



Inspection Report

Suzanne Lim

Property Address:
881 Little Lost Landing NW
Suwanee GA 30024



Residential Inspector of America

Michael Gonzalez
3276 Buford Drive
Ste. 104-306
Buford, GA 30519

Table of Contents

[Cover Page.....1](#)

[Table of Contents.....2](#)

[Intro Page3](#)

[Summary.....4](#)

[1 Exterior.....9](#)

[2 Garage17](#)

[3 Structural Components18](#)

[4 Roofing.....19](#)

[5 Insulation and Ventilation22](#)

[6 Heating / Central Air Conditioning.....24](#)

[7 Electrical System29](#)

[8 Plumbing System.....32](#)

[9 Interiors37](#)

[10 Built-In Kitchen Appliances40](#)

Date: 9/1/2020	Time: 09:00:00 AM	Report ID: 090120MG1042
Property: 881 Little Lost Landing NW Suwanee GA 30024	Customer: Suzanne Lim	Real Estate Professional: Allison Kloster Harry Norman - 7855 North Point Parkway

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90 Day Mold Warranty 90 Day Main Sewer/Water Line Warranty

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RIA's home inspections are completed in accordance with the American Society of Home Inspectors Standards of Practice (ASHI), your RIA Inspection Agreement, and other RIA Terms & Conditions that are viewable by clicking [HERE](#) or by requesting an emailed copy. Please be sure that you fully read and understand these items. If an item is not listed in this report as "Inspected", then it is not part of this inspection and you should have the item further evaluated prior to your closing.

INSPECTED: The condition of the item at the time of inspection was evaluated and any necessary comments will be made in this report.

NOT INSPECTED: The item was not inspected for reasons noted in this report. If concerns exist regarding "Not Inspected" items, further evaluation is recommended.

REPAIR/REPLACE: The item is in need of repair, replacement, further evaluation by a specialist, or is of concern to the inspector.

NOT PRESENT: The item is not present in this home.

Standards of Practice:

ASHI American Society of Home Inspectors

In Attendance:

Customer and their agent

Type of building:

Single Family (2 story)

Approximate age of building:

Over 15 Years

Temperature:

Over 75

Weather:

Clear

Summary



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3276 Buford Drive
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This report may contain videos which can be seen by clicking the link on Page 3.

The items listed below are in need of repair, replacement, further evaluation, or are safety issues. All concerns related to items in this summary or throughout this report should be resolved prior to closing. If applicable, RIA can complete a re-inspection of completed repairs, moisture testing on stucco, mold testing, and radon gas testing. Please call our office or click [HERE](#) for more information. If LEFT and RIGHT directions are given in this summary, it is determined by facing the front of the home from the exterior.

1. Exterior


1.1 EXTERIOR SIDING

Repair or Replace


-  (1) Recommend to seal around all exterior light fixtures where they meet the siding of the home to prevent potential water entry.
-  (2) Kick out flashing is needed were gutters terminate on siding. Kick out flashing directs water into the gutter preventing damage and staining to the siding below the gutters. Repair is needed by a siding professional.
-  (3) There is a step crack in the brick veneer above the breakfast area window. This is not a structural concern. Recommend to have this area sealed as needed. See photo(s) for location.

1.2 DOORS (Exterior)








Repair or Replace

- 
- Recommend to seal the gap between the siding and the threshold of the exterior doors. Seal all miters where the brick mold meets the threshold to ensure that the area is water tight.




1.3 WINDOWS**Repair or Replace**

- 
- There is a loose trim piece along the bottom of the front window over the side entry. Repair as needed.

1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS**Repair or Replace**


- 
- (1) Mold growth was observed in the storage room under the rear deck. This area should be cleaned by a mold abatement professional and ventilation improved.
-
- 
- (2) Cracks on the rear deck slab are not wide enough to be considered a structural concern and are due to normal settlement and shrinkage of the concrete. Have patched as needed. This area should be periodically monitored to ensure that damage is not occurring to the surfaces underneath.
-
- 
- (3) Recommend to re-point all open mortar joints at the front walkway. This will help prevent further deterioration. See photo(s).
-
- 
- (4) Recommend to Install a handrail for the front porch steps. Hand rails are recommended for steps/landings that are 30 inches above the ground or with four or more risers.
-
- 
- (5) Recommend to secure the loose guard rail(s) on the front porch. This will help prevent accidental trip or fall.
-
- 
- (6) A guardrail should be considered to prevent children from accidental fall at the front side entry. Any wall 30 inches or higher should have a guardrail.
-
- 
- (7) Insect damage and some areas of moisture decay were observed on the rear deck columns. Repair is needed.

1.5 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS**Repair or Replace**


- 
- (1) There is a negative slope at the front of home and can cause or contribute to water intrusion or deterioration. Recommend correcting landscape to drain water away from home. Acceptable standards call for soil levels to drop a minimum of 6 inches in the first 10 feet away from the home.
-
- 
- (2) The tree limbs that are in contact with roof or hanging near roof at the front of home and should be trimmed away. This will help prevent against rodent entry into the attic. See elevation photos for location.
-
- 
- (3) The lock for the gate at the end of the driveway is damaged. Repair as needed.

4. Roofing


4.0 ROOF COVERINGS**Repair or Replace**

- 
- The shingles on the roof are showing signs of aging, damaged shingles were observed at the front and rear of the home, and there is an excess of granular material in the gutters. It is recommended that a roofing contractor further evaluate this situation.

4.3 GUTTERS & DOWNSPOUTS**Repair or Replace**

- 
- The gutter seam at the at several locations around the perimeter of the home were leaking at time of inspection. Recommend to have area properly sealed to help correct this issue. See photo(s) for location.


4.4 WATER ENTRY IN ATTIC**Repair or Replace**

- 
- Water stains and possible slight damage noted on roof decking at multiple locations in the attic. Roofer will need to evaluate roof and ensure that the roof covering is water tight. Even though these areas may not have been wet during this inspection, it is possible that outdoor and weather conditions could change and cause leaks to become active again. See photo(s) for location(s). There are some stains in the front bedroom that could indicate roof leaks are current.

5. Insulation and Ventilation

5.2 VENTILATION OF ATTIC AND FOUNDATION AREAS




Repair or Replace

-  Many of the soffit vents have been undercut or were not cut at all creating inadequate ventilation for the attic. If the attic becomes too hot then the shingles may overheat prematurely. Increasing the ventilation to promote/maintain the life expectancy of the roof covering will be beneficial. Recommend to have roofing contractor inspect for further evaluation and make necessary repairs. See photo(s).

6. Heating / Central Air Conditioning




6.0 HEATING EQUIPMENT

Repair or Replace

-  (1) Have an HVAC tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the HVAC system are concealed from view, and our inspection is visual and is intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct system, since it is not visible. Therefore, an HVAC tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.
-  (2) The typical life span of heating equipment is 15-20 years. Systems that fall within this age range may require repairs or replacement in the near future. An HVAC contractor should examine.
-  (3) The "T" connector for the furnace gas line is installed horizontally. This was permitted when the home was built, however, does not meet current standards and the gas company may not turn on the gas with the current gas line configuration. Recommend to have an HVAC contractor examine and repair as needed. See photo





6.5 GAS FIRELOGS AND FIREPLACES

Repair or Replace

-  (1) The basement fireplace would not start. Have the seller demonstrate proper operation.
-  (2) Gas could not be detected at the patio fire pit. Repair as needed.
-  (3) The chimney flue in the keeping room was filled with creosote (soot) and will likely need to be cleaned. Recommend to have a licensed chimney sweep clean and inspect for safety prior to use.

6.6 COOLING AND AIR HANDLER EQUIPMENT


Repair or Replace





-  (1) The typical life expectancy of a/c units is 8-15 years. Systems that fall within this age range may require repairs or replacement in the near future. An HVAC contractor should examine.
-  (2) The air conditioner for the upper level did operate but failed to produce adequate cold air. Have a licensed HVAC contractor inspect and repair as needed.
-  (3) Re-insulate the open portions of the A/C lines between the unit and the siding. This will help maintain energy efficiency.
-  (4) All the vegetation around the air-conditioners should be trimmed back. Manufacturers recommend 2 feet of clearance for maximum efficiency.

7. Electrical System

7.5 OUTLETS & LIGHT FIXTURES


Repair or Replace

-  (1) All the receptacles in the master bedroom tested as having an open neutral. This condition needs to be repaired by a licensed electrical professional.

-  (2) The two receptacles on the left side of the dining room did not have power when tested. This should be repaired by licensed electrical professional.
-  (3) The 3-way switch is not wired correctly for light in the Garage side hallway. Both switches currently need to be in 'on' position for light to work. Have this corrected by an electrician.
-  (4) The light fixture in the keeping room and in the master bathroom are being supported by the electrical wire. The chain should be shortened to avoid tension on the electrical wire.
-  (5) There were several light fixtures throughout the home that did not operate. Replace all bulbs were needed, repair if needed.

7.6 OPERATION OF GFCI & OR AFCI


Repair or Replace

-  GFCI protection is missing in the garage and in the kitchen. All receptacles in these areas should be GFCI protected. The breaker in the electrical panel is mislabeled. Repair is needed by a licensed electrical professional.

8. Plumbing System






8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Repair or Replace

-  (1) The water pressure was tested at the rear exterior faucet and measured 120 Psi. Homes should maintain between 40-80 Psi. The current water pressure is elevated. The Pressure Reducing Valve (PRV) may need to be adjusted or replaced..






8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

Repair or Replace

-  (1) The drain gasket under the laundry room sink is damaged. The area was dry, but indications are that it has leaked in the past. Repair as needed.
-  (2) The faucet for the life side half bathroom and the left sink in the master bathroom did not have hot water when tested. Indications are that the shut off valves are in the off position. Turning on these shut off valves is beyond the scope of the inspection. Recommend evaluation by a licensed plumbing professional.
-  (3) Recommend to reset the loose toilet to the floor in the master bath and the bathroom for the front left bedroom. This will help ensure that the floor flange is not damaged and the wax ring is not leaking.
-  (4) The pump for the Jacuzzi is not grounded. When a grounding lug is provided by the manufacturer a ground wire should be installed. Recommend repair by licensed electrical professional.
-  (5) The hoses for the Jacuzzi tub are visibly dirty. Recommend having the system cleaned as needed.

8.3 WATER HEATER


Repair or Replace

-  (1) Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age.
-  (2) Recommend to install a drain pan under the water heater to prevent water damage to the surrounding areas. This pan should be piped to a safe location or to the exterior. In this case the floor drains could be utilized.
-  (3) Secure the loose hood vent to the water heater in the basement. This is necessary to prevent carbon monoxide from entering the home.
-  (4) The water heater on the right side of the basement is leaking at the drain. Repair as needed.
-  (5) The water heater is located in the basement. This is for your information.


9. Interiors

9.2 FLOORS



Repair or Replace

-  The rear bay area of the family room was excessively squeaky. Have this condition evaluated by flooring professional.


9.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS**Repair or Replace**

-  The flip top portion of the basement bar countertop is out of alignment. Adjust as needed.

9.6 WINDOWS**Repair or Replace**



-  (1) Recommend to replace the cracked glass window in the Laundry room.
-  (2) The hand cranks on several windows were loose. Repair is needed.

9.8 PESTS**Repair or Replace**

-  There is evidence of rodent activity in the attic. Have this situation further evaluated by nuisance wildlife control operator and have all areas of the home sealed off.

10. Built-In Kitchen Appliances

10.0 DISHWASHER**Repair or Replace**

-  (1) Make the dishwasher operational. It would not test at time of inspection.
-  (2) The drain line for the dishwasher is not installed properly. This line should loop above the sink drain line to prevent potential garbage and debris from entering in to the dishwasher. Have appliance repair man inspect and make necessary repairs. See photo.

10.3 GARBAGE DISPOSAL**Repair or Replace**

-  Recommend to make the basement garbage disposal operational. It would not test at the time of the inspection.

10.5 OTHER**Repair or Replace**

-  The icemaker in the basement was leaking at the time of inspection. Repair as needed.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Michael Gonzalez

1. Exterior

Styles & Materials

Siding Material:

- Brick veneer
- Stone veneer

Items

1.0 ELEVATION PHOTOS

Comments: Inspected

Elevation photos.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



1.0 Item 6(Picture)



1.0 Item 7(Picture)

1.1 EXTERIOR SIDING

Comments: Repair or Replace

🔧 (1) Recommend to seal around all exterior light fixtures where they meet the siding of the home to prevent potential water entry.



1.1 Item 1(Picture)

🔧 (2) Kick out flashing is needed were gutters terminate on siding. Kick out flashing directs water into the gutter preventing damage and staining to the siding below the gutters. Repair is needed by a siding professional.



1.1 Item 2(Picture)



1.1 Item 3(Picture)

🔧 (3) There is a step crack in the brick veneer above the breakfast area window. This is not a structural concern. Recommend to have this area sealed as needed. See photo(s) for location.



1.1 Item 4(Picture)

1.2 DOORS (Exterior)

Comments: Repair or Replace

🔧 Recommend to seal the gap between the siding and the threshold of the exterior doors. Seal all miters where the brick mold meets the threshold to ensure that the area is water tight.



1.2 Item 1(Picture)

1.3 WINDOWS

Comments: Repair or Replace

🔧 There is a loose trim piece along the bottom of the front window over the side entry. Repair as needed.



1.3 Item 1(Picture)

1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Comments: Repair or Replace

🔧 (1) Mold growth was observed in the storage room under the rear deck. This area should be cleaned by a mold abatement professional and ventilation improved.



1.4 Item 1(Picture)

🔧 (2) Cracks on the rear deck slab are not wide enough to be considered a structural concern and are due to normal settlement and shrinkage of the concrete. Have patched as needed. This area should be periodically monitored to ensure that damage is not occurring to the surfaces underneath.



1.4 Item 2(Picture)

🔧 (3) Recommend to re-point all open mortar joints at the front walkway. This will help prevent further deterioration. See photo(s).



1.4 Item 3(Picture)

🔧 (4) Recommend to Install a handrail for the front porch steps. Hand rails are recommended for steps/landings that are 30 inches above the ground or with four or more risers.



1.4 Item 4(Picture)

🔧 (5) Recommend to secure the loose guard rail(s) on the front porch. This will help prevent accidental trip or fall.

🔧 (6) A guardrail should be considered to prevent children from accidental fall at the front side entry. Any wall 30 inches or higher should have a guardrail.

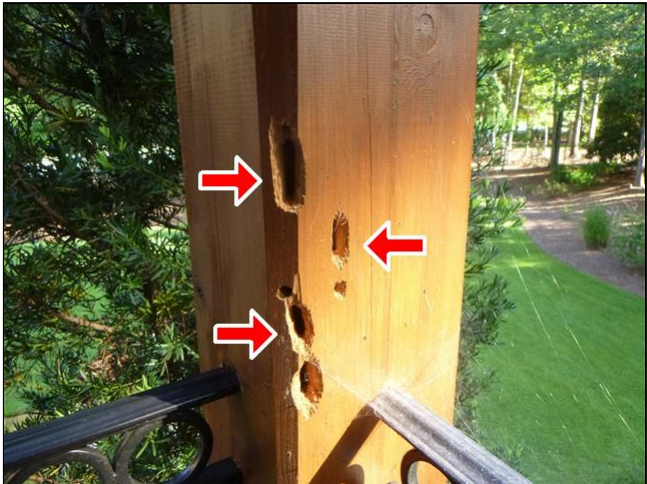


1.4 Item 5(Picture)

(7) Insect damage and some areas of moisture decay were observed on the rear deck columns. Repair is needed.



1.4 Item 6(Picture)



1.4 Item 7(Picture)

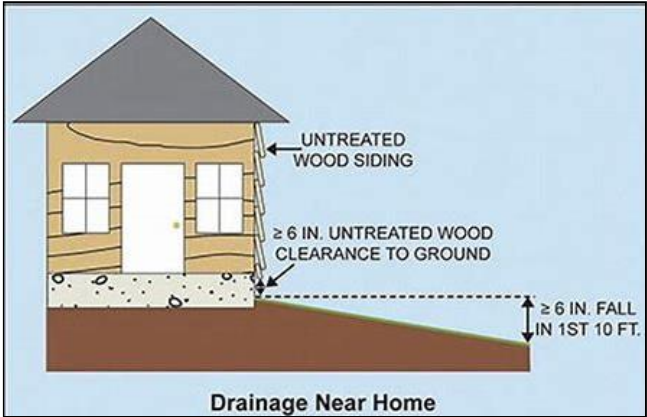
1.5 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

Comments: Repair or Replace

(1) There is a negative slope at the front of home and can cause or contribute to water intrusion or deterioration. Recommend correcting landscape to drain water away from home. Acceptable standards call for soil levels to drop a minimum of 6 inches in the first 10 feet away from the home.



1.5 Item 1(Picture)



1.5 Item 2(Picture)

🔧 (2) The tree limbs that are in contact with roof or hanging near roof at the front of home and should be trimmed away. This will help prevent against rodent entry into the attic. See elevation photos for location.



1.5 Item 3(Picture)

🔧 (3) The lock for the gate at the end of the driveway is damaged. Repair as needed.



1.5 Item 4(Picture)

1.6 EAVES, SOFFITS AND FASCIAS

Comments: Inspected

1.7 EXTERIOR WOOD TRIM

Comments: Inspected

2. Garage

Items

- 2.0 GARAGE CEILINGS

Comments: Inspected
- 2.1 GARAGE WALLS

Comments: Inspected
- 2.2 GARAGE FLOOR

Comments: Inspected
- 2.3 GARAGE VEHICLE DOOR(s)

Comments: Inspected
- 2.4 GARAGE DOOR VEHICLE OPENER(s)

Comments: Inspected
- 2.5 OCCUPIANT DOOR FROM THE INSIDE OF THE HOME TO THE GARAGE

Comments: Inspected

3. Structural Components

Styles & Materials

Foundation: Poured concrete Basement	Columns or Piers: Supporting walls	Roof Structure: 2 X 6 Rafters OSB Sheathing
Method used to observe attic: From entry		

Items

3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected

3.1 WALLS (Structural)

Comments: Inspected

3.2 COLUMNS OR PIERS

Comments: Inspected

3.3 FLOORS (Structural)

Comments: Inspected

3.4 CEILINGS (structural)

Comments: Inspected

3.5 ROOF STRUCTURE AND ATTIC

Comments: Inspected

4. Roofing


Styles & Materials

Roof Material:	Viewed roof material from:
3-Tab asphalt/fiberglass	Ground
	Window

Items

4.0 ROOF COVERINGS

Comments: Repair or Replace

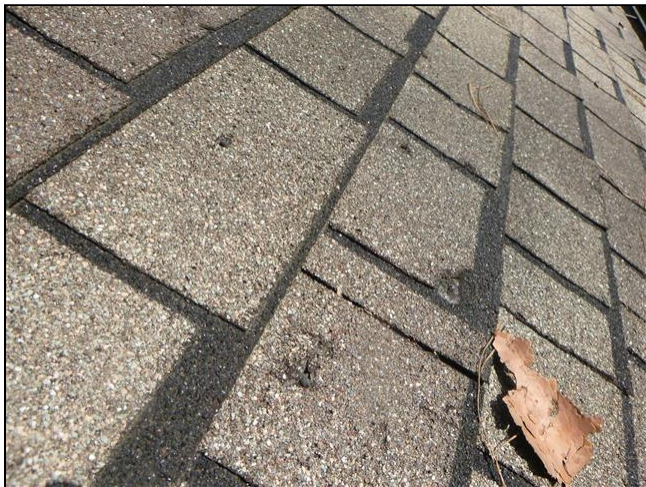
 The shingles on the roof are showing signs of aging, damaged shingles were observed at the front and rear of the home, and there is an excess of granular material in the gutters. It is recommended that a roofing contractor further evaluate this situation.



4.0 Item 1(Picture)



4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)

4.1 FLASHINGS

Comments: Inspected

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

4.3 GUTTERS & DOWNSPOUTS

Comments: Repair or Replace

🔧 The gutter seam at the at several locations around the perimeter of the home were leaking at time of inspection. Recommend to have area properly sealed to help correct this issue. See photo(s) for location.



4.3 Item 1(Picture)

4.4 WATER ENTRY IN ATTIC

Comments: Repair or Replace

🔧 Water stains and possible slight damage noted on roof decking at multiple locations in the attic. Roofer will need to evaluate roof and ensure that the roof covering is water tight. Even though these areas may not have been wet during this inspection, it is possible that outdoor and weather conditions could change and cause leaks to become active again. See photo(s) for location(s). There are some stains in the front bedroom that could indicate roof leaks are current.



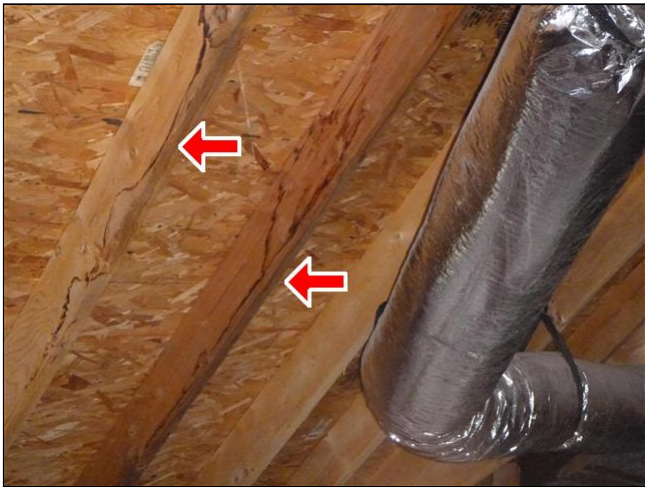
4.4 Item 1(Picture)



4.4 Item 2(Picture)



4.4 Item 3(Picture)



4.4 Item 4(Picture)



4.4 Item 5(Picture)



4.4 Item 6(Picture)

5. Insulation and Ventilation

Styles & Materials

Attic Insulation:	Roof Ventilation:
Approximate 12-14"	Gable vents
Blown	Ridge vents
Fiberglass	Soffit Vents

Items

5.0 INSULATION IN ATTIC


Comments: Inspected

5.1 INSULATION BETWEEN FLOOR JOISTS IN BASEMENT OR CRAWL SPACE

Comments: Inspected

5.2 VENTILATION OF ATTIC AND FOUNDATION AREAS

Comments: Repair or Replace

 Many of the soffit vents have been undercut or were not cut at all creating inadequate ventilation for the attic. If the attic becomes too hot then the shingles may overheat prematurely. Increasing the ventilation to promote/maintain the life expectancy of the roof covering will be beneficial. Recommend to have roofing contractor inspect for further evaluation and make necessary repairs. See photo(s).



5.2 Item 1(Picture)



5.2 Item 2(Picture)



5.2 Item 3(Picture)

5.3 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS

Comments: Inspected

6. Heating / Central Air Conditioning

Styles & Materials

Heating Equipment Type: Forced Air Heat Pump Forced Air (also provides cool air)	Heating Equipment Age: 2003 2006	Number of Heat Systems (excluding wood): Four
Heat Temp: The upper level heat read 122 degrees. The main level heat read 117 degrees. The basement level heat read 110 degrees. Extra Info : the heating system for the master bedroom read 150°.	Operable Fireplaces: Four	Cooling Equipment Type: Central forced Air A/C Heat Pump Forced Air (also provides warm air)
Cooling Equipment Age: 2003 2004 2007	Number of AC Only Units: Four	A/C Temp: The basement A/C read 58 degrees The main level A/C 58 degrees. The upper level A/C would not cool properly at the time of the inspection. The master bedroom A/C read 54 degrees.
Basement HVAC: Seperate system		

Items

6.0 HEATING EQUIPMENT
Comments: Repair or Replace

🔧 (1) Have an HVAC tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the HVAC system are concealed from view, and our inspection is visual and is intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct system, since it is not visible. Therefore, an HVAC tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.



6.0 Item 1(Picture)

🔧 (2) The typical life span of heating equipment is 15-20 years. Systems that fall within this age range may require repairs or replacement in the near future. An HVAC contractor should examine.

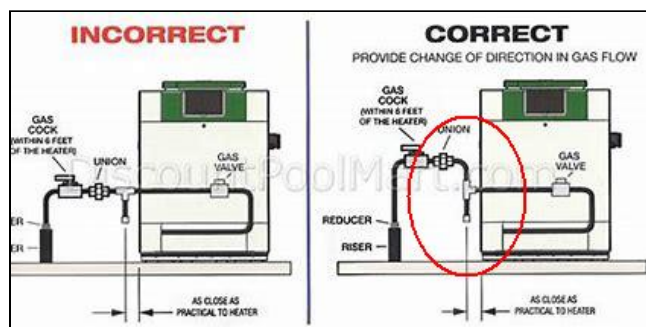
🔧 (3) The "T" connector for the furnace gas line is installed horizontally. This was permitted when the home was built, however, does not meet current standards and the gas company may not turn on the gas with the current gas line configuration. Recommend to have an HVAC contractor examine and repair as needed. See photo



6.0 Item 2(Picture)



6.0 Item 3(Picture)



6.0 Item 4(Picture)

6.1 NORMAL OPERATING CONTROLS/ THERMOSTAT

Comments: Inspected

6.2 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

6.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Comments: Inspected

6.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

6.5 GAS FIRELOGS AND FIREPLACES

Comments: Repair or Replace

🔧 (1) The basement fireplace would not start. Have the seller demonstrate proper operation.

🔧 (2) Gas could not be detected at the patio fire pit. Repair as needed.

🔧 (3) The chimney flue in the keeping room was filled with creosote (soot) and will likely need to be cleaned. Recommend to have a licensed chimney sweep clean and inspect for safety prior to use.

6.6 COOLING AND AIR HANDLER EQUIPMENT

Comments: Repair or Replace

🔧 (1) The typical life expectancy of a/c units is 8-15 years. Systems that fall within this age range may require repairs or replacement in the near future. An HVAC contractor should examine.

🔧 (2) The air conditioner for the upper level did operate but failed to produce adequate cold air. Have a licensed HVAC contractor inspect and repair as needed.

🔧 (3) Re-insulate the open portions of the A/C lines between the unit and the siding. This will help maintain energy efficiency.



6.6 Item 1(Picture)

🔧 (4) All the vegetation around the air-conditioners should be trimmed back. Manufacturers recommend 2 feet of clearance for maximum efficiency.



6.6 Item 2(Picture)

(5) Photo(s) of A/C unit(s).



6.6 Item 3(Picture)



6.6 Item 4(Picture)



6.6 Item 5(Picture)



6.6 Item 6(Picture)



6.6 Item 7(Picture)



6.6 Item 8(Picture)

6.7 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

7. Electrical System

Styles & Materials

Panel capacity: (2) 200 AMP service panel	Panel Type: Circuit breakers	Wiring Methods: Non-metallic Sheathed Cable
Branch wire 15 and 20 AMP: Copper		

Items

7.0 SERVICE ENTRANCE CONDUCTORS & MAIN DISCONNECT BREAKER

Comments: Inspected

7.1 SERVICE GROUNDING

Comments: Inspected

7.2 PANEL BOX & SUB-PANEL

Comments: Inspected

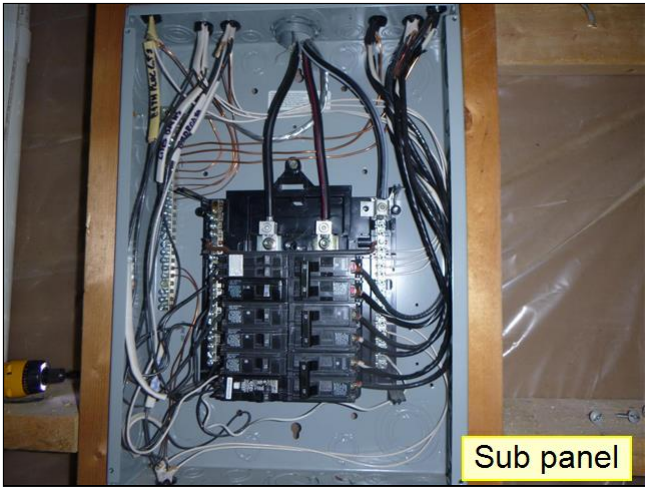
7.3 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected

The main panel box is located at the basement. However, the main disconnect (shut-off) is outside at meter base panel (for your information). Panel was inspected for function (not code compliance) and building codes and standards have changed over the years.



7.3 Item 1(Picture)



7.3 Item 2(Picture)



7.3 Item 3(Picture)

7.4 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Comments: Inspected

7.5 OUTLETS & LIGHT FIXTURES

Comments: Repair or Replace

🔧 (1) All the receptacles in the master bedroom tested as having an open neutral. This condition needs to be repaired by a licensed electrical professional.



7.5 Item 1(Picture)

🔧 (2) The two receptacles on the left side of the dining room did not have power when tested. This should be repaired by licensed electrical professional.

🔧 (3) The 3-way switch is not wired correctly for light in the Garage side hallway. Both switches currently need to be in 'on' position for light to work. Have this corrected by an electrician.

🔧 (4) The light fixture in the keeping room and in the master bathroom are being supported by the electrical wire. The chain should be shortened to avoid tension on the electrical wire.



7.5 Item 2(Picture)

🔧 (5) There were several light fixtures throughout the home that did not operate. Replace all bulbs were needed, repair if needed.

7.6 OPERATION OF GFCI & OR AFCI

Comments: Repair or Replace

🔧 GFCI protection is missing in the garage and in the kitchen. All receptacles in these areas should be GFCI protected. The breaker in the electrical panel is mislabeled. Repair is needed by a licensed electrical professional.

7.7 SMOKE DETECTORS

Comments: Inspected

All smoke detectors should be tested upon moving in to the home. Typically, there should be at least one smoke detector per level, one in each bedroom and one in the immediate bedroom hallway. All of these detectors should be interconnected and work together without the use of a battery. There are different types of smoke detectors: *Ionization* and *Photoelectric*. Smoke detectors have an expiration date and typically last 10 years before needing replacement.

8. Plumbing System

Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Copper	Plumbing Water Distribution (inside home): Copper CPVC
Plumbing Drain Pipe: PVC	Water Heater Power Source: Gas	Water Heater Capacity: (2) 50 Gallon
Water Heater Location: Basement	Water Heater Age: 2004 2008	

Items

8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Comments: Repair or Replace

🔧 (1) The water pressure was tested at the rear exterior faucet and measured 120 Psi. Homes should maintain between 40-80 Psi. The current water pressure is elevated. The Pressure Reducing Valve (PRV) may need to be adjusted or replaced..



8.1 Item 1(Picture)

(2) Recommend to have all exterior water faucets/pipes winterized for the colder months. All pipes that are exposed to the elements or *not* in conditioned space (unfinished/non-insulated basement or crawlspace) should have insulation around them to prevent potential damage.

8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

Comments: Repair or Replace

🔧 (1) The drain gasket under the laundry room sink is damaged. The area was dry, but indications are that it has leaked in the past. Repair as needed.



8.2 Item 1(Picture)

🔧 (2) The faucet for the life side half bathroom and the left sink in the master bathroom did not have hot water when tested. Indications are that the shut off valves are in the off position. Turning on these shut off valves is beyond the scope of the inspection. Recommend evaluation by a licensed plumbing professional.

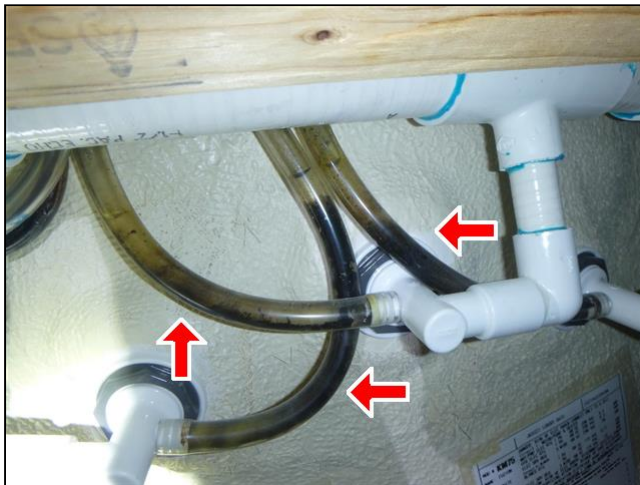
🔧 (3) Recommend to reset the loose toilet to the floor in the master bath and the bathroom for the front left bedroom. This will help ensure that the floor flange is not damaged and the wax ring is not leaking.

🔧 (4) The pump for the Jacuzzi is not grounded. When a grounding lug is provided by the manufacturer a ground wire should be installed. Recommend repair by licensed electrical professional.



8.2 Item 2(Picture)

- 🔧 (5) The hoses for the Jacuzzi tub are visibly dirty. Recommend having the system cleaned as needed.



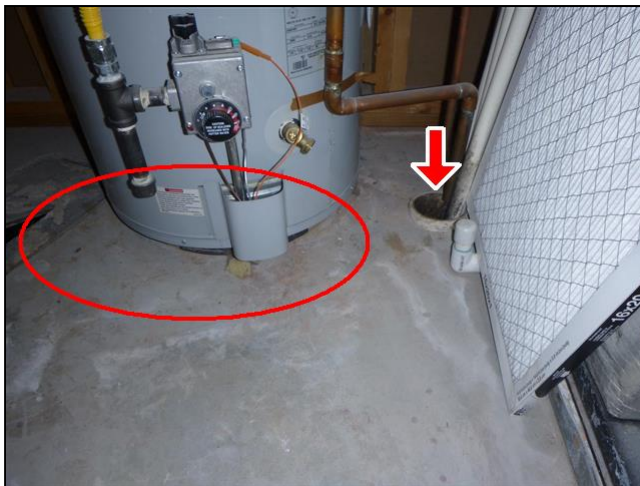
8.2 Item 3(Picture)

8.3 WATER HEATER

Comments: Repair or Replace

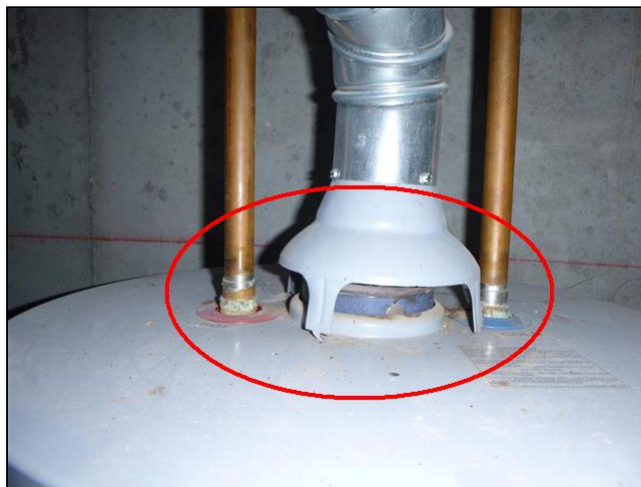
- 🔧 (1) Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age.

- 🔧 (2) Recommend to install a drain pan under the water heater to prevent water damage to the surrounding areas. This pan should be piped to a safe location or to the exterior. In this case the floor drains could be utilized.



8.3 Item 1(Picture)

- 🔧 (3) Secure the loose hood vent to the water heater in the basement. This is necessary to prevent carbon monoxide from entering the home.



8.3 Item 2(Picture)

- 🔧 (4) The water heater on the right side of the basement is leaking at the drain. Repair as needed.



8.3 Item 3(Picture)

- 🔧 (5) The water heater is located in the basement. This is for your information.



8.3 Item 4(Picture)

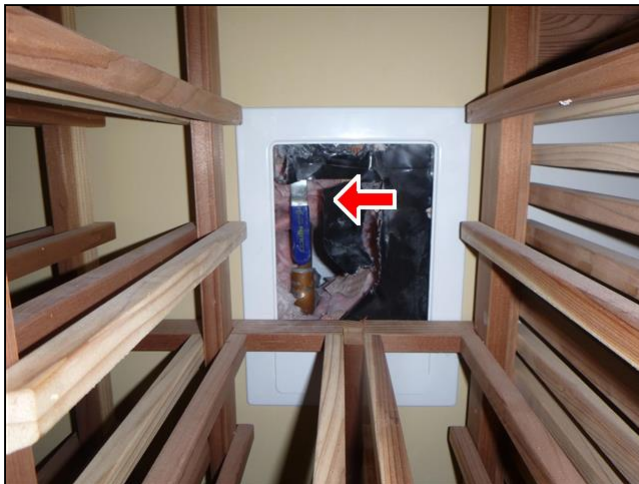


8.3 Item 5(Picture)

8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

The main water shut off is located in the wine room at the front of the basement.



8.4 Item 1(Picture)

8.5 MAIN FUEL GAS SHUT OFF

Comments: Inspected

The main gas shut off is located on the exterior of the home.



8.5 Item 1(Picture)

9. Interiors

Styles & Materials

Wall Material:

Finished Basement

Items

9.0 CEILINGS

Comments: Inspected


9.1 WALLS

Comments: Inspected

Basement is mostly finished limiting visual inspection of the floor, walls and ceiling framing.

9.2 FLOORS

Comments: Repair or Replace

 The rear bay area of the family room was excessively squeaky. Have this condition evaluated by flooring professional.



9.2 Item 1(Picture)

9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

9.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Repair or Replace

🔧 The flip top portion of the basement bar countertop is out of alignment. Adjust as needed.



9.4 Item 1(Picture)

9.5 INTERIOR DOORS

Comments: Inspected

9.6 WINDOWS

Comments: Repair or Replace

🔧 (1) Recommend to replace the cracked glass window in the Laundry room.



9.6 Item 1(Picture)

🔧 (2) The hand cranks on several windows were loose. Repair is needed.



9.6 Item 2(Picture)

9.7 BATHROOMS

Comments: Inspected

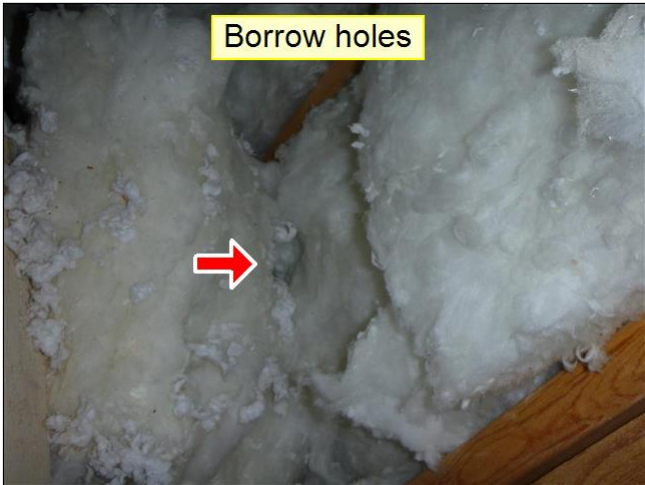
9.8 PESTS

Comments: Repair or Replace

🔧 There is evidence of rodent activity in the attic. Have this situation further evaluated by nuisance wildlife control operator and have all areas of the home sealed off.



9.8 Item 1(Picture)



9.8 Item 2(Picture)

10. Built-In Kitchen Appliances

Items

10.0 DISHWASHER

Comments: Repair or Replace

🔧 (1) Make the dishwasher operational. It would not test at time of inspection.

🔧 (2) The drain line for the dishwasher is not installed properly. This line should loop above the sink drain line to prevent potential garbage and debris from entering in to the dishwasher. Have appliance repair man inspect and make necessary repairs. See photo.



10.0 Item 1(Picture)

10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected

10.2 VENT HOOD/DOWN DRAFT

Comments: Inspected

10.3 GARBAGE DISPOSAL

Comments: Repair or Replace

🔧 Recommend to make the basement garbage disposal operational. It would not test at the time of the inspection.

10.4 MICROWAVE

Comments: Inspected

10.5 OTHER

Comments: Repair or Replace

🔧 The icemaker in the basement was leaking at the time of inspection. Repair as needed.



10.5 Item 1(Picture)