



House Smart



**860 Longstone Landing
Alpharetta GA 30022**

Client(s): Koller
Inspection Date: 9/10/2020
Inspector: Keith Cook , ASHI 202558

Thank you for choosing BPG for your property inspection. We value your business and are available should you have any follow-up questions regarding your report.

This report represents our professional opinion regarding conditions of the property as they existed on the day of our inspection. We adhere to the Standards of Practices as outlined in our Inspection Agreement.

Your **INSPECTION REPORT** includes three sections: **1) Key Findings**, **2) Property Information**, and **3) Inspection Agreement**. It is important to evaluate all three sections in order to fully understand the property and general conditions. The following definitions may be helpful in reviewing your reports.

 Action Items may include:

- Items that are no longer functioning as intended
- Conditions that present safety issues
- Items or conditions that may require repair, replacement, or further evaluation by a specialist
- Items that were inaccessible

 Consideration Items may include:

- Conditions that may require repair due to normal wear and the passage of time.
- Conditions that have not significantly affected usability or function- but may if left unattended.

SECTION I. KEY FINDINGS

This section is designed to summarize the findings and conditions that may require your immediate attention. Typically, the Key Findings Summary is used to help prioritize issues with other parties involved in the real estate transaction. *It is important to review carefully all sections of your report and not rely solely on the Key Findings summary.*

SECTION II. PROPERTY INFORMATION

This section contains our detailed findings on all items inspected. Component locations, system types and details, maintenance tips, and other general information about the property will be included as appropriate.

SECTION III. INSPECTION AGREEMENT

This section details the scope of the inspection. BY ACCEPTANCE OF OUR INSPECTION REPORT, YOU ARE AGREEING TO THE TERMS OF OUR INSPECTION AGREEMENT. A copy of this agreement was made available immediately after scheduling your inspection and prior to the beginning of your inspection. In addition, a copy is included on our website with your final inspection report.

To retrieve your full PROPERTY INSPECTION REPORT (all 3 sections) from our Web site:

- Point your web browser to <http://www.bpginspections.com>
- Click on **View Your Inspection Report**
- Enter the **Report Id** and **Client Last Name** (shown below)
 - Report Id: 839274
 - Client's Last Name: Koller
- Follow the instructions to either view the report online or download it to your computer.

Again, thank you for selecting us as your inspection company. Please contact our Customer Service Center at 800-285-3001 should you have any questions about your reports or desire additional assistance.

Action Items

Exterior

Grading

- ❌ 1. **SERVICE / REPAIR:** Low area in grading noted outside Breakfast side. Requirements of proper drainage are to slope the ground away foundation to avoid accumulation that forces water into lower areas. Regrading should be employed to reduce ground water in this area.



Item 1 - Picture 1

Driveways / Walkways

- ❌ 2. **MAJOR DEFECT:** Settling of the concrete surfaces observed. Repair can consist of either mud-jacking (injecting concrete under the slab to raise it) or replacement. Recommend having professionally repaired to raise surface back to or at least near the original position and reduce chances of continued settling occurring if not addressed.



Item 2 - Picture 1



Item 2 - Picture 2



Item 2 - Picture 3



Item 2 - Picture 4

- ❌ 3. **SAFETY / HEALTH:** Settling of the concrete surfaces observed. Repair can consist of either mud-jacking (injecting concrete under the slab to raise it) or replacement. Recommend having professionally repaired to raise surface back to or at least near the original position and reduce chances of continued settling occurring if not addressed.

Action Items

Exterior



Item 3 - Picture 1



Item 3 - Picture 2



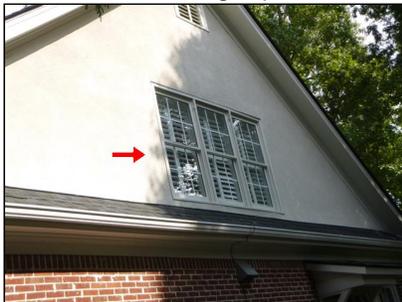
Item 3 - Picture 3



Item 3 - Picture 4

Windows

- ❌ 4. **SERVICE / REPAIR:** Window sash of Bedroom facing driveway side is damaged beyond point of repair and recommend having replaced.



Item 4 - Picture 1



Item 4 - Picture 2

Doors

- ❌ 5. **SERVICE / REPAIR:** Recommend having repairs improved and better protected to avoid getting worse outside Master doors to deck. ALSO, Door to exterior storage room.

Action Items

Exterior



Item 5 - Picture 1



Item 5 - Picture 2



Item 5 - Picture 3



Item 5 - Picture 4



Item 5 - Picture 5

- ❌ 6. **SERVICE / REPAIR:** Screws found missing/stripped/damaged on door which can cause door to sag leading to sticking and failure to latch. Have proper size screw provided, hole modified to secure into door/jamb and installed to secure assembly in opening at Door to Deck from Master.



Item 6 - Picture 1

Trim / Soffit / Fascia

- ❌ 7. **SERVICE / REPAIR:** Paint on the window trim found in weathered condition. Sand, prime bare wood, caulk and paint to prevent moisture damage to the affected areas.

Action Items

Exterior



Item 7 - Picture 1



Item 7 - Picture 2



Item 7 - Picture 3



Item 7 - Picture 4



Item 7 - Picture 5



Item 7 - Picture 6 Upper Family



Item 7 - Picture 7

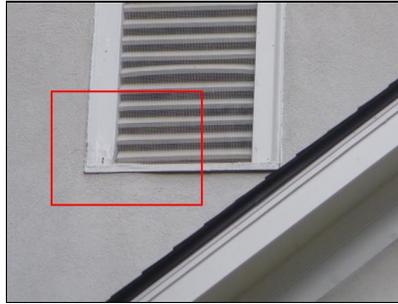
- ✘ 8. **SERVICE / REPAIR:** Rot developing in Corner of Gable vent on side of house, Bottom corner of garage door opening, Lower corner of upper Family room window (built up panel installed at bottom of sash). Replacements of affected materials is considered the best solution for long term performance of repair and plastic moldings are available for even better protection - [Contractor should review for additional damage and probe where suspect to insure that all damage is identified and replaced]. Fillers are discouraged but are commonly used in repairs of smaller areas where replacement would be difficult. Fillers should be done by experienced tradesmen and warrantee for a reasonable length of time. Work area should be primed, caulked and painted to match existing finishes.

Action Items

Exterior



Item 8 - Picture 1



Item 8 - Picture 2



Item 8 - Picture 3



Item 8 - Picture 4



Item 8 - Picture 5



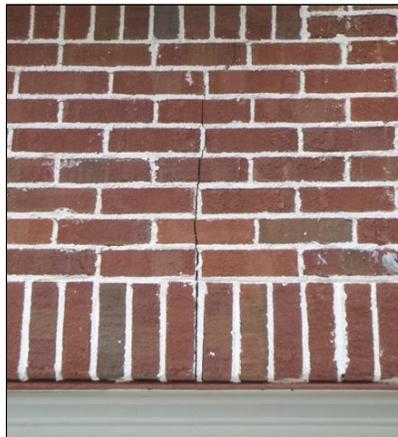
Item 8 - Picture 6

Brick

- ☒ 9. **SERVICE / REPAIR:** Hairline crack in brick veneer above garage door opening. Although structural deflection or settling exceeded the tolerance of brick, not significant at this point and likely to be the extent of failure. Repointing or sealing could be done but in many cases looks worse than leaving alone and not likely to be a significant problem if not sealed.



Item 9 - Picture 1



Item 9 - Picture 2

Deck Material / Framing

- ☒ 10. **SERVICE / REPAIR:** One deck rail bolts not tightened. Have corrected.

Action Items

Exterior



Item 10 - Picture 1



Item 10 - Picture 2

Deck Stairs

- ❌ 11. **SAFETY / HEALTH:** Side set of stairs from landing extension has settled at the bottom of stairs, between stairs and landing and landing itself. With all the different components, suspect that taking down and rebuilding will be the best option. Consult with contractors for ideas and estimates.



Item 11 - Picture 1



Item 11 - Picture 2



Item 11 - Picture 3



Item 11 - Picture 4



Item 11 - Picture 5



Item 11 - Picture 6

- ❌ 12. **SAFETY / HEALTH:** Stringers on deck stairs found to be split and weakened overall to various degrees. Recommend having reinforced by deck contractor although replacements may be the best long term solution to problem.



Item 12 - Picture 1

Action Items

Exterior

Deck Attachment To House

- ❌ 13. **SERVICE / REPAIR:** Deck flashing does not extend into brick veneer and is not sealed at intersection with brick. This can allow moisture behind flashing, which is meant to prevent moisture entry between siding and deck band at house. Seal with silicone caulk.



Item 13 - Picture 1



Item 13 - Picture 2

Chimney

- ❌ 14. **SERVICE / REPAIR:** Rusting noted in cap of both chimneys. Clean and paint with rust inhibitor to prevent future rust through. Also clean and seal cap ring around flue to prevent leaking into chase.



Item 14 - Picture 1



Item 14 - Picture 2



Item 14 - Picture 3



Item 14 - Picture 4

Comments

- ❌ 15. **SERVICE / REPAIR:** Trees overhanging or near roof area and would recommend having kept trimmed back to reduce possible damage from wind and to reduce access avenues for climbing pests to roof level.

Action Items

Exterior



Item 15 - Picture 1



Item 15 - Picture 2

Roofing

Roof Coverings

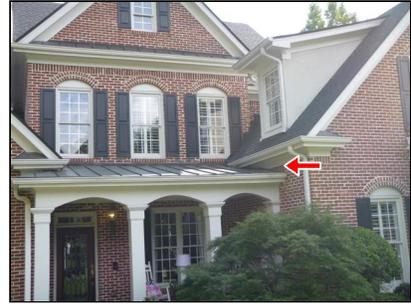
- ❌ 16. **SERVICE / REPAIR:** Metal roof on front porch found to be very soft in area next to Bonus dormer. Expect that roof deck has deteriorated from a leak but ceiling below has only slight damage. There may be a bright side that it's not actively leaking when raining BUT, if someone steps in the wrong spot much heavier than me, the metal may do more than just flex. Recommend having reviewed and repaired for best long term performance.



Item 16 - Picture 1



Item 16 - Picture 2



Item 16 - Picture 3



Item 16 - Picture 4



Item 16 - Picture 5



Item 16 - Picture 6

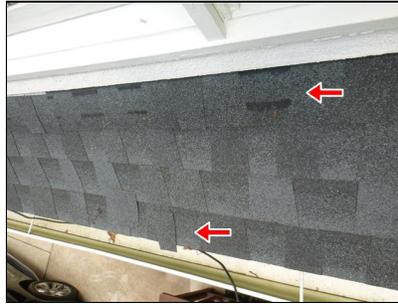
- ❌ 17. **SERVICE / REPAIR:** Accent roofing details found slipped on both sides of house. Recommend having repaired.

Action Items

Roofing



Item 17 - Picture 1



Item 17 - Picture 2



Item 17 - Picture 3

Attic Vents

- ☒ 18. **SERVICE / REPAIR:** Exhaust hood above Garage end has a flap installed. Seek disclosure and consider having removed to avoid blocking air flow.



Item 18 - Picture 1

Gutters / Downspouts / Drain Lines

- ☒ 19. **SERVICE / REPAIR:** Its the time of year when the leaves are beginning to fall and gutters will need to be cleaned either now or soon. Gutters need to be cleared as much as twice a year to insure that proper drainage is made away from foundation and out of eaveline.



Item 19 - Picture 1



Item 19 - Picture 2

Plumbing

Service Entrance

- ☒ 20. **SERVICE / REPAIR:** In reviewing the water meter, there was movement in the usage readout indicating water running/seepage either within home or underground (checked multiple times). Water movement sound noted in basement at main cut off. Have plumber confirm findings and investigate problem. Be prepared to make repairs or replacements to prevent higher water bills.

Action Items

Plumbing



Item 20 - Picture 1



Item 20 - Picture 2



Item 20 - Picture 3



Item 20 - Picture 4



Item 20 - Picture 5



Item 20 - Picture 6

Exterior Hose Faucets

- ☒ 21. SERVICE / REPAIR:** Hose bibb found to drip from handle when turned on. Have valve corrected to avoid leaking onto ground by foundation when using.



Item 21 - Picture 1



Item 21 - Picture 2

Water Heater - Safety

- ☒ 22. SAFETY / HEALTH:** The temperature pressure relief valve has a rusted or frozen center valve stem. This may prevent the valve from operating as desired to reduce dangerous pressure within the heater. This is a potential safety issue. Recommend a licensed plumber to correct. **NOTE:** T/P drain line from water heater has a drain equipped as required and should be checked and cleared of water periodically. Be prepared to collect water from drain valve. Keeping line dry helps reduce potential of rusting and freeze up of safety valve.

Action Items

Plumbing



Item 22 - Picture 1

Sprinklers

23. SERVICE / REPAIR: Various defects found in lawn sprinkler system such as Heads found spraying the house, and should be thoroughly reviewed and repaired as necessary to operate as designed. Recommend having seller demonstrate specific features of this system including cut off valve (usually in the lawn near the street), winterizing procedures and location of solenoids.



Item 23 - Picture 1



Item 23 - Picture 2



Item 23 - Picture 3



Item 23 - Picture 4



Item 23 - Picture 5



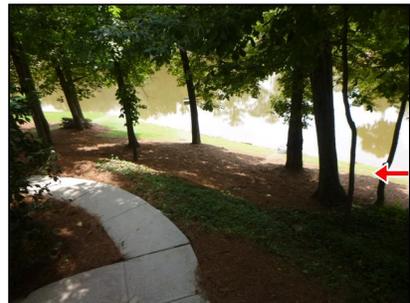
Item 23 - Picture 6



Item 23 - Picture 7



Item 23 - Picture 8



Item 23 - Picture 9

Action Items

Electrical

Wiring

- ❌ 24. **SAFETY / HEALTH:** Electrical circuits in attic found to have been damaged by rodents mainly on the lower attic master side. Exposed circuits have the potential of arcing that produces heat. Proper repair includes replacing wiring of same size and type through extent of damage and providing splice connections enclosed in junction box. (Consult electrician for proper and safe repair process). Electrical tape only advised for minor damage closely reviewed on outer insulating sheathing.



Item 24 - Picture 1



Item 24 - Picture 2

GFCI / AFCI Devices

- ❌ 25. **SAFETY / HEALTH:** GFCI receptacle measured dead at Front porch and would not reset. All other resets throughout property were checked to verify reset and would recommend having electrician review and correct as necessary.



Item 25 - Picture 1



Item 25 - Picture 2

- ❌ 26. **SAFETY / HEALTH:** GFCI protection is missing at Deck, Master bathroom wall. GFCI (ground fault circuit interrupter) protected devices required to be installed at this/these location(s) when originally built for protection from electrical shock. Have corrected by qualified electrician.



Item 26 - Picture 1



Item 26 - Picture 2

Receptacles

- ❌ 27. **SERVICE / REPAIR:** Inoperable receptacles observed at Master tub (tempered) and Master closet front. Recommend a licensed electrician to evaluate the condition and correct for compliance.

Action Items

Electrical



Item 27 - Picture 1



Item 27 - Picture 2

- ☒ 28. **GENERAL NOTE:** Receptacles in at least two of upstairs bedrooms has one half live and the other one dead. Often found in switched devices but not wired that way.



Item 28 - Picture 1



Item 28 - Picture 2



Item 28 - Picture 3



Item 28 - Picture 4



Item 28 - Picture 5



Item 28 - Picture 6

Fixtures

- ☒ 29. **SERVICE / REPAIR:** Inoperable lights observed at the time of inspection at: 1) Jack & Jill bathroom fan. Replace bulbs and verify that the fixture is operational. If not, consult an electrician for repairs.



Item 29 - Picture 1

Action Items

Electrical

- ❌ 30. **SERVICE / REPAIR:** Damage noted in light fixture on accent wall at left side of house front. Recommend having repaired or replaced.



Item 30 - Picture 1

- ❌ 31. **SERVICE / REPAIR:** Can light found loose and should have trim ring mounting flush to ceiling at Master bathroom. Recommend condition be corrected to prevent stress on wires and the potential for electrical shock/short.



Item 31 - Picture 1

Comments

- ❌ 32. **SERVICE / REPAIR:** Door bell operates through an app and should either be given information on transferring to new owner OR have device removed and restore the standard door bell system.



Item 32 - Picture 1

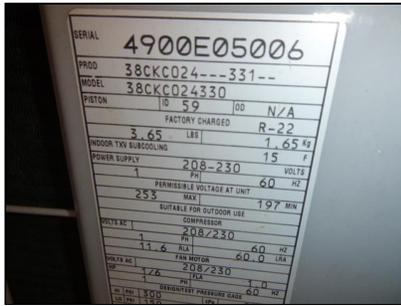
Heating and Cooling

Air Conditioner

- ❌ 33. **GENERAL NOTE:** The Basement A/C system is at the end of its expected life span. (20 years old). Replacement may be necessary in the near future and can be expected to be a significant expense.

Action Items

Heating and Cooling



Item 33 - Picture 1

- ❌ 34. **SERVICE / REPAIR:** The condensation drain line terminates next to the building. This will release a considerable amount of water next to the foundation. Recommend the drain line be extended to terminate at least three feet from the foundation and beyond the A/C condensation units. This is also to reduce conducive conditions for termites.



Item 34 - Picture 1

- ❌ 35. **SERVICE / REPAIR:** Tipping the compressors more than 10 degrees can damage the unit and voids the manufacturers warranty. Unit(s) should be leveled. **ALSO:** Shrubs or other vegetation found too close to A/C units outside and should be trimmed back or relocated to give equipment at least 12 inches of clearance required for design performance.



Item 35 - Picture 1



Item 35 - Picture 2

- ❌ 36. **SERVICE / REPAIR:** Refrigerant line insulation is damaged / missing. Replace and repair to prevent condensation and energy loss during operation.

Action Items

Heating and Cooling



Item 36 - Picture 1



Item 36 - Picture 2



Item 36 - Picture 3

Heating System

- ❌ 37. **SERVICE / REPAIR:** The Basement and Living level furnace are 20 years old where the average life expectancy is 17 to 22 years. There is a limited view of the furnace heat exchanger without a physical tear down and because of the age of the equipment, a HVAC service technician should evaluate the unit(s) periodically and advise condition (which may include replacing at some point in the future). Consider budgeting for replacement or have warranty program established. Also have CO detector installed in sleeping areas where older system serves for added safety.



Item 37 - Picture 1



Item 37 - Picture 2

- ❌ 38. **SERVICE / REPAIR:** There is considerable dust and dirt found on blower fins and motor seen from return plenum. Have HVAC service clean and lube as necessary to allow system to operate properly, efficient and safely.



Item 38 - Picture 1



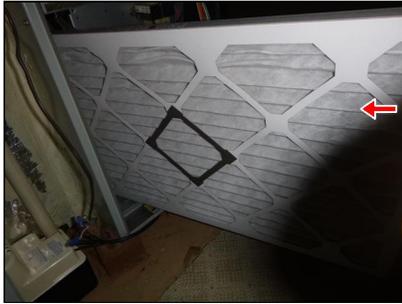
Item 38 - Picture 2

Filter / Accessories

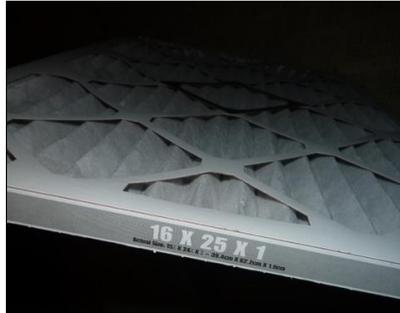
- ❌ 39. **SERVICE / REPAIR:** Filters dirty and should be replaced now and every 2 to 3 months at all three units. Size for units are (2) 16 x 25 x 1, 14 x 25 x 1.

Action Items

Heating and Cooling



Item 39 - Picture 1



Item 39 - Picture 2



Item 39 - Picture 3



Item 39 - Picture 4



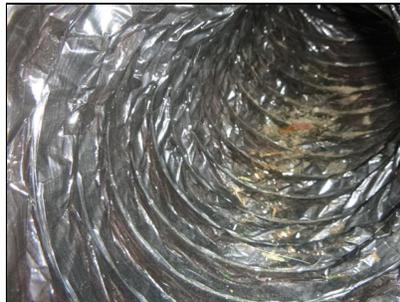
Item 39 - Picture 5

Distribution System

- ❌ 40. **SAFETY / HEALTH:** Debris within floor registers is limited but would recommend having vacuumed to reduce spread of dust during system operation. Although duct cleaning is available professionally, would at least have shop vacuumed to reduce dust.



Item 40 - Picture 1



Item 40 - Picture 2



Item 40 - Picture 3



Item 40 - Picture 4

Action Items

Attic

Attic Access

- ❌ 41. **SAFETY / HEALTH:** The pull down stairs to attic is damaged, fails to close completely and is possibly beyond the point of repair. Have reviewed by carpenter and repaired OR replaced as necessary to provide normal and safe ascent to attic level for storage purposes.



Item 41 - Picture 1



Item 41 - Picture 2



Item 41 - Picture 3

- ❌ 42. **SERVICE / REPAIR:** Door(s) to attic is/are not insulated and less effective in preventing heat loss. Missing insulation on one at upstairs bedroom. Recommend having an effort made to make more energy efficient between conditioned and unconditioned spaces.



Item 42 - Picture 1

Attic Insulation

- ❌ 43. **SERVICE / REPAIR:** Insulation matted and value reduced by animal activity and trails in attic. Insulation value should be restored by matted conditions to at least amount required when built. The code has listed R-30 as the bench mark to achieve for nearly the last 20 years.

Action Items

Attic



Item 43 - Picture 1



Item 43 - Picture 2



Item 43 - Picture 3



Item 43 - Picture 4

- ❌ 44. **SERVICE / REPAIR:** Insulation between studs in framed wall is missing / out of place at many locations around attic spaces. Recommend insulation be restored with vapor barrier toward heated space to meet required energy conservation.



Item 44 - Picture 1



Item 44 - Picture 2



Item 44 - Picture 3

- ❌ 45. **SERVICE / REPAIR:** Insulation missing in one large area above Master. Either a step through or renovation revision.



Item 45 - Picture 1

Attic Ventilation

Action Items

Attic

- ❌ 46. **SERVICE / REPAIR:** Damaged attic vent screens observed. Repairs are necessary to prevent pest entry. Replace any screens that have hole or tears. NOTE: There is hardware cloth installed over louvers seen from outside.



Item 46 - Picture 1



Item 46 - Picture 2

Interiors

Doors

- ❌ 47. **SERVICE / REPAIR:** Screws in hinges at Laundry found to be stripped (failed to tighten with screw driver). Have modified to provide adequate holding to door casing which could result in further damage under normal use.



Item 47 - Picture 1

- ❌ 48. **SERVICE / REPAIR:** Adjust or modify door assembly to latch when closed at Front Middle Bedroom closet.



Item 48 - Picture 1

Windows

- ❌ 49. **MAJOR DEFECT:** Condensation and / or hazing was noted between insulated window panes. - Location: 1-2) Master tub, 3) Family room picture window, 4) Keeping room transoms - The thermopane insulated glass has lost its vacuum seal and may eventually completely cloud over. Broken seals also reduce the original insulation value of the window. (Dirty windows should be cleaned to assure that conditions do not exist in other units and

Action Items

Interiors

were not obvious at time of inspection.) Recommend replacement of all damaged windows listed plus any others throughout house that may be identified by glass service.



Item 49 - Picture 1



Item 49 - Picture 2



Item 49 - Picture 3



Item 49 - Picture 4

- ❌ 50. **SAFETY / HEALTH:** Although most windows tested do open with some effort, paint causes many to stick and should be modified to open normally for the average person.



Item 50 - Picture 1

- ❌ 51. **SERVICE / REPAIR:** The counter balance device(s) installed in window sash located at Breakfast do not function correctly to keep in raised position when opened - effectively causing sash to be unbalanced or to drop when raised. Repair unit or have replaced for safety, especially if electing to open windows routinely.



Item 51 - Picture 1

Action Items

Interiors

- ❌ 52. **SERVICE / REPAIR:** Recommend having damaged window latch replaced at Master bedroom. Recommend having latch installed at upper Foyer unit.



Item 52 - Picture 1



Item 52 - Picture 2

Ceiling Fan / Whole House Fan

- ❌ 53. **SERVICE / REPAIR:** Ceiling fan somewhat out of balance at higher speed settings. Correct by balancing to function normally at Bonus room or consider having fixture replaced.



Item 53 - Picture 1

Fireplace

- ❌ 54. **SAFETY / HEALTH:** No permanent fireplace screen installed although a decorative one is in place. Must have some type screen provided when burning especially real wood. If screen is taken when seller, buyer should have one provided before using.



Item 54 - Picture 1



Item 54 - Picture 2

- ❌ 55. **SAFETY / HEALTH:** The chimney flue is dirty at Keeping room, Porch. Have a professional chimney sweep clean the flue for proper operation.

Action Items

Interiors



Item 55 - Picture 1



Item 55 - Picture 2



Item 55 - Picture 3



Item 55 - Picture 4



Item 55 - Picture 5

- ❌ 56. **SAFETY / HEALTH:** Firebrick panel in back wall of firebox has cracking at both wood burning fireplaces. Advise replacement of panel for safety to avoid panel falling apart during use.



Item 56 - Picture 1



Item 56 - Picture 2



Item 56 - Picture 3



Item 56 - Picture 4



Item 56 - Picture 5

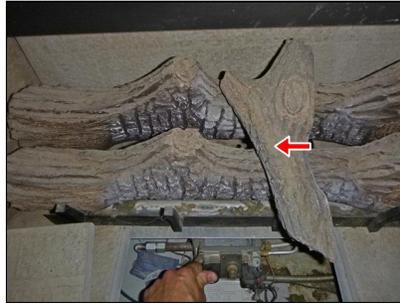
- ❌ 57. **SERVICE / REPAIR:** Could get the pilot to light but would not stay on after thermocouple is warmed up. Have reviewed by fireplace service technician and repaired to operate properly.

Action Items

Interiors



Item 57 - Picture 1



Item 57 - Picture 2



Item 57 - Picture 3



Item 57 - Picture 4

Comments

- ☒ 58. **SERVICE / REPAIR:** Shelving in upstairs hall closet found held up with screw drivers. Recommend a more formal repair.



Item 58 - Picture 1

Kitchen

Food Waste Disposer

- ☒ 59. **SERVICE / REPAIR:** Conduit installed on disposal wiring under sink found to have a threaded connection outside of junction box. Have corrected for safety.

Action Items

Kitchen



Item 59 - Picture 1



Item 59 - Picture 2

Bathrooms

Toilets

- ❌ 60. **SERVICE / REPAIR:** The toilet base bolts are missing caps on toilet located at Master bathroom. Have installed where missing to protect metal from corrosion.



Item 60 - Picture 1



Item 60 - Picture 2

- ❌ 61. **SERVICE / REPAIR:** Toilet tank loose at bolt connection of tank to base mounting located at Basement bathroom. Recommend securing of bolt assembly by plumber to avoid resulting in leaking.



Item 61 - Picture 1



Item 61 - Picture 2

Sinks

- ❌ 62. **SERVICE / REPAIR:** Aerator in faucet of 1) Half bathroom, 2) Jack & Jill bathroom sink missing and should be replaced to operate as designed and avoid wasting water.

Action Items

Bathrooms



Item 62 - Picture 1



Item 62 - Picture 2

- ❌ 63. **SERVICE / REPAIR:** Drain assembly found to leak below Upstairs private bathroom sink when filled with water and then drained. Recommend a licensed plumber to correct.



Item 63 - Picture 1



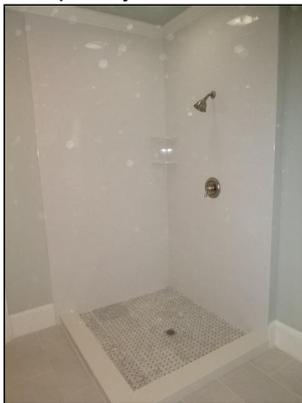
Item 63 - Picture 2



Item 63 - Picture 3

Tub / Shower walls and surround

- ❌ 64. **SERVICE / REPAIR:** The glass enclosure for the shower is not installed at time of this inspection at the Master bathroom. Verify conditions once installed confirming that tempered glass is used and that assembly has been adequately sealed from the inside to resist leaking outside of enclosure. Seal opening in grout below threshold.



Item 64 - Picture 1



Item 64 - Picture 2



Item 64 - Picture 3

- ❌ 65. **SERVICE / REPAIR:** Caulk and / or regrout tile corner joints in tub and shower areas including intersection to floor tile. Open cracks can allow moisture intrusion which can weaken tile conditions. IRC Section P2705 Installation #3, water tight where contact with walls.

Action Items

Bathrooms



Item 65 - Picture 1



Item 65 - Picture 2

Consideration Items

Structure

Basement - Access

66. **GENERAL NOTE:** Storage noted in basement limits the ability to survey all areas. Recommend having space reviewed prior to closing to verify that conditions look normal.



Item 66 - Picture 1

Basement - Moisture Intrusion

67. **GENERAL NOTE:** There appears to have been efforts made to manage or prevent seepage through to basement area. Have warrantee information provided to buyer for future reference.



Item 67 - Picture 1

Exterior

Windows

68. **GENERAL NOTE:** Screens found stored at time of inspection. Correct number and correct sizes including which one goes where not determined during inspection.



Item 68 - Picture 1



Item 68 - Picture 2

69. **GENERAL NOTE:** Window plant boxes have an attractive appeal but can hide moisture damage. Consider a look without them.

Consideration Items

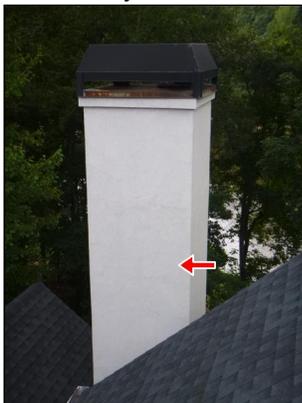
Exterior



Item 69 - Picture 1

Stucco

70. **GENERAL NOTE:** Common stucco cracks observed. Because stucco is a concrete-like material some cracking is certain and is not considered significant. Periodic application of a sealant to the cracks is recommended to prevent water entry.



Item 70 - Picture 1



Item 70 - Picture 2



Item 70 - Picture 3

Patio

71. **GENERAL NOTE:** Hairline cracks noted in the slab of patio. Although an unsightly condition, very rarely develop into a significant problem. Causes are either shrinkage and/or minor settling.



Item 71 - Picture 1

Retaining walls

72. **GENERAL NOTE:** Concrete wall blocks used on driveway side of back yard. Limited view but appears solid. Not sure if it had anything to do with driveway issues.

Consideration Items

Exterior



Item 72 - Picture 1



Item 72 - Picture 2



Item 72 - Picture 3

Deck Support Post / Footer

73. **GENERAL NOTE:** Bird nest on top of structures of deck. Consider having deterrent added to limit that habitat.



Item 73 - Picture 1

Roofing

Roof Coverings

74. **GENERAL NOTE:** The roof covering is in the first third of its predicted life span.



Item 74 - Picture 1



Item 74 - Picture 2

Valleys

75. **GENERAL NOTE:** Dead valley and low slope cricket configurations are prone to catching leaves and other debris. Expect to clear routinely to avoid potential leaking conditions.

Consideration Items

Roofing



Item 75 - Picture 1

Gutters / Downspouts / Drain Lines

76. **GENERAL NOTE:** Underground water collection and dispersion for the gutters noted. Because the system is underground we are not able to inspect the drainage or determine its effectiveness. Seek disclosure on where lines terminate and monitor during rains to insure adequate drainage. Have cleared if found blocked.



Item 76 - Picture 1

Comments

77. **GENERAL NOTE:** Satellite dish found mounted to roof but equipment cannot be checked as part of inspection. Have provider consulted if electing to use this equipment. If dish is removed, mounting brackets are usually left in place to limit potential of leaking. If brackets are removed, be sure to have mounting holes sealed up to avoid leaking.



Item 77 - Picture 1

Plumbing

Service Entrance

78. **GENERAL NOTE:** The main water shut off is located front wall of basement. The exterior hose bibb shut off valves are located To the right of main cut off, Basement through access grills on ceiling. Recommend turning off the exterior hose bibbs in the winter and draining the lines to reduce chances of freeze damage to exposed piping. (Recommend having main and exterior cut offs labeled to insure accurate servicing or winterizing - IPC 606.4)

Consideration Items

Plumbing



Item 78 - Picture 1



Item 78 - Picture 2



Item 78 - Picture 3



Item 78 - Picture 4



Item 78 - Picture 5



Item 78 - Picture 6

Exterior Hose Faucets

- 79. **GENERAL NOTE:** Exterior spigot had been run to deck level but appears to have been taken apart. Recommend having removed.



Item 79 - Picture 1



Item 79 - Picture 2

- 80. **GENERAL NOTE:** The exterior faucets should be shut off on the interior of the building during coldest months to avoid freezing which can lead to burst pipes.



Item 80 - Picture 1



Item 80 - Picture 2



Item 80 - Picture 3

Consideration Items

Electrical

Panel / Disconnect

81. **GENERAL NOTE:** Main disconnect is located near meter outside. Cover often fitted with light weight hasp but most people do not have locked.



Item 81 - Picture 1



Item 81 - Picture 2



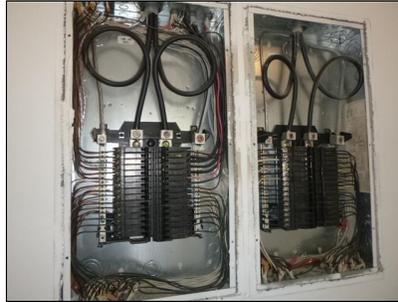
Item 81 - Picture 3

Panel Interior

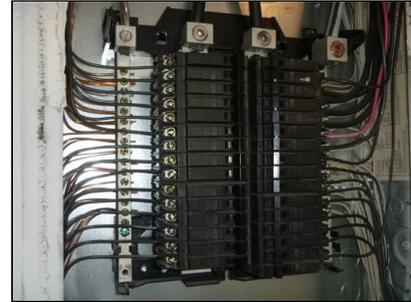
82. **GENERAL NOTE:** The interior of the electrical panel was observed and appears normal.



Item 82 - Picture 1



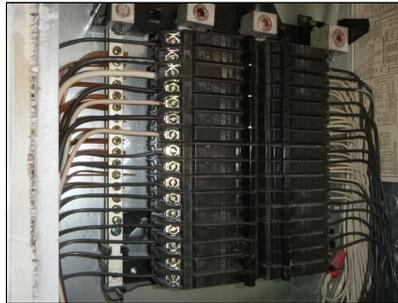
Item 82 - Picture 2



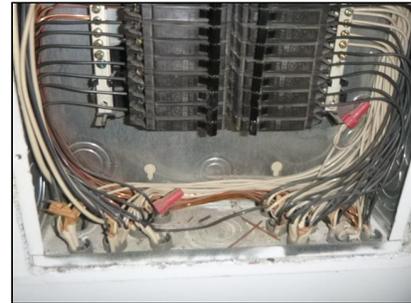
Item 82 - Picture 3



Item 82 - Picture 4



Item 82 - Picture 5



Item 82 - Picture 6

Switches

83. **GENERAL NOTE:** Switch located in Master Bedroom found to operate part of receptacle located within the room to allow for switching on a lamp when entering.

Fixtures

84. **GENERAL NOTE:** Motion sensor / photo cell type light fixtures observed on the exterior. These lights should be verified after dark. Unable to test at time of inspection.

Consideration Items

Electrical



Item 84 - Picture 1

Comments

85. **GENERAL NOTE:** Speaker/wiring installed within home is not reviewed in terms of continuity or to test sound systems. Seek disclosure from seller on information pertaining to the prewiring of locations.



Item 85 - Picture 1

86. **GENERAL NOTE:** House is fitted with security system and appears currently functional. There is no extensive testing done to system during home inspection. Contact a provider to review system if electing to make operational and monitored.



Item 86 - Picture 1

87. **GENERAL NOTE:** Media equipment (if left with property) is beyond the scope of inspection and should have information left with buyer and/or demonstrations made available to orient buyer with equipment that may have special features. If not remaining with property, wall mountings will leave holes that will require repair. Expectations should be agreed upon between buyer and seller.

Consideration Items

Electrical



Item 87 - Picture 1



Item 87 - Picture 2

88. **GENERAL NOTE:** Intercom system located throughout home but reliability should not be expected. This type of equipment is prone to problems.



Item 88 - Picture 1



Item 88 - Picture 2

Heating and Cooling

Air Conditioner

89. **GENERAL NOTE:** Today's requirements for HVAC systems is to install units in pans on basement level where condensate drainage failure could result in flooding finished areas. Consider some form of moisture detection for safety of finished if pan is not provided.



Item 89 - Picture 1



Item 89 - Picture 2

90. **GENERAL NOTE:** Temperature difference measured: 18 -21 degrees, Satisfactory

Consideration Items

Heating and Cooling



Item 90 - Picture 1



Item 90 - Picture 2



Item 90 - Picture 3



Item 90 - Picture 4

Filter / Accessories

91. **GENERAL NOTE:** UV bulbs installed in plenums designed to kill bacteria and viruses. Seek disclosure on maintenance schedule so that next replacement can be scheduled. Warnings exist to avoid viewing exposed bulb and should be off when replacing.



Item 91 - Picture 1

Humidifier

92. **GENERAL NOTE:** Routinely service humidifier for sanitary conditions of unit if electing to use. Media can become dirty allowing fungal growth on damp surfaces. Expect to replace periodically.



Item 92 - Picture 1



Item 92 - Picture 2

Attic

Attic Access

93. **SAFETY / HEALTH:** Walk in level attic spaces without flooring have only drywall between ceiling joists that will not support the weight of someone including a child. For safety, there should be additional flooring or lockable latch on doors.

Consideration Items

Attic



Item 93 - Picture 1



Item 93 - Picture 2

94. **GENERAL NOTE:** Storage items found in attic location which are normally removed prior to closing.



Item 94 - Picture 1



Item 94 - Picture 2

95. **GENERAL NOTE:** There are short attic spaces that do not have access provided. Conditions of framing, roof and insulation cannot be verified. Although not likely to have been required when originally built, would recommend having openings made including doors to close if electing to confirm conditions. [Often spaces can be used for limited storage.]



Item 95 - Picture 1



Item 95 - Picture 2

Attic Insulation

96. **GENERAL NOTE:** Conditions of attic insulation is good for some of areas surveyed.

Consideration Items

Attic



Item 96 - Picture 1



Item 96 - Picture 2



Item 96 - Picture 3

Attic Framing / Construction

97. **GENERAL NOTE:** Staining found in roof deck and framing are believed to be from problems that occurred prior to the roof replacements or repaired. Recommend having monitored during periods of heavy rain to insure that conditions are not active and would require repair.



Item 97 - Picture 1



Item 97 - Picture 2

Rodent / Pests / Insects

98. **GENERAL NOTE:** Appears to have had efforts made to eliminate pest entry into attic spaces. Seek disclosure from seller on this for future reference and have warrantee information provided if available. Traps found in upper attic are two tripped and two set below window front. All empty.

Consideration Items

Attic



Item 98 - Picture 1



Item 98 - Picture 2



Item 98 - Picture 3



Item 98 - Picture 4



Item 98 - Picture 5

Garage

Openers

99. **GENERAL NOTE:** Remote keypad mounted outside of garage provides a method for opening the garage with security of a code. This code number should be provided to buyer or have reprogrammed per manufacturers instructions.



Item 99 - Picture 1

Floor

100. **GENERAL NOTE:** Drill holes in slab of garage generally from previous termite treatment. Unable to verify when this was done and would recommend seeking disclosure from seller for future reference. **ALSO:** Common cracks observed in the concrete surfaces. These are expected and are not generally considered significant. Monitor conditions that should not exceed 1/4 inches width or significant differential settlement.

Consideration Items

Garage



Item 100 - Picture 1



Item 100 - Picture 2



Item 100 - Picture 3

Walls / Ceilings

101. **GENERAL NOTE:** Due to personal objects stored in the garage not all areas were visible. Verification of all conditions by the seller is necessary.



Item 101 - Picture 1

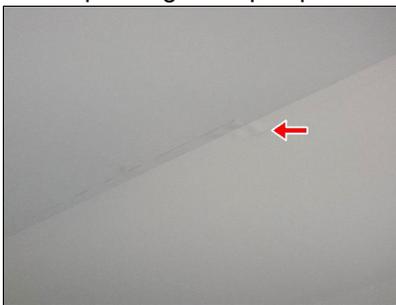
Interiors

Walls / Ceilings

102. **GENERAL NOTE:** There are cosmetic blemishes in drywall such as cracking, exposed tape, nail pops, etc... These are commonly resurfaced prior to repainting to help improve the appearances.



Item 102 - Picture 1



Item 102 - Picture 2

Smoke Detectors / Safety

103. **RECOMMENDED UPGRADE:** Older model smoke detector observed. Manufacturers recommend the replacement of smoke detectors every ten years due to the declining sensitivity of the internal sensors. Consider the combination device that includes CO detection for added safety.

Consideration Items

Interiors



Item 103 - Picture 1



Item 103 - Picture 2

104. **GENERAL NOTE:** Some of smoke detectors within home are type commonly used with security system and would not function if security system is not powered up. If security system is not monitored or powered, be sure that the other detectors are operational.



Item 104 - Picture 1



Item 104 - Picture 2

Stairways

105. **GENERAL NOTE:** Storage areas below stairways are currently required to be finished with at least 1/2 inch drywall installed to all exposed wood surfaces for fire safety. Additionally, no flammable materials should be stored there to avoid resulting in losing primary exiting path during a fire. Another option is to seal off area to prevent access. Although this may not have been a requirement when built or enforced by local authorities, buyers should consider this as a safety upgrade.



Item 105 - Picture 1

Ceiling Fan / Whole House Fan

106. **GENERAL NOTE:** Remote controls for ceiling fans on property should be left with property for buyers use.

Consideration Items

Interiors



Item 106 - Picture 1

Fireplace

107. **GENERAL NOTE:** Remote access to gas valve for fireplace on porch.



Item 107 - Picture 1



Item 107 - Picture 2

Comments

108. **GENERAL NOTE:** Pest control noted in basement. Seek disclosure on history of issues.

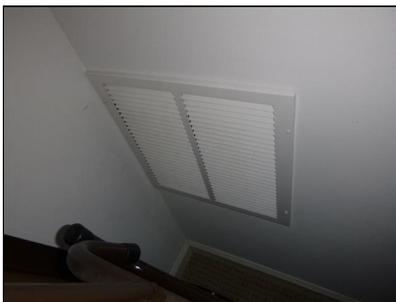


Item 108 - Picture 1

109. **GENERAL NOTE:** Grill behind table in Basement closet. Seek disclosure as to purpose.



Item 109 - Picture 1



Item 109 - Picture 2



Item 109 - Picture 3

Consideration Items

Kitchen

Sink

110. **GENERAL NOTE:** Kitchen sink has a system that permits operation without use of faucet valve. Styles are either touch or touchless activated and operate through batteries in cabinet below. If batteries die, faucet will not operate.



Item 110 - Picture 1



Item 110 - Picture 2

Bathrooms

Bathtubs

111. **GENERAL NOTE:** Chip(s) noted in tub finish at Upstairs private bathroom can be and are recommended to be repaired by tub restoration company.



Item 111 - Picture 1



Item 111 - Picture 2

Laundry

Dryer

112. **GENERAL NOTE:** Dryer energy supply is 4 prong electrical only.



Item 112 - Picture 1

113. **GENERAL NOTE:** Dryer line currently clear but would encourage having checked periodically and cleared when necessary for safety in use. Fire risks exist with dirty or improperly installed dryer lines.

Comments

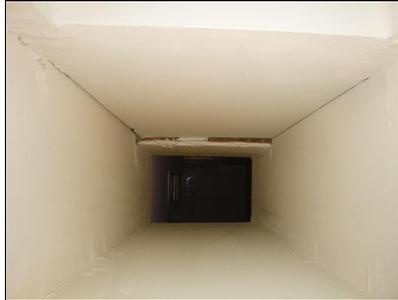
Consideration Items

Laundry

- 114. **GENERAL NOTE:** Laundry chute from upstairs. Should be cautious with children and their desire to see what will go through the chute.



Item 114 - Picture 1



Item 114 - Picture 2



Item 114 - Picture 3

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