



Inspection Report

Carol Lowenthal

Property Address:
3336 Grand Villas Loop
Gainesville GA 30506



Dana Inspection Services, Inc.

**Scott Dana
(678) 884-3466
ICC B1-5289396**

Date: 8/11/2020		
Property: 3336 Grand Villas Loop Gainesville GA 30506	Customer: Carol Lowenthal	Real Estate Professional: Andrea Kenny Ansley Atlanta Real Estate

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Monitor (M) = No repairs are presently needed but future repairs are possible.

Improvement (IMP) = Something that is generally considered a good thing to do but may not have been required at the time the house was built.

Standards of Practice: ASHI American Society of Home Inspectors	In Attendance: Customer and their agent	Type of building: Single Family (2 story)
Approximate age of building: 15 years	Temperature: Over 90	Weather: Clear
Ground/Soil surface condition: Damp	Rain in last 3 days: Yes	Radon Test: Yes

General Summary of Repairs

The following items indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**.

ALL COMMENTS ARE MADE IN THE DIRECTION OF FACING THE FRONT OF THE PROPERTY.

1. Roofing

ROOF COVERINGS/DECKING

Repair or Replace

- 1
- Exposed nail heads were observed on the covered porch shingles.

FLASHINGS

Repair or Replace

- 2
- Kickout flashing is missing at the front roof/sidewall transitions. Have all similar areas further evaluated and repaired where needed by a qualified roofer.

SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Repair or Replace

- 3
- Active leaking was detected at the plumbing vent above the master attic. Have the roof further evaluated by a qualified roofer and repaired where needed.

ROOF DRAINAGE SYSTEMS/GUTTERS

Repair or Replace

- 4
- Excessive wetness was observed on the back deck against the house, which may indicate the gutters are not performing as expected. Have the gutter system further evaluated and repaired as needed by a qualified gutter company.

2. Exterior

SIDING & EXTERIOR TRIM

Repair or Replace

- 5
- (1) Suspect wood rot was observed on the fascia board at the front left corner of the house.
- 6
- (3) A small area of wood rot was observed on the band board at the exterior left side of the house at the back corner.

VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Repair or Replace

- 7
- (1) There is a neutral to negative grade at the front right of the house that may place excessive amounts of moisture up against the foundation. It is recommended to modify the grading to create a positive slope away from the house and foundation.
- 8
- (2) All vegetation in contact with the house or roof should be cut back or removed.
- 9
- (4) Structural repairs are evident at the upper wooden retaining wall at the back of the house. Contact the seller for repair info and documentation.
- 10
- (6) The back patio and steps show signs of settling where a gap has developed between them and the house.

FOUNDATION DRAINS

Repair or Replace

- 11
- I was unable to locate where the foundation drains terminate at the back two corners of the house.

OTHER**Repair or Replace**

- 12 Cosmetic cracking of the parge coat was observed at the back patio on the foundation.

3. Decks

STEPS/STAIRCASE/RAILINGS**Repair or Replace**

- 13 Many of the deck railing balusters are loose, creating an unsafe condition for children. Have the railing further evaluated and repaired where needed.

5. Interiors

WALLS**Repair or Replace**

- 14 (1) Using an infrared camera, active water penetration was detected through the wall and window area of the 2nd floor back guest bedroom. The dark colors in the thermal image tested positive for high levels of water. Have the exterior further evaluated and repaired as needed. Other stains were also seen below the back windows, but these areas were dry.
- 15 (3) Mold-like substances were observed on the wall in the basement closet. This area is being swab tested, and the basement is having an air sample test being done. Refer to that report for more info.

7. Plumbing System

PLUMBING DRAIN, WASTE AND VENT SYSTEMS**Repair or Replace**

- 16 There is a septic-like component in the front yard that is beyond the scope of the inspection. Have further evaluated by a qualified septic professional.

PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES**Repair or Replace**

- 17 (1) A draw was observed on the water meter when first arriving at the inspection. Later, when evaluating the main water shut off valve in the basement, there was the sound of water flow despite no known fixtures running. When the main water shut off valve was then turned off, the water flow sound continued. This indicates a problem and should be further evaluated and repaired by a qualified plumber.
- 18 (2) The exterior back hose bibb appears to be winterized as there was no water flow.
- 19 (3) The kitchen sink faucet is in marginal condition.
- 20 (4) The half bath sink stopper pull is loose.
- 21 (5) A irrigation system control panel was observed in the garage but is a specialized component that was not tested. Contact the seller to provide information on how it operates or have evaluated by a qualified irrigation professional.
- 22 (6) There was no water flow to the hot side of the laundry sink, and the valve is likely off. Contact the seller for more info or have evaluated and repaired as needed.
- 23 (7) The master sink near the tub is draining slowly.
- 24 (8) The master shower head is in poor operating condition.
- 25 (9) The master tub turned on using the available button control, but then would not turn off. I had to turn it off using the nearby GFCI switch. Have further evaluated and repaired by a qualified plumber.
- 26 (10) Chipped enamel was observed in the 2nd floor bathtub.

8. Electrical System

SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Repair or Replace

- 27 (1) A satellite dish was placed in front of the electrical meter box at the exterior left, which is not allowed.

CONNECTED DEVICES AND FIXTURES

Repair or Replace

- 28 (1) The master bath vanity light switch is worn but operable.
29 (2) A built-in sound system was observed but is beyond the scope of the inspection.
30 (3) Some of the outlets in the unfinished areas of the basement have outlets without covers.
31 (4) The outlet behind the low voltage panel in the basement is showing an open ground.

SMOKE & CARBON MONOXIDE PROTECTION

Repair or Replace

- 32 (1) The smoke alarms are likely over 10 years old and should be replaced with new models.
33 (2) Due to gas fired appliances, Carbon Monoxide alarms should be added outside each bedroom area and on each floor.

9. Heating / Central Air Conditioning/ Fireplaces

COOLING AND AIR HANDLER EQUIPMENT

Repair or Replace

- 34 (1) Insulation is needed at the exterior suction lines where the existing insulation is missing or worn.
35 (3) The evaporator coil box in the attic is not adequately sealed to prevent air loss.

GAS FIRELOGS AND FIREPLACES

Repair or Replace

- 36 (1) The current gas fireplace on the 1st floor does not have a protective screen, creating a burn hazard with the exposed glass that gets extremely hot. Contact the fireplace manufacturer or a local fireplace company for repair.
37 (2) The fireplace glass is cloudy and should be evaluated and cleaned as needed by a qualified fireplace professional.
38 (3) There are two switches for the fireplace. One operates the fireplace and I am unsure of what the 2nd one operates. Contact the seller for more info.

10. Attic, Insulation, Ventilation Systems

INSULATION IN ATTIC/WALLS/FLOORS

Repair or Replace

- 39 Insulation should be added to the small crawl in attic space door at the front guest bedroom.

11. Built-In Kitchen Appliances/Other Appliances

RANGES/OVENS/COOKTOPS

Repair or Replace

- 40 (1) The oven and microwave lights appear to be burnt out.
41 (2) The oven seemed to be heating properly, but the stand-alone temperature gauge did not seem to match. I suspect this stand-alone gauge is not working properly anymore.

REFRIGERATOR & WATER LINE

Repair or Replace

- 42** The icemaker was observed in the OFF position and could not be verified as operable.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Scott Dana

Items to Monitor

These are items that do not appear to be having a negative impact on the dwelling, and may never. Future repairs may be needed.

2. Exterior

VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS
(With respect to their effect on the condition of the building)

Repair or Replace

- 1
- (3) In-ground downspouts and yard drains were observed around the house but are not tested as part of the inspection.
- 2
- (5) The lower wooden retaining wall shows signs of deterioration at the "deadmen" but was in satisfactory condition in general.

4. Garage

GARAGE WALLS

Monitor

- 3
- Common staining was observed on the wall between the garage openings. Monitor for any future water penetration.

GARAGE FLOOR

Monitor

- 4
- Common curing or settling cracks were observed on the garage floor.

5. Interiors

CEILINGS

Monitor

- 5
- Repairs are evident in the basement family room under the fireplace. No active leaking was observed. Contact the seller for more info.

WALLS

Repair or Replace

- 6
- (2) Water stains were observed on the wall under the family room window but they were dry at the time of the inspection.

6. Structural Components (where visible)

FOUNDATIONS & BASEMENTS

Monitor

- 7
- Professional-looking repairs were observed on the foundation wall in the basement.

FLOORS (Structural)

Monitor

- 8
- Common settling or curing cracks were observed on the basement floor. Monitor for changes.

7. Plumbing System

HOT WATER SYSTEMS & CONTROLS

Monitor

- 9 The water heater is 15 years old and at the end of its useful life. It may require replacement within the next 5 years.

9. Heating / Central Air Conditioning/ Fireplaces

COOLING AND AIR HANDLER EQUIPMENT

Repair or Replace

- 10 (2) Two of the A/C condensing units are at the end of their useful lives due to them being 15 years old. These may require repair or replacement within the next few years.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Scott Dana

Improvements

These are items that may not have been required at the time the dwelling was built, but are generally considered good ideas to incorporate.

8. Electrical System

OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Improvements

- 1 GFCI protection should be added to the outlets at the backside of the kitchen sink cabinet.

9. Heating / Central Air Conditioning/ Fireplaces

HEATING EQUIPMENT

Improvements

- 2 The requirement for sediment traps for gas appliances has changed since the house was built, and the existing sediment trap in the attic for the furnace is no longer considered adequate. However, this will not have any negative impact and can be changed at some point in the future.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Scott Dana

1. Roofing



Styles & Materials

Roof Covering: Architectural Asphalt	Viewed roof covering from: Drone	Chimney (exterior): Cement Fiber
Approximate Roof Age: 15 years		

Items

1.0 ROOF COVERINGS/DECKING
Comments: Repair or Replace

Exposed nail heads were observed on the covered porch shingles.



1.2 FLASHINGS

Comments: Repair or Replace

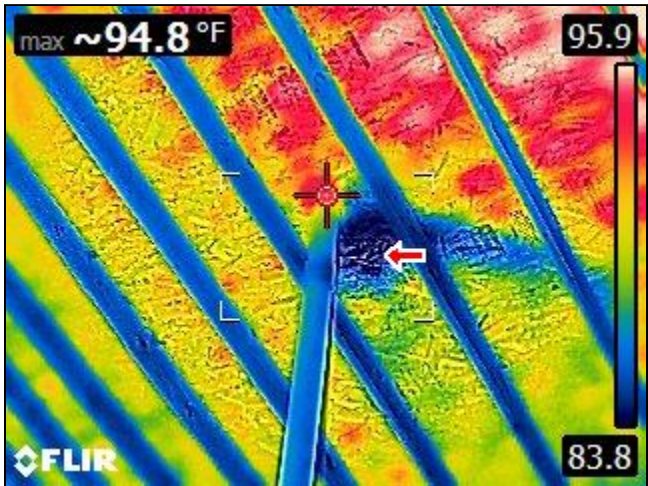
Kickout flashing is missing at the front roof/sidewall transitions. Have all similar areas further evaluated and repaired where needed by a qualified roofer.



1.3 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Repair or Replace

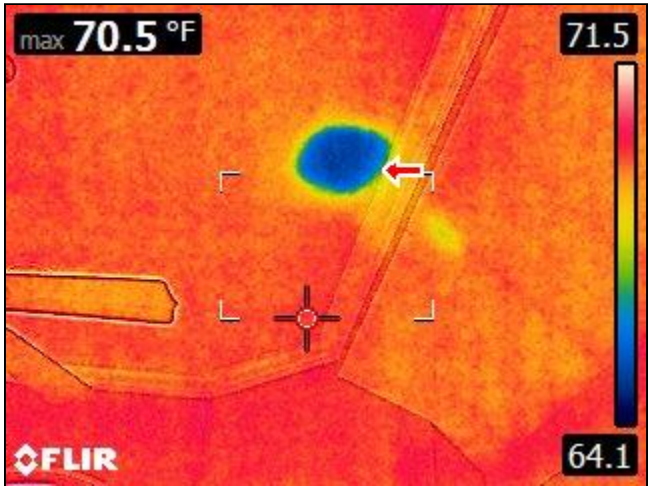
Active leaking was detected at the plumbing vent above the master attic. Have the roof further evaluated by a qualified roofer and repaired where needed.



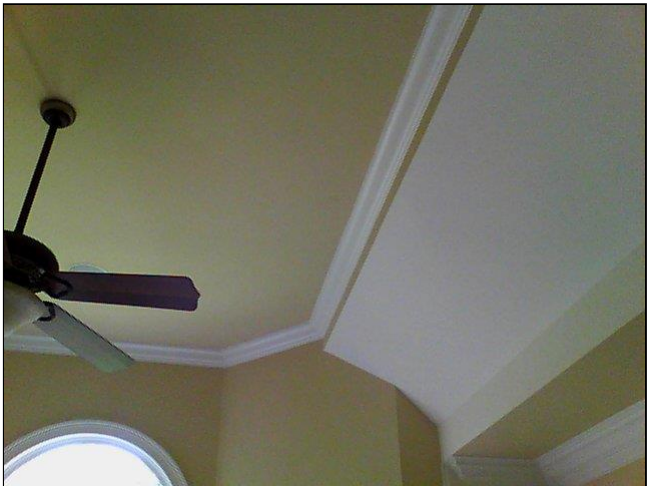
Thermal image of wet roof decking



Digital image



Thermal image of water dripping onto master ceiling from the leak



Digital image

1.4 ROOF DRAINAGE SYSTEMS/GUTTERS

Comments: Repair or Replace

Excessive wetness was observed on the back deck against the house, which may indicate the gutters are not performing as expected. Have the gutter system further evaluated and repaired as needed by a qualified gutter company.



2. Exterior

Styles & Materials

Siding Material:	Appurtenance:	Driveway:
Fiber-cement (e.g., Hardiplank)	Deck	Concrete
Stacked Stone	Covered or screened back porch	
	Patio	

Items

2.0 SIDING & EXTERIOR TRIM

Comments: Repair or Replace

(1) Suspect wood rot was observed on the fascia board at the front left corner of the house.



(2) Close inspection of the exterior right of the house could not be done due to close vegetation.

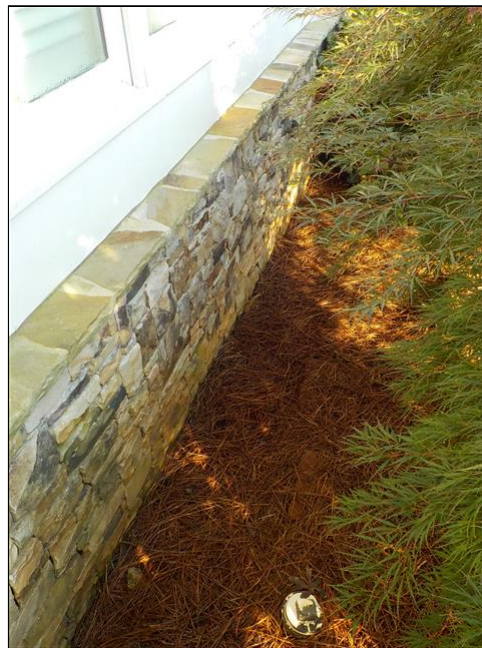
(3) A small area of wood rot was observed on the band board at the exterior left side of the house at the back corner.



2.1 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Repair or Replace

(1) There is a neutral to negative grade at the front right of the house that may place excessive amounts of moisture up against the foundation. It is recommended to modify the grading to create a positive slope away from the house and foundation.



(2) All vegetation in contact with the house or roof should be cut back or removed.



(3) In-ground downspouts and yard drains were observed around the house but are not tested as part of the inspection.



(4) Structural repairs are evident at the upper wooden retaining wall at the back of the house. Contact the seller for repair info and documentation.



(5) The lower wooden retaining wall shows signs of deterioration at the "deadmen" but was in satisfactory condition in general.



(6) The back patio and steps show signs of settling where a gap has developed between them and the house.



2.2 BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIOS AND APPLICABLE RAILINGS

Comments: Inspected

2.3 EAVES, SOFFITS AND FASCIAS

Comments: Inspected

2.4 DOORS (Exterior)

Comments: Inspected

2.5 WATER METER

Comments: Inspected

2.6 WINDOWS

Comments: Inspected

2.7 VENTS/VENT HOODS

Comments: Inspected

2.8 FOUNDATION DRAINS

Comments: Repair or Replace

I was unable to locate where the foundation drains terminate at the back two corners of the house.



2.9 OTHER

Comments: Repair or Replace

Cosmetic cracking of the parge coat was observed at the back patio on the foundation.



3. Decks

Styles & Materials

Deck Flooring Material:

Wood

Items

3.0 FLASHING

Comments: Inspected

3.1 STEPS/STAIRCASE/RAILINGS

Comments: Repair or Replace

Many of the deck railing balusters are loose, creating an unsafe condition for children. Have the railing further evaluated and repaired where needed.



3.2 FLOOR JOISTS/FLOOR BOARDS/FLOOR SUPPORTS

Comments: Inspected

3.3 ATTACHEMENT TO HOUSE

Comments: Inspected

3.4 POSTS/FOOTINGS

Comments: Inspected

It should be noted that design and installation standards for decks have evolved greatly over the years. What was once commonplace and acceptable would no longer be allowable under present codes. The inspection is not designed to bring decks up to code but rather look for evidence of visible defects or safety concerns.

4. Garage

Styles & Materials

Garage Door Type:

Two automatic

Items

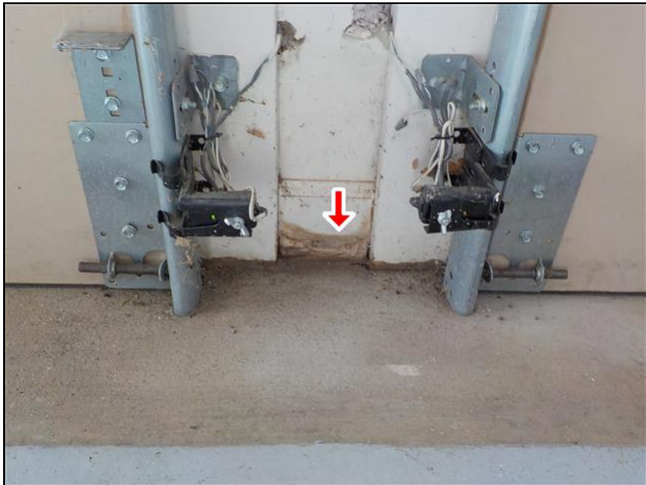
4.0 GARAGE CEILINGS

Comments: Inspected

4.1 GARAGE WALLS

Comments: Monitor

Common staining was observed on the wall between the garage openings. Monitor for any future water penetration.



4.2 GARAGE FLOOR

Comments: Monitor

Common curing or settling cracks were observed on the garage floor.



4.3 GARAGE DOOR (S)

Comments: Inspected

4.4 OCCUPANT DOOR FROM GARAGE TO INSIDE HOME

Comments: Inspected

4.5 GARAGE DOOR OPERATORS

Comments: Inspected

5. Interiors

Styles & Materials

Window Types:

Thermal/Insulated
Double-hung

Ceiling Materials:

Gypsum Board

Wall Material:

Gypsum Board

Items

5.0 CEILINGS

Comments: Monitor

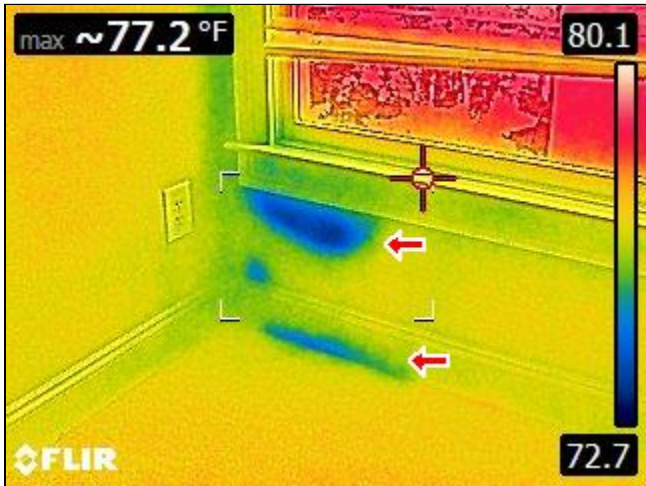
Repairs are evident in the basement family room under the fireplace. No active leaking was observed. Contact the seller for more info.



5.1 WALLS

Comments: Repair or Replace

(1) Using an infrared camera, active water penetration was detected through the wall and window area of the 2nd floor back guest bedroom. The dark colors in the thermal image tested positive for high levels of water. Have the exterior further evaluated and repaired as needed. Other stains were also seen below the back windows, but these areas were dry.



Thermal image of wet area



Digital image

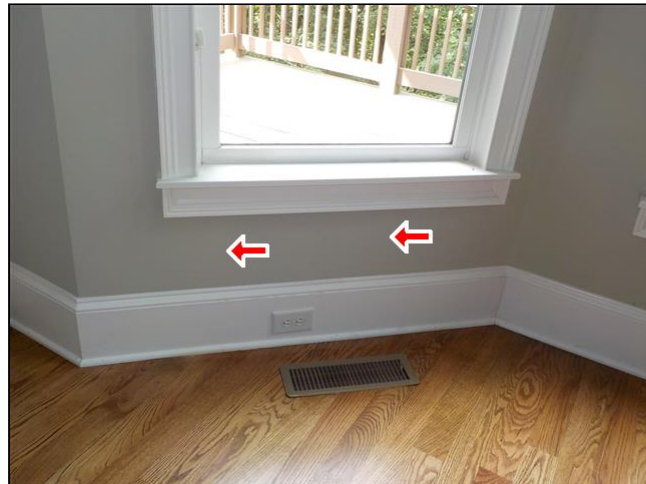


Other stains (dry)



Other stains (dry)

(2) Water stains were observed on the wall under the family room window but they were dry at the time of the inspection.



(3) Mold-like substances were observed on the wall in the basement closet. This area is being swab tested, and the basement is having an air sample test being done. Refer to that report for more info.



5.2 FLOORS

Comments: Inspected

5.3 INFRARED SCAN (RESULTS REPORTED ELSEWHERE IN REPORT)

Comments: Inspected

5.4 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

5.5 COUNTERS/CABINETS/CLOSETS

Comments: Inspected

5.6 DOORS

Comments: Inspected

5.7 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected

6. Structural Components (where visible)

Styles & Materials

Foundation:

Poured concrete

Wall Structure:

Wood

Roof Structure:

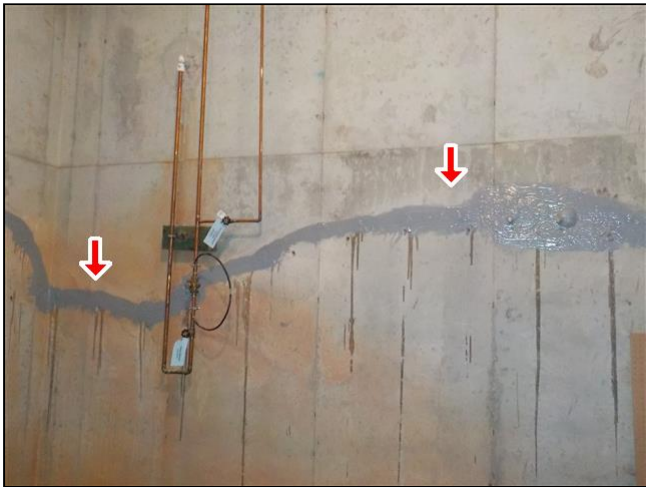
Wood Rafters

Items

6.0 FOUNDATIONS & BASEMENTS

Comments: Monitor

Professional-looking repairs were observed on the foundation wall in the basement.



6.1 WALLS (Structural)

Comments: Inspected

6.2 COLUMNS/PIERS/POSTS

Comments: Inspected

6.3 FLOORS (Structural)

Comments: Monitor

Common settling or curing cracks were observed on the basement floor. Monitor for changes.



6.4 CEILINGS (structural)
Comments: Inspected

6.5 ROOF STRUCTURE AND ATTIC
Comments: Inspected

7. Plumbing System

Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Plastic	Plumbing Water Distribution (inside home): Copper
Plumbing Waste: PVC	Water Heater Power Source: Gas (quick recovery)	Water Heater Capacity: 50 Gallon
Water heater brand: A.O. SMITH	Water Heat Age: 15 years	Number of water heaters: 1

Items

7.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS
Comments: Repair or Replace

There is a septic-like component in the front yard that is beyond the scope of the inspection. Have further evaluated by a qualified septic professional.



7.1 PEX (1996-2010) F1807 BRASS CRIMP FITTINGS

Comments: Inspected

7.2 DWV FITTINGS VS. PRESSURE FITTINGS

Comments: Inspected

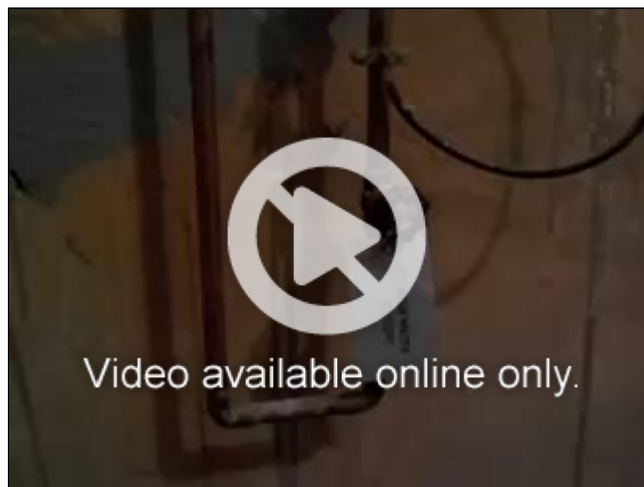
7.3 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Repair or Replace

(1) A draw was observed on the water meter when first arriving at the inspection. Later, when evaluating the main water shut off valve in the basement, there was the sound of water flow despite no known fixtures running. When the main water shut off valve was then turned off, the water flow sound continued. This indicates a problem and should be further evaluated and repaired by a qualified plumber.



Water meter running



Sound of water flow at main line

(2) The exterior back hose bibb appears to be winterized as there was no water flow.



(3) The kitchen sink faucet is in marginal condition.



(4) The half bath sink stopper pull is loose.



(5) A irrigation system control panel was observed in the garage but is a specialized component that was not tested. Contact the seller to provide information on how it operates or have evaluated by a qualified irrigation professional.



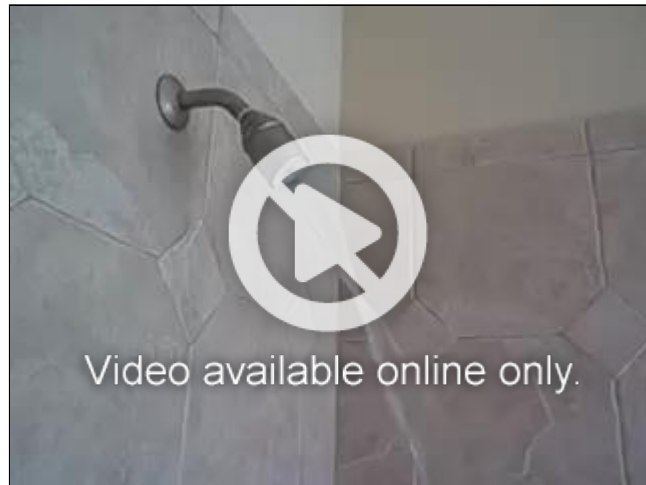
(6) There was no water flow to the hot side of the laundry sink, and the valve is likely off. Contact the seller for more info or have evaluated and repaired as needed.



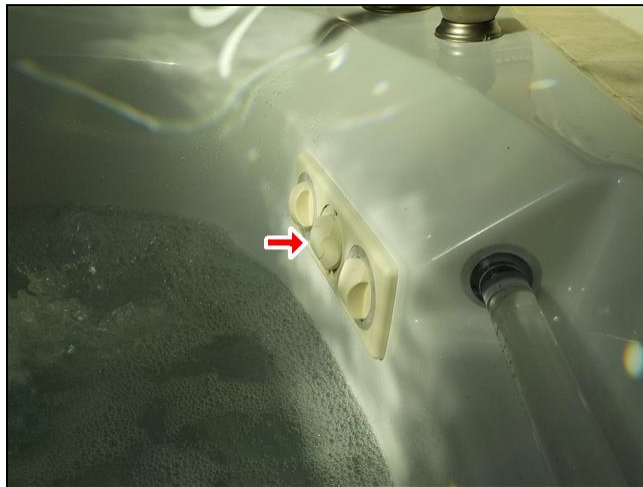
(7) The master sink near the tub is draining slowly.



(8) The master shower head is in poor operating condition.



(9) The master tub turned on using the available button control, but then would not turn off. I had to turn it off using the nearby GFCI switch. Have further evaluated and repaired by a qualified plumber.



(10) Chipped enamel was observed in the 2nd floor bathtub.



7.4 EXPANSION TANK PRESENCE & CONDITION

Comments: Inspected

7.5 HOT WATER SYSTEMS & CONTROLS

Comments: Monitor

The water heater is 15 years old and at the end of its useful life. It may require replacement within the next 5 years.

**7.7 MAIN WATER SHUT-OFF DEVICE (Describe location)**

Comments: Inspected

Basement front unfinished area.

**7.8 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)**

Comments: Inspected

7.9 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

The main fuel shut off is at the gas meter outside.

7.10 WATER PRESSURE

Comments: Inspected

7.11 FLEXIBLE APPLIANCE CONNECTORS (FACs) & CSST

Comments: Inspected

7.12 BONDING OF CSST GAS PIPING (IFGS, GA AMENDMENT, 310.1.1)

Comments: Inspected

7.14 SUMP PUMP/SANITARY PUMP/SEWER EJECTION PUMP

Comments: Inspected

The sewer ejection pump in the basement is working as expected.



8. Electrical System

Styles & Materials

Electrical Service Conductors:

Below ground

Panel capacity:

Not visible

Panel Type:

Circuit breakers

Branch wire 15 and 20 AMP:

Copper

Wiring Methods:

Romex (Non-Metallic Sheathing)

Items

8.0 BREAKER AND PANEL BRAND MATCH

Comments: Inspected

8.1 ZINSCO/FEDERAL PACIFIC/CHALLENGER PANELS

Comments: Inspected

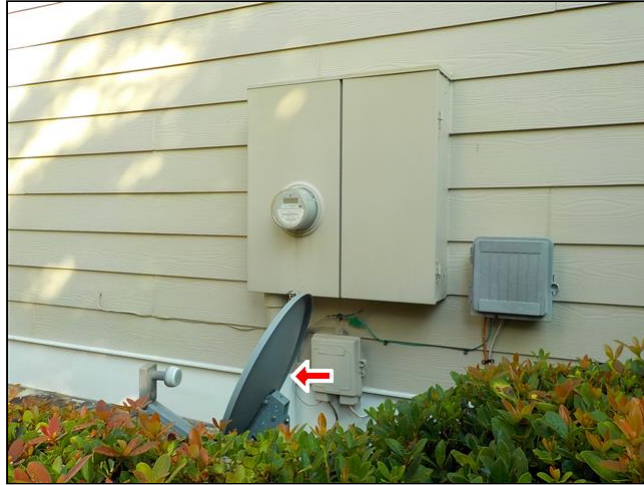
8.2 SERVICE ENTRANCE CONDUCTORS/SIZES

Comments: Inspected

8.3 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Comments: Repair or Replace

(1) A satellite dish was placed in front of the electrical meter box at the exterior left, which is not allowed.



(2) Close up inspection of the electrical meter and service disconnect could not be done due to vegetation and a satellite dish.

8.4 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected

8.5 CONNECTED DEVICES AND FIXTURES

Comments: Repair or Replace

(1) The master bath vanity light switch is worn but operable.



(2) A built-in sound system was observed but is beyond the scope of the inspection.



(3) Some of the outlets in the unfinished areas of the basement have outlets without covers.



(4) The outlet behind the low voltage panel in the basement is showing an open ground.



8.6 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE AND AT THE EXTERIOR

Comments: Inspected

8.7 OPERATION OF ARC FAULT BREAKERS

Comments: Inspected

8.8 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Improvements

GFCI protection should be added to the outlets at the backside of the kitchen sink cabinet.

**8.9 LOCATION OF MAIN AND DISTRIBUTION PANELS**

Comments: Inspected

The main panels are located inside the basement, and the main service disconnects that cut off all of the power are located outside at the side of the house.

8.10 SMOKE & CARBON MONOXIDE PROTECTION

Comments: Repair or Replace

(1) The smoke alarms are likely over 10 years old and should be replaced with new models.



(2) Due to gas fired appliances, Carbon Monoxide alarms should be added outside each bedroom area and on each floor.

9. Heating / Central Air Conditioning/ Fireplaces

Styles & Materials

Heat Type: Forced Air	Energy Source: Gas	Number of Heat Systems (excluding wood): Three
Heating System Brand: LENNOX	Heat System Age: 15 years	Types of Fireplaces: Vented gas logs
Operable Fireplaces: One	Cooling Equipment Type: Condensing Unit	Cooling System Age: 3 years 15 years
Central Air Brand: CARRIER LENNOX	Number of Cooling Systems: Three	

Items

9.0 HEATING EQUIPMENT

Comments: Improvements

The requirement for sediment traps for gas appliances has changed since the house was built, and the existing sediment trap in the attic for the furnace is no longer considered adequate. However, this will not have any negative impact and can be changed at some point in the future.



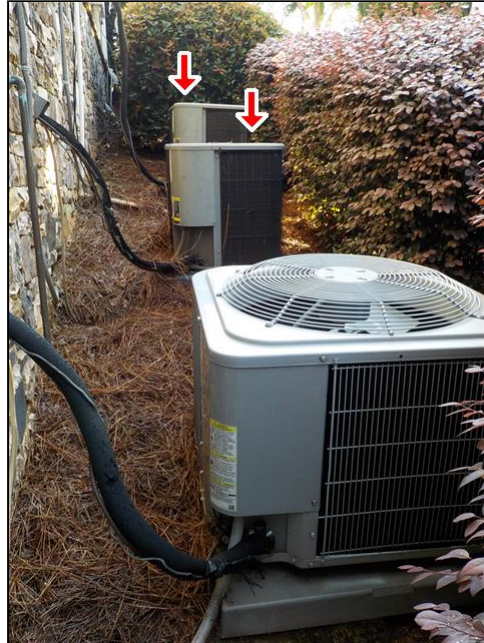
9.1 COOLING AND AIR HANDLER EQUIPMENT

Comments: Repair or Replace

(1) Insulation is needed at the exterior suction lines where the existing insulation is missing or worn.



(2) Two of the A/C condensing units are at the end of their useful lives due to them being 15 years old. These may require repair or replacement within the next few years.



(3) The evaporator coil box in the attic is not adequately sealed to prevent air loss.



9.3 CONDENSATE DISPOSAL

Comments: Inspected

9.4 NORMAL OPERATING CONTROLS

Comments: Inspected

9.5 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

9.7 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

9.9 GAS FIRELOGS AND FIREPLACES

Comments: Repair or Replace

(1) The current gas fireplace on the 1st floor does not have a protective screen, creating a burn hazard with the exposed glass that gets extremely hot. Contact the fireplace manufacturer or a local fireplace company for repair.



(2) The fireplace glass is cloudy and should be evaluated and cleaned as needed by a qualified fireplace professional.



(3) There are two switches for the fireplace. One operates the fireplace and I am unsure of what the 2nd one operates. Contact the seller for more info.



10. Attic, Insulation, Ventilation Systems

Styles & Materials

Attic Insulation:	Ventilation:	Dryer Power Source:
Blown	Ridge vents	240 Electric
Fiberglass	Soffit Vents	
Attic info:	Method used to observe attic:	
Pull Down stairs	Walked	

Items

10.0 INSULATION IN ATTIC/WALLS/FLOORS

Comments: Repair or Replace

Insulation should be added to the small crawl in attic space door at the front guest bedroom.



10.1 VENTILATION OF ATTIC/ROOF

Comments: Inspected

10.2 VENTING SYSTEMS (Kitchens, baths, laundry)

Comments: Inspected

10.3 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)

Comments: Inspected

10.4 EVIDENCE OF RODENTS/ANIMALS IN ATTIC/ELSEWHERE

Comments: Inspected

10.6 ATTIC LADDER

Comments: Inspected

11. Built-In Kitchen Appliances/Other Appliances

Items

11.0 DISHWASHER

Comments: Inspected

11.1 RANGES/OVENS/COOKTOPS

Comments: Repair or Replace

(1) The oven and microwave lights appear to be burnt out.



(2) The oven seemed to be heating properly, but the stand-alone temperature gauge did not seem to match. I suspect this stand-alone gauge is not working properly anymore.



11.2 RANGE HOOD

Comments: Inspected

11.3 GARBAGE DISPOSER

Comments: Inspected

11.4 MICROWAVE COOKING EQUIPMENT

Comments: Inspected

11.5 REFRIGERATOR & WATER LINE

Comments: Repair or Replace

The icemaker was observed in the OFF position and could not be verified as operable.



11.6 COMMON RECALLS CHECK

Comments: Inspected