast iron <input type="checkbox"/> other: _____ |
| J05 | | | Sump or Sewage Pump (presence only – not operated) | <input checked="" type="checkbox"/> none noted |
| | | | <u>Gas or Fuel Service Type:</u> | <input checked="" type="checkbox"/> natural gas <input type="checkbox"/> L/P gas <input type="checkbox"/> oil <input type="checkbox"/> none |
| | | | <input type="checkbox"/> tank or <input checked="" type="checkbox"/> meter location: | <input type="checkbox"/> front <input type="checkbox"/> right side <input type="checkbox"/> rear <input checked="" type="checkbox"/> left side |
| J06 | X | | Piping | _____ |
| | | | Water Heater(s) | <input checked="" type="checkbox"/> gas <input type="checkbox"/> electric |
| | | | Location: | <input type="checkbox"/> attic <input type="checkbox"/> basement <input checked="" type="checkbox"/> garage |
| | | | Manufacturer or Brand: | Rheem Estimated Age: New (2020) |
| | | | Size: | 50 gallons Serial #: Q012016859 Model #: PROG50-38NRH60 |
| J07 | X | | Condition: | _____ |
| J08 | X | | Exhaust: | _____ |
| J09 | X | | Relief Valve / Thermal Expansion Tank: | _____ |
| J10 | | X | <u>Laundry Area:</u> | <input checked="" type="checkbox"/> 240 volt (4-prong) <input type="checkbox"/> gas <input checked="" type="checkbox"/> vent available for dryer |
| J11 | X | X | <u>Sinks, Faucets, Showerheads & Valves:</u> | _____ |
| J12 | X | | <u>Commodes:</u> | _____ |
| J13 | X | X | <u>Tubs/Whirlpool:</u> | _____ |
| J14 | X | | <u>Caulking/Grouting</u> | _____ |
| J15 | X | | <u>Stall Shower / Shower Door:</u> | <input type="checkbox"/> none <input type="checkbox"/> tile floor <input checked="" type="checkbox"/> fiber-glass or plastic floor |

John Miller, Inspector

Certified ASHI Member #204047

Registered & Certified by SBCCI, One and Two-Family Dwelling Inspector, #4741

ICC Residential Combination Inspector #5188792-R5

EDI Certified EIFS and Stucco Inspector, #GA-17

****SUMMARY // DEFECTS PAGES ****

All references assume you are facing the home from the street.

MAJOR CONCERNS

(ITEMS THAT HAVE FAILED OR HAVE POTENTIAL OF FAILING SOON)

1. Moisture damage was present at the fascia boards below the corner joint in the gutter located above the right, front corner of the garage, at the fascia and soffit boards located above the left, corner of the front, center bedroom, at the wood trim located under the right side of the front porch roof, at the horizontal trim located above the right side of the front porch, at the fascia board located below the right and left sides of the upper gable on the front of the home, at the exterior trim located below the gable vent on the left side of the home, at the lower portion of the corner trim located at the back, right and left corners of the chimney chase, at the lower portion of the corner trim located above the small, shingled area on the right side of the chimney chase, at the bottom of the corner trim at the back, right corner of the home and at the bottom of the frame on the left side of the left, exterior French door in the rear wall of the breakfast area (see photos). A qualified contractor should evaluate the damaged wood and replace as needed.
2. The lower piece of glass is cracked in the center window in the rear wall of the master bedroom (see photo). The thermo seal appears to have failed inside the upper piece of glass in the window located on the right side of the fireplace in the family room (1) and inside the upper piece of glass in the left window in the front, center bedroom (1) – (the glass is fogged). A qualified contractor should replace the glass in these windows.
3. A qualified contractor should secure and re-apply the caulking along the top edge of the flashing located along the upper portion of the front porch roof to prevent future moisture entry (see photo).
4. A qualified contractor should seal the open gap in the shingles located above the left side of the gutter on the front porch roof to prevent future moisture damage to the roof decking (see photo).
5. A qualified contractor should seal the construction gaps along the soffit and frieze boards above the gable returns on the front of the home to prevent future insect/rodent entry into the attic areas (see photos for examples).
6. The gutter located on the right side of the chimney chase is pitched away from the downspout (see photo). A qualified contractor should evaluate and adjust as needed to prevent overflow during rains. Note: Several stains were present on the fascia board below this gutter.
7. The bottom corners of several pieces of fiber-cement siding are cracked on the left side of the home (see photo for example). A qualified contractor should evaluate the fiber-cement siding on the left side of the home and replace as needed.
8. The hot waterline was turned-off below the left sink in the master bathroom prior to the start of the inspection (did not turn-on). Please consult with the homeowner about this valve. If needed, a licensed plumber or qualified contractor should repair any issues with this waterline.

ITEMS NOT OPERATED/OPERATING

1. Did not test the gas furnaces due to the outside temperature and the a/c units being in operation during the inspection.
2. Did not evaluate the wash machine or dryer in the laundry room.
3. The bulbs appear to be burned-out under the microwave in the kitchen.
4. The blind is damaged on the right window in the rear wall of the master bedroom – replace as needed.

POTENTIAL SAFETY/HEALTH HAZARDS

1. The dryer in the laundry room vents out through the shingles on the front of the home. The inside of the dryer vent and the venthood attached to the dryer vent located above the shingles should be cleaned by a qualified contractor (see photo). Inactive moisture stains were present on the wall and ceiling above the backside of the dryer in the laundry room which appear to be related to condensation forming on the metal flue for the dryer vent located inside this wall cavity (see photos).
2. The dead-bolt lock is missing on the left, exterior French door in the rear wall of the breakfast area – re-install this lock for added safety.
3. Creosote build-up was present on the inside of the fireplace flue. A licensed chimney sweep should clean and perform a Level 1 inspection on the inside of this flue prior to use.
4. Eliminate the active wasp nest under the soffit above the right wall of the garage.
5. The insides of the jets/waterlines in the whirlpool tub should be cleaned **prior** to use and as part of routine maintenance (i.e. two tablespoons of granular dishwasher detergent).
6. Install the missing nails in the metal support plate for the hinge located on the right and left sides of the pull-down stairs and the missing nails in the metal support plates located above the legs on the pull-down stairs to the attic.
7. Recommend installing a carbon monoxide detector on each level of the home.
8. Replace the batteries in the smoke detectors on a yearly basis and recommend installing a smoke detector in each bedroom.

DEFERRED COST ITEMS

ITEMS THAT HAVE REACHED OR ARE REACHING THEIR NORMAL LIFE EXPECTANCY OR SHOW INDICATIONS THAT THEY MAY REQUIRE REPAIR OR REPLACEMENT ANYTIME **WITHIN THE NEXT FIVE (5) YEARS.**

- A/C Units (compressors and evaporator coils) – (15 yrs. each)
- Upstairs Furnace (15 yrs.)
- Shingles (14-15 yrs.)

ADDITIONAL COMMENTS

1. Water appears to pond in the soil near the gates in the fence at the back, left corner of the home during rains (see photo). Recommend having this area evaluated by a qualified landscaping contractor (i.e. install a catch basin in the soil).
2. Trim all tree limbs and bushes away from the right side of the home as needed and as part of routine maintenance.
3. A licensed roofer or qualified contractor should install kick-out flashing under the last piece of roof flashing above the gutter on the right and left sides of the chimney chase to prevent water from draining between the gutter and the siding during rains (see photos).
4. A qualified contractor should apply the missing mortar along the horizontal joint in the brick veneer cladding below the exterior light fixture located above the garage door (see photo) – monitor in the future.
5. Remove the abandoned wasp nests inside the venthood located outside the back, right corner of the kitchen so that the damper inside this venthood can open properly (this venthood is attached to the flue for the exhaust fan above the microwave in the kitchen) – (see photo).
6. The insides of the gutters and downspouts should be cleaned prior to closing and as part of routine maintenance.
7. Re-apply the caulking along the butt joints in the fiber-cement siding prior to re-painting the siding.
8. Caulking is needed along the right and left sides of the threshold below the exterior French doors in the rear wall of the breakfast area.
9. Screens were not installed on the majority of the windows at the time of the inspection.
10. The lower portion of the screen is damaged on the window above the kitchen sink – replace as needed.
11. Recommend sealing the drilled hole in the center portion of the lower panel on the garage door to help prevent future insect entry and increase efficiency (see photo).
12. Impact damage was present in the lower portion of the sheetrock at the right wall of the garage, which is cosmetic in nature (see photo).
13. Recommend sealing the settling cracks in the garage floor to allow for monitoring in the future.
14. The homeowner indicated that the GFCI receptacles on the exterior and interior of the home trip periodically by themselves and several of these receptacles were tripped **prior** to the inspection. Recommend having the GFCI receptacles evaluated by a licensed electrician.
15. The weather-stripping is displaced along the left side of the window located on the right side of the fireplace in the family room (see photo) – secure as needed.
16. Replace the damaged weather-stripping along the right side of the door from the garage to the home.
17. Note: A lock is missing on the door to the water closet in the master bathroom.
18. Repair the leak at the showerhead connection to the showerarm in the upstairs hall bathroom.
19. Note: The tank on the commode in the master bathroom was installed at an angle, which is cosmetic in nature (see photo).
20. The ceiling fan in the front, center bedroom vibrates when it's turned-on. A qualified contractor should evaluate and repair as needed.

21. Recommend installing an insulated boot or cover above the pull-down stairs to the attic to help increase efficiency in the home.
22. Recommend having the hvac systems serviced by a licensed hvac contractor prior to closing (filters replaced, blower motors cleaned, refrigerant level in the a/c units checked, etc...).

Items listed in this report may have inadvertently been left off the Summary/Defects Page(s). Client should read the **entire** report.

PICTURES



Moisture damage was present at the fascia boards below the corner joint in the gutter located above the right, front corner of the garage.



Moisture damage was present at the fascia and soffit boards located above the left, corner of the front, center bedroom.



Moisture damage was present at the wood trim located under the right side of the front porch roof.



Moisture damage was present at the horizontal trim located above the right side of the front porch.



Moisture damage was present at the fascia board located below the right and left sides of the upper gable on the front of the home.



Moisture damage was present at the exterior trim located below the gable vent on the left side of the home.



Moisture damage was present at the lower portion of the corner trim located at the back, right and left corners of the chimney chase.



Moisture damage was present at the lower portion of the corner trim located above the small, shingled area on the right side of the chimney chase.



Moisture damage was present at the bottom of the corner trim at the back, right corner of the home.



Moisture damage was present at the bottom of the frame on the left side of the left, exterior French door in the rear wall of the breakfast area.



The lower piece of glass is cracked in the center window in the rear wall of the master bedroom.



A qualified contractor should secure and re-apply the caulking along the top edge of the flashing located along the upper portion of the front porch roof to prevent future moisture entry.



A qualified contractor should seal the open gap in the shingles located above the left side of the gutter on the front porch roof to prevent future moisture damage to the roof decking.



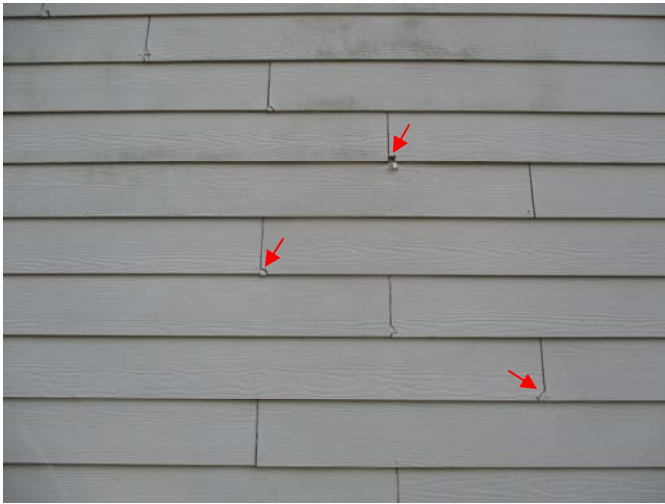
A qualified contractor should seal the construction gaps along the soffit and frieze boards above the gable returns on the front of the home to prevent future insect/rodent entry into the attic areas.



A qualified contractor should seal the construction gaps along the soffit and frieze boards above the gable returns on the front of the home to prevent future insect/rodent entry into the attic areas.



The gutter located on the right side of the chimney chase is pitched away from the downspout.



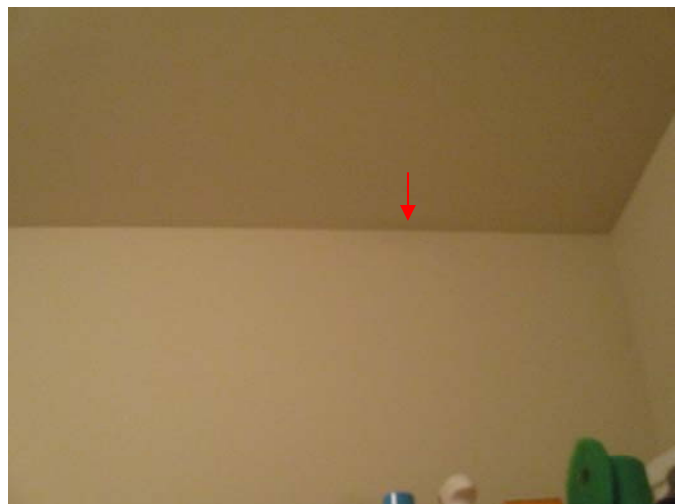
The bottom corners of several pieces of fiber-cement siding are cracked on the left side of the home.



The dryer in the laundry room vents out through the shingles on the front of the home. The inside of the dryer vent and the venthood attached to the dryer vent located above the shingles should be cleaned by a qualified contractor.



Inactive moisture stains were present on the wall above the backside of the dryer in the laundry room.



Inactive moisture stains were present on the ceiling above the backside of the dryer in the laundry room.



Water appears to pond in the soil near the gates in the fence at the back, left corner of the home during rains.



A licensed roofer or qualified contractor should install kick-out flashing under the last piece of roof flashing above the gutter on the right side of the chimney chase to prevent water from draining between the gutter and the siding during rains.



A licensed roofer or qualified contractor should install kick-out flashing under the last piece of roof flashing above the gutter on the left side of the chimney chase to prevent water from draining between the gutter and the siding during rains.



A qualified contractor should apply the missing mortar along the horizontal joint in the brick veneer cladding below the exterior light fixture located above the garage door.



Remove the abandoned wasp nests inside the venthood located outside the back, right corner of the kitchen so that the damper inside this venthood can open properly (this venthood is attached to the flue for the exhaust fan above the microwave in the kitchen).



Recommend sealing the drilled hole in the center portion of the lower panel on the garage door to help prevent future insect entry and increase efficiency.



Impact damage was present in the lower portion of the sheetrock at the right wall of the garage, which is cosmetic in nature.



The weather-stripping is displaced along the left side of the window located on the right side of the fireplace in the family room.



The tank on the commode in the master bathroom was installed at an angle, which is cosmetic in nature.



The shut-off valve on the main waterline is located above the right side of the water heater in the garage.