

Your Inspection Report

3180 Lynwood Drive
Atlanta, GA 30319

PREPARED FOR:
PRIYANKA SOHANI

INSPECTION DATE:
Wednesday, September 16, 2020

PREPARED BY:
Ben Girard



Home-Probe
315 West Ponce de Leon Ave, Suite 559
Decatur, GA 30030

404-218-1040

www.home-probe.com
info@home-probe.com



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We're more than great home inspections, we go way beyond that.



September 16, 2020

Dear Priyanka Sohani,

RE: Report No. 35642
3180 Lynwood Drive
Atlanta, GA
30319

Thank you for choosing Home-Probe, Inc. to perform your Home Inspection. We hope the experience continues to exceed your expectations.

THE GOAL:

A home inspection identifies the current condition of the property but cannot predict the future. It is intended to discover MAJOR deficiencies that would change your purchasing decision. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy, but please understand a home inspection is not a Technical Audit and does not include a comprehensive list of minor issues. Given the limited time available for a home inspection in the course of a real estate transaction, it could be considered a sampling exercise and a snapshot in time that cannot cover all conditions.

PESTS, termites and rodents are not part of this home inspection. We always recommend consulting a licensed pest control company.

RADON has proven to be an issue in Georgia. We encourage and can provide testing and the EPA recommends all homes be tested in the course of a real estate transaction.

SHARE your experience. We want you to be happy. So much so that we stake our reputation on exceeding your expectations. If there is something we did well or something we can do better, please let us and others know.

SOME water departments in Georgia require certificates confirming the installation of low flow fixtures. If you find yourself in need of these forms please call our office.

WE have a 100 day guarantee in place to protect you in the unlikely event conditions change between now and the time you close on the property.

RELATIONSHIPS- We want to build one with you. Please call us with any questions you may have. For as long as you own your home. Or forever. Whichever is first.

RECALL CHECK - We recommend you search all appliances for a potential recall when you take ownership. We've prepaid for this service on your behalf and provided you a form for submission.

A home inspection is only an overview of a home in its current condition and cannot be all inclusive. It is designed to mitigate risk and cannot eliminate it altogether.

Please feel free to contact us with questions about the report or the home itself any time. Our telephone and e-mail consulting service is available at no cost to you. Please watch for your follow-up e-mail.

Sincerely,

Ben Girard
on behalf of
Home-Probe

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AGREEMENT

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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PARTIES TO THE AGREEMENT

Company

Home-Probe
315 West Ponce de Leon Ave,
Suite 559
Decatur, GA 30030

Client

Priyanka Sohani

This is an agreement between Priyanka Sohani and Home-Probe.

INSPECTION AUTHORIZATION FORM

This home inspection is performed in accordance with the Standards of Practice of American Society of Home Inspectors, hereinafter referred to as ASHI. www.ashi.org By acceptance of this form and your Home Inspection Report you confirm that you have read and understand these Standards. This is a visual examination of the mechanical and physical components of real property identified in the inspection report as they exist at the time of the inspection through visual means and operation of normal user controls. In some instances, we may exceed the standards discussed above in our inspection process and they should be considered the baseline for the consulting service. We will tell you whether each item we inspect is performing its intended function or is in need of immediate repair. If an item is listed in the report and there are no notes, it is considered to be performing properly. We will explain verbally and in writing what we saw about each item. The home inspector does not necessarily possess licenses authorizing the rendering of detailed opinions regarding any or all of the systems, structures, and components of a building. This is not an Official Georgia Wood Infestation Report relating to termites or any other type of rodents or pests. An evaluation by a specialist in that field will be required to determine if there are issues related to wood destroying organisms or other pests.

Outside the Scope of a Home Inspection:

1. We do not make guarantees, representations or insure the performance or condition of any item after the date and time of this inspection. Please remember that almost every component in any house, except new construction, is in used condition and has ordinary wear and tear.
2. We do not inspect any item which we cannot see in a normal inspection. For example, we do not move furniture, floor or wall coverings, or other furnishings. We do not inspect septic tanks, buried pipes or wiring. We do not dismantle equipment to inspect component parts. We do suggest that you ask the owner about repairs, covered up items or previous problems.
3. We do not inspect for formaldehyde, lead, mold, asbestos or other environmental hazards. If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.
4. The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage or the accumulation of water noted anywhere in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling. If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost. These conditions can form in as little as 24 hours. Green Home Solutions is a reputable environmental company and an Indoor Air Quality Assessment can be obtained from them by calling (770) 629-9188.
5. We do not inspect for building codes, soil analysis, gas leaks, adequacy of design, capacity, efficiency, size, value, flood plain, pollution or habitability. Please remember that older houses do not meet the same standard as newer houses even though items in both might be performing functions for which they are intended.

KEY FACTORS

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

The goal of a home inspection is to identify significant issues that would affect the average person's decision to buy a home. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy. When you move into the home you may find some issues not identified in the report. That is to be expected and we suggest you allow roughly 1% of the value of the home annually for this type of maintenance and repair.

It's important to understand and acknowledge that a home with older systems does not mean a poor quality house. Houses are designed to and do last a very long time, but many of the components are consumable. Roofs, heating systems, air conditioning systems and water heaters, for example, wear out and are replaced from time to time.

Exterior

WALLS \ Siding and trim

Condition: • Damaged sill on several windows

Side breakfast area

Master bedroom

Task: Repair As Needed

Time: As Soon As Possible

Cost: Depends on the preferred remedy of repair

Cooling & Heat Pump

AIR CONDITIONING \ Condensate system

Condition: • Leak in condensate system

Visible leak at drain line connection. Drain pan is full of water and rust

Location: Attic

Task: Repair

Time: Immediate

Cost: Minor

Plumbing

WATER HEATER \ Life expectancy

Condition: • Near end of life expectancy

Continue to use the water heater normally and replace when the appliance is no longer functional. Where significant damage from a leak may occur, proactive replacement is recommended.

Task: Prepare for Replacement

Time: Unpredictable

Cost: \$1,000 - \$2,000

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3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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NON-SCOPE	APPENDIX	REFERENCE							

FIXTURES AND FAUCETS \ Toilet

Condition: • [Leak](#)

Water stains noted, this area tested wet at time of inspection. This is an active issue

Location: Guest bath

Task: Correct

Time: As Soon As Possible

Cost: Minor

Interior

FLOORS \ General notes

Condition: • [Water damage](#)

Water stains noted on wood floor at base of toilet.

Location: Guest Bathroom

Task: Repair As Needed

Time: Immediate

Cost: Minor

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

Un-planned repairs or replacements are never welcome, but are part of the 'joy of home ownership'. We encourage you to set up maintenance programs to protect your investment, reduce costs, improve comfort and efficiency, and extend life expectancy. The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

ROOFING

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

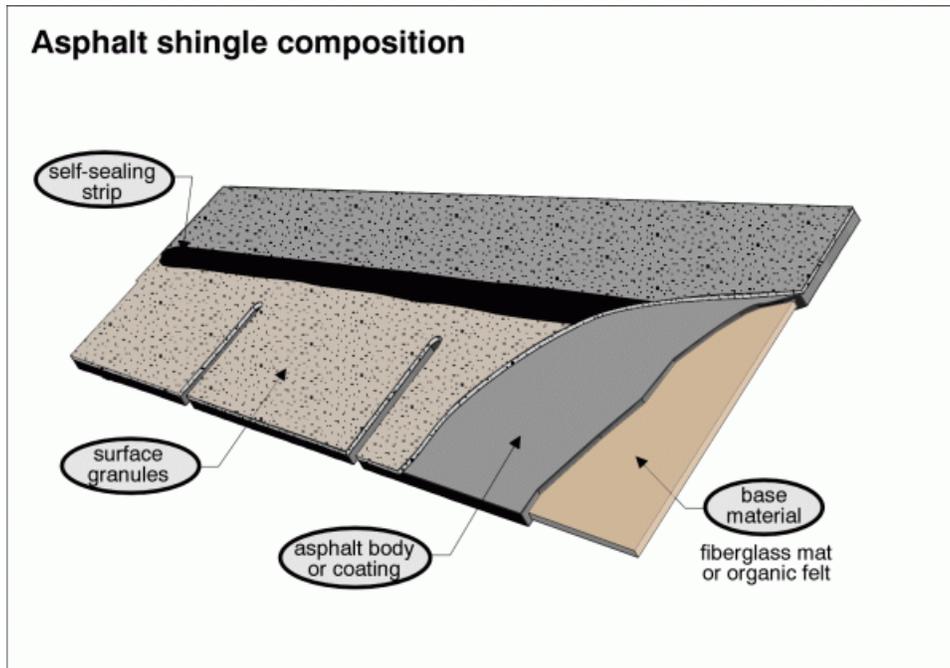
REFERENCE

Description

General: • Our inspection of the readily accessible roof system included a visual examination to determine damage or material deterioration. We walk on the roof only when it is safe to do so and is not likely to damage the roof materials. We look for evidence of roof system leaks and damage. We cannot predict when or if a roof might leak in the future.

Roofing Material:

- Asphalt 3-Tab - Life Expectancy 15-20 Years



1. Asphalt 3-Tab - Life Expectancy 15-20 Years



2. Asphalt 3-Tab - Life Expectancy 15-20 Years

ROOFING

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE



3. Asphalt 3-Tab - Life Expectancy 15-20 Years



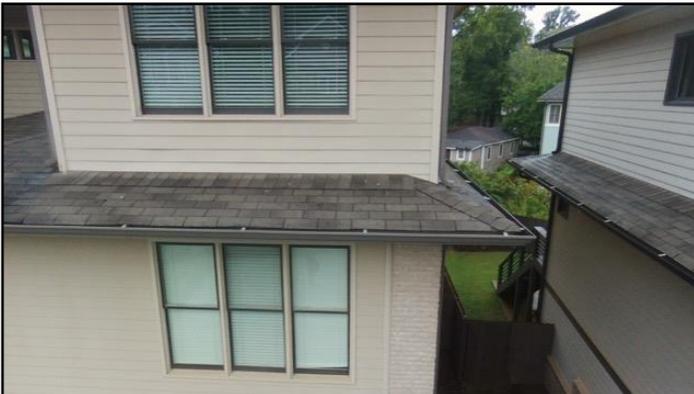
4. Asphalt 3-Tab - Life Expectancy 15-20 Years



5. Asphalt 3-Tab - Life Expectancy 15-20 Years



6. Asphalt 3-Tab - Life Expectancy 15-20 Years



7. Asphalt 3-Tab - Life Expectancy 15-20 Years



8. Asphalt 3-Tab - Life Expectancy 15-20 Years

Approximate age: • 5-10 years

ROOFING

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE

Inspection Methods and Limitations

Inspection performed: • From roof edge • With a drone

Age determined by: • Real estate listing

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Observations and Recommendations

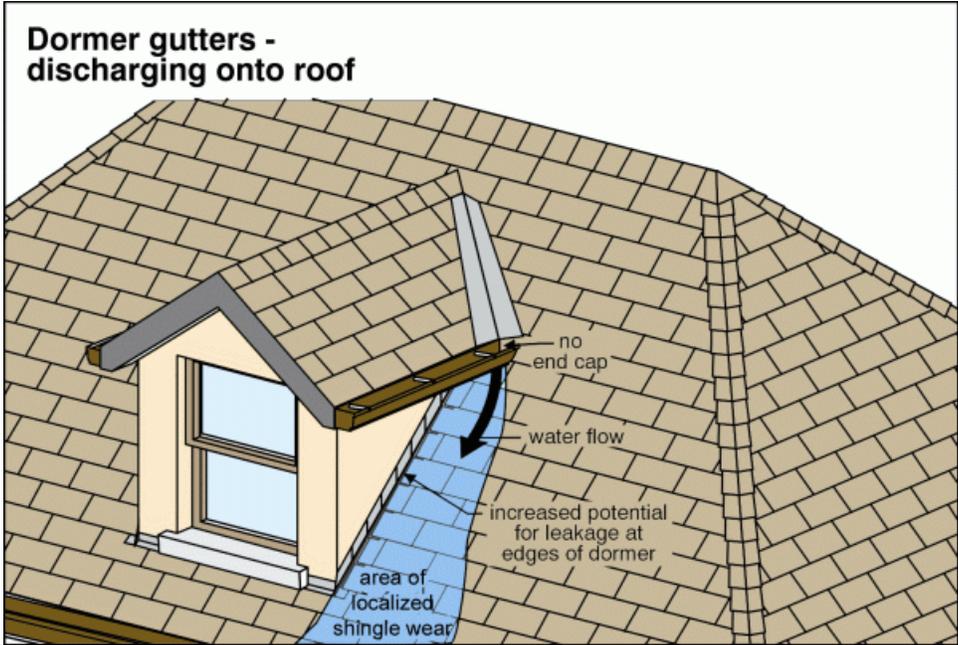
ROOF DRAINAGE \ Gutters and Downspouts

1. **Condition:** • Discharging onto roof covering

Task: Correct

Time: Immediate

Cost: Minor



EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE



9. Discharging onto roof covering

WALLS \ Soffits and fascia (underside of eaves and front edge of eaves)

2. Condition: • Loose/Missing pieces

Location: Outside master

Task: Reinstall pieces where necessary

Time: As Soon As Possible

Cost: Minor

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



10. Loose/Missing pieces



11. Loose/Missing pieces

WALLS \ Siding and trim

3. Condition: • Paint or stain needed

Peeling paint and rust stains noted in several areas

In the process of repairing the areas outlined in this report, it is possible there will be additional areas requiring repair when the process has been started. The photos and locations noted in this report should only be considered representative of the condition and not all encompassing.

Task: Provide

Time: As Soon As Possible

Cost: As a general rule, painting is about \$1,000 per side. Spot repairs may be less and it is unlikely the paint will match.

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



12. *Paint or stain needed*



13. *Paint or stain needed*

4. Condition: • Damaged sill on several windows

Side breakfast area

Master bedroom

Task: Repair As Needed

Time: As Soon As Possible

Cost: Depends on the preferred remedy of repair

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

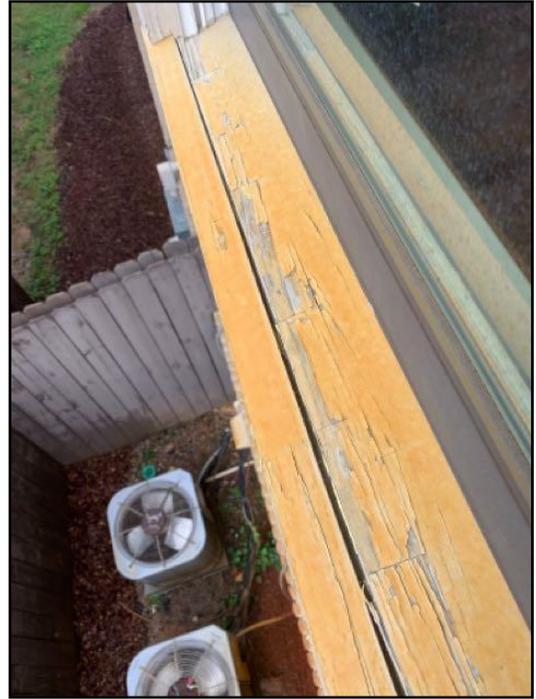
Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



14.



15.



16.



17.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

5. Condition: • [Wood/soil contact](#)

Recommend excavating 6 to 8 inches away from the wood and replace with gravel or like material for drainage.

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Task: Correct
Time: As Soon As Possible
Cost: Minor



18. Wood/soil contact

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

6. Condition: • Poor Bearing at top or bottom of stair stringer

Location: front steps

Task: Consult with a qualified contractor

Time: As Soon As Possible

Cost: Depends on the preferred remedy of repair

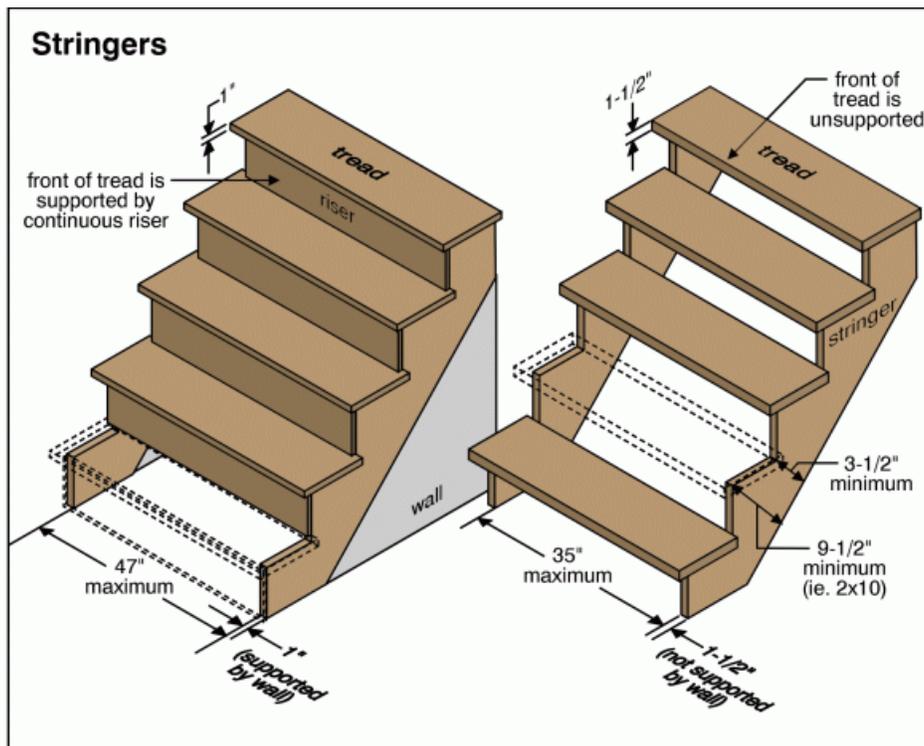
EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

www.home-probe.com

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



19. Poor Bearing at top or bottom of stair...



20. Poor Bearing at top or bottom of stair...

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

7. Condition: • Balusters/spindles climbable

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

www.home-probe.com

KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE

Task: Be Advised

Time: Ongoing



21. *Balusters/spindles climbable*

LANDSCAPING \ General notes

8. Condition: • Cracked or Damaged Surfaces

Task: Repair As Needed

Time: Discretionary

Cost: \$5 to \$7 per square foot to pour concrete

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



22. Cracked or Damaged Surfaces

9. Condition: • Drainage system for retaining wall is missing

A proper installation of a retaining wall will allow drainage of any water trapped on the back side of the wall. Without drainage, pressure can build on the wall. The process of installing drainage after the fact is usually cost prohibitive and monitoring is recommended.

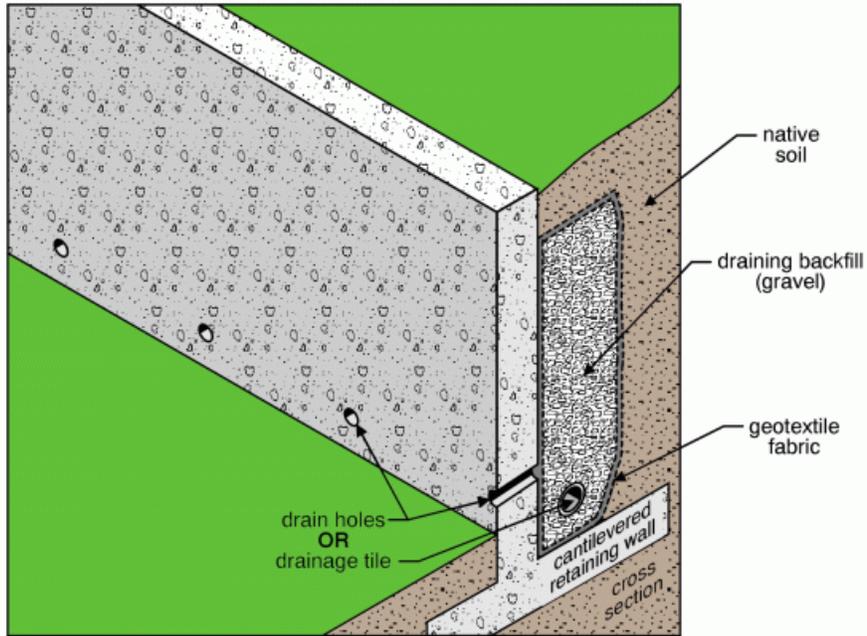
Recommend sealing gaps at driveway drain near exterior corner of garage.

Task: Be Advised Monitor

Time: Ongoing

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Drainage is important



23. Drainage system for retaining wall is missing



24. Drainage system for retaining wall is missing

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE

Description

Gutter & downspout material: • Aluminum/Galvanized

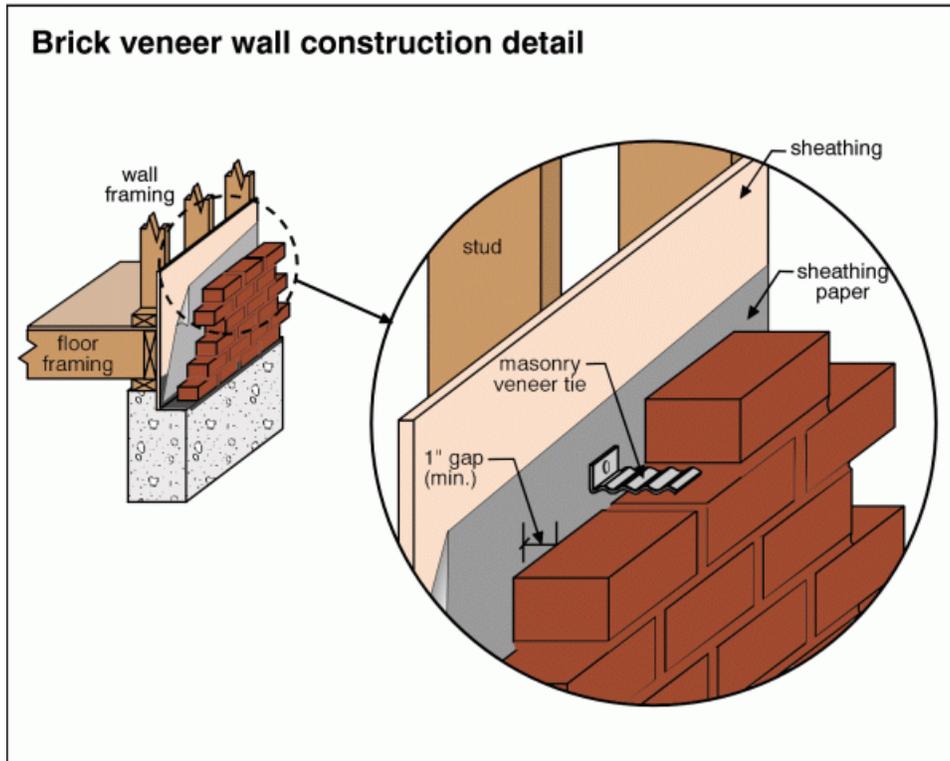
Downspout discharge: • [Below grade](#) • [Above grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Wood](#)

Wall surfaces and trim:

- Fiber cement siding
- Brick



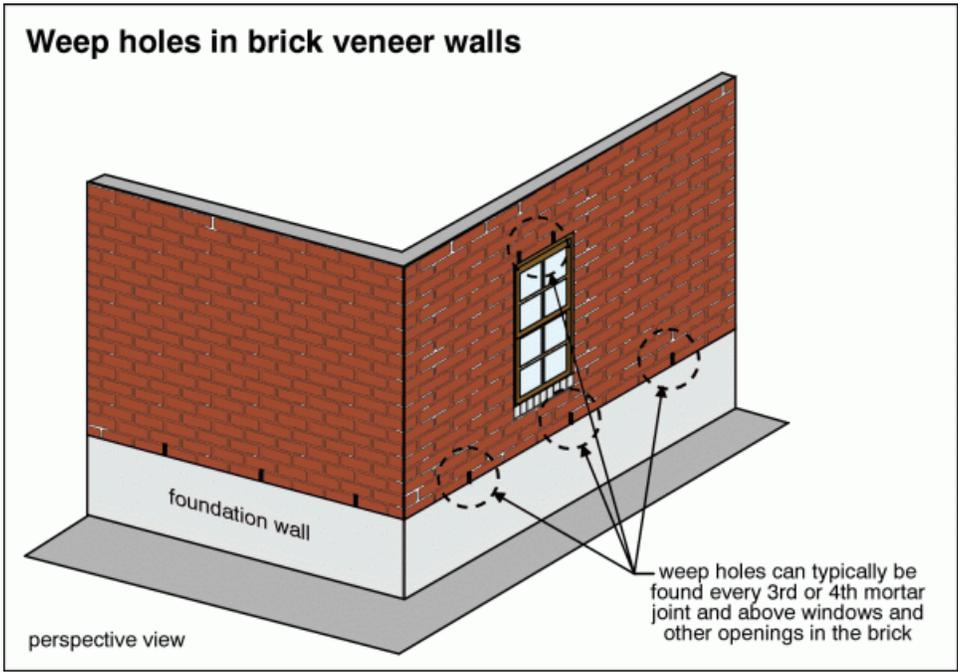
EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



Retaining wall: • [Masonry](#)

Deck: • Raised - Wood

Exterior steps: • Pressure-treated wood

Inspection Methods and Limitations

Inspection limited/prevented by: • Ceiling under deck

EXTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

www.home-probe.com

KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE



25.

Exterior inspected from: • Ground level

STRUCTURE

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Description

General: • Our inspection of the structure included a visual examination of the exposed, readily accessible portions of the structure. These items were examined for visible defects, excessive wear, and general condition. Many structural components are inaccessible because they are buried below grade or are behind finished surfaces. Therefore, much of the inspection was performed by looking for visible symptoms of movement, damage and deterioration. Where there are no symptoms, conditions requiring further review or repair may go undetected and identification is not possible without destructive testing.

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Wood I-joists](#) • Subfloor - Not Visible and cannot be inspected or identified.

Exterior wall construction: • Wood frame / Brick (masonry) veneer

Roof and ceiling framing: • Rafters/ceiling joists • [Oriented Strand Board \(OSB\) sheathing](#)

Inspection Methods and Limitations

Inspection limited/prevented by:

- Storage



26. Storage

- Insulation

STRUCTURE

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



27. Insulation



28. Insulation

• We make no representations as to the internal conditions or stability of soils, concrete footings and foundations, except as exhibited by their performance. We cannot predict when or if foundations or roofs might leak in the future.

Percent of foundation not visible: • 90 %

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Observations and Recommendations

DISTRIBUTION SYSTEM \ Lights

10. Condition: • Cannot find control for under mount cabinet lighting

Location: Kitchen

Task: Repair As Needed

Time: As Soon As Possible

Cost: Minor

Description

General: • Our inspection of the electrical system included a visual examination of readily accessible components including a random sampling of electrical devices to determine adverse conditions and improper wiring methods, grounding, bonding and overcurrent protection. Performing voltage tests, load calculations or determining the adequacy of the electrical system for future usage is outside the scope of this inspection. Telephone, video, audio, security system, landscape lighting, and other low voltage wiring was not included in this inspection unless specifically noted. It is recommended that smoke detectors be tested at least monthly for proper operation. Those that are older than 10 years should be replaced.

Service entrance cable and location: • Underground - cable material not visible

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box type and location:

• [Breakers - exterior wall](#)



29. Breakers - exterior wall

- KEY FACTOR
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL**
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- NON-SCOPE
- APPENDIX
- REFERENCE

System grounding material and type: • [Copper - Ufer](#)

Distribution panel type and location:

- [Breakers - utility room](#)



30. Breakers - utility room

Distribution panel rating: • [200 Amps](#)

Distribution wire (conductor) material and type:

- [Copper - non-metallic sheathed](#)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



31. Copper - non-metallic sheathed

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - basement](#) • [GFCI - exterior](#) • [GFCI - garage](#) • [GFCI - kitchen](#) • [AFCIs present](#)

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • Combination smoke/CO alarm(s) noted

Inspection Methods and Limitations

Panel covers: • Panel covers are removed to inspect internal components unless otherwise noted in this report.

HEATING

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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- KEY FACTOR
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- NON-SCOPE
- APPENDIX
- REFERENCE



35. High-Efficiency Gas Furnace - 15-20 Years...



36. High-Efficiency Gas Furnace - 15-20 Years...



37. High-Efficiency Gas Furnace - 15-20 Years...

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [60,000 BTU/hr](#) • [65,000 BTU/hr](#)

HEATING

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

www.home-probe.com

KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE

Exhaust venting method: • [Direct vent](#)

Approximate age: • [8 years](#)

Main fuel shut off at: • Meter (Exterior Wall)

Supply temperature: • 135°

Air filter:

• 16" x 25"



38. 16" x 25"

Exhaust pipe (vent connector): • Double wall (Type B Vent) • PVC plastic

Auxiliary heat: • N/A

Fireplace/stove: • [Gas logs](#)

Inspection Methods and Limitations

General: • Interior of the ductwork is not inspected as part of this inspection.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Observations and Recommendations

AIR CONDITIONING \ Condensate system

11. Condition: • Leak in condensate system

Visible leak at drain line connection. Drain pan is full of water and rust

Location: Attic

Task: Repair

Time: Immediate

Cost: Minor



39. Leak in condensate system

Description

General: • Our inspection of the heating and cooling system included a visual examination of the system's major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include a load calculation test or a flow rating test, therefore the capacity of the system is not evaluated for adequacy.

Unless otherwise noted in the report, this is considered to be a split system.

Air conditioning type:

- AC - Air cooled

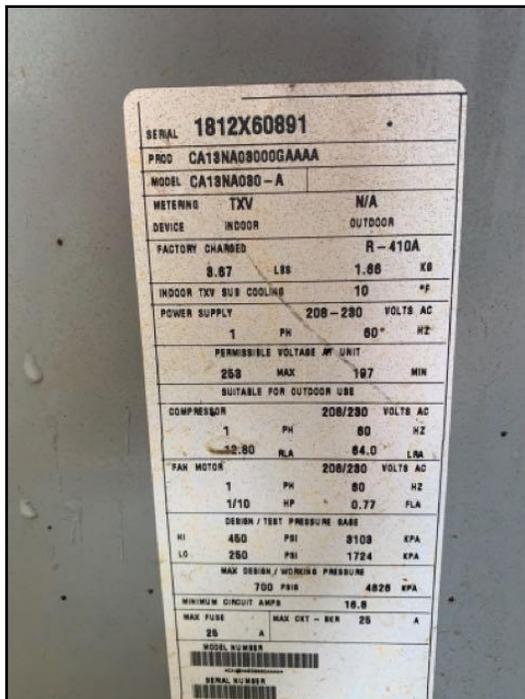
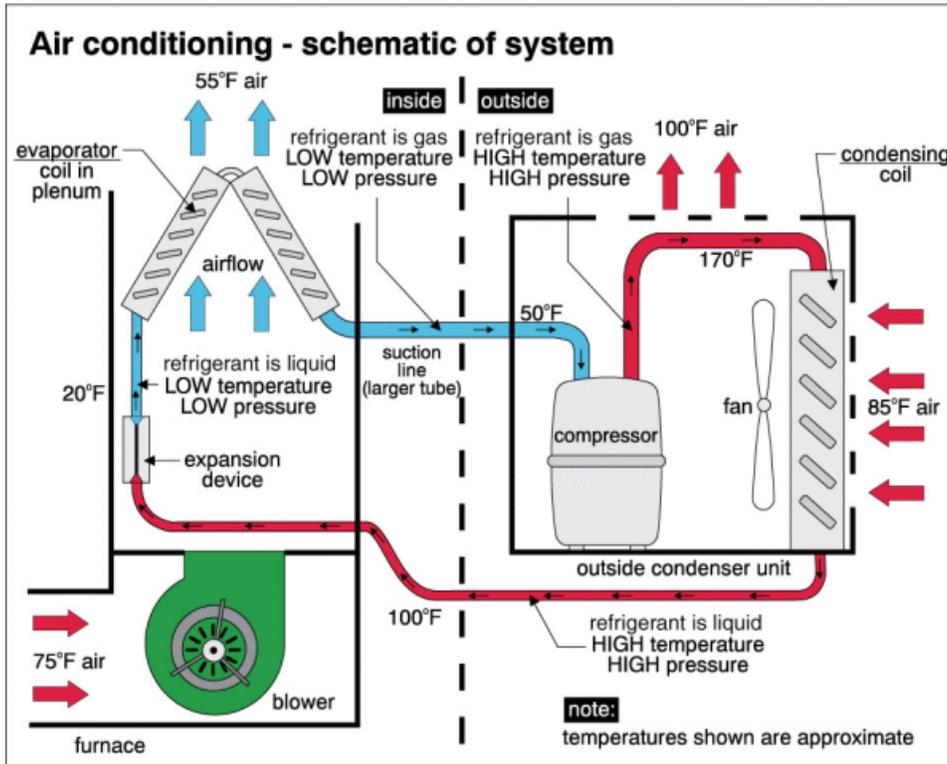
COOLING & HEAT PUMP

3180 Lynwood Drive, Atlanta, GA September 16, 2020

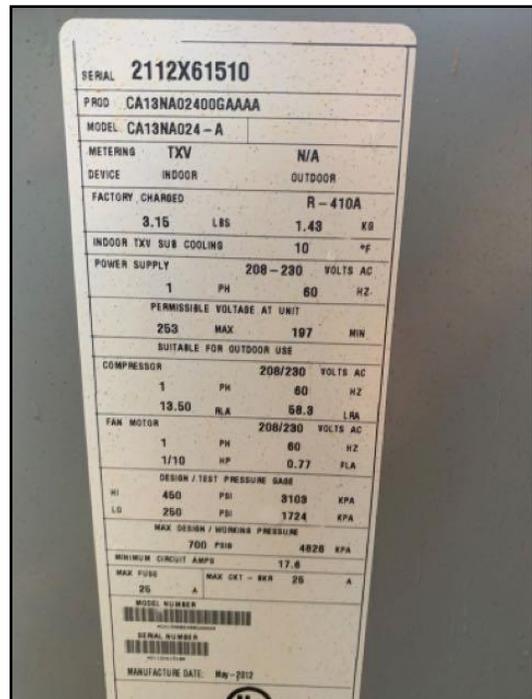
Report No. 35642

www.home-probe.com

- KEY FACTOR
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- NON-SCOPE
- APPENDIX
- REFERENCE



40. AC - Air cooled



41. AC - Air cooled

Cooling capacity: • 2 Tons • 2.5 Tons

COOLING & HEAT PUMP

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

www.home-probe.com

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Compressor approximate age: • 8 years

Typical life expectancy: • 10 to 15 years

Temperature difference: • 14° - Acceptable temperature difference is between 14° and 22°. This system is performing as intended. • 15° - Acceptable temperature difference is between 14° and 22°. This system is performing as intended.

Refrigerant type: • [R-410A](#)

INSULATION AND VENTILATION

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

www.home-probe.com

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Description

- Attic/roof insulation material:** • [Glass fiber](#)
- Attic/roof insulation amount/value:** • R-30
- Attic/roof ventilation:** • Ridge and Soffit Vents • [Power ventilator](#)
- Floor above basement/crawlspace insulation material:** • [Glass fiber](#)
- Floor above basement/crawlspace air/vapor barrier:** • N/A
- Crawlspace ventilation:** • N/A

Inspection Methods and Limitations

- Attic inspection performed:** • By entering attic, but access was limited
- Crawlspace inspection performed:** • N/A

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Observations and Recommendations

SUPPLY PLUMBING \ Water supply piping in building

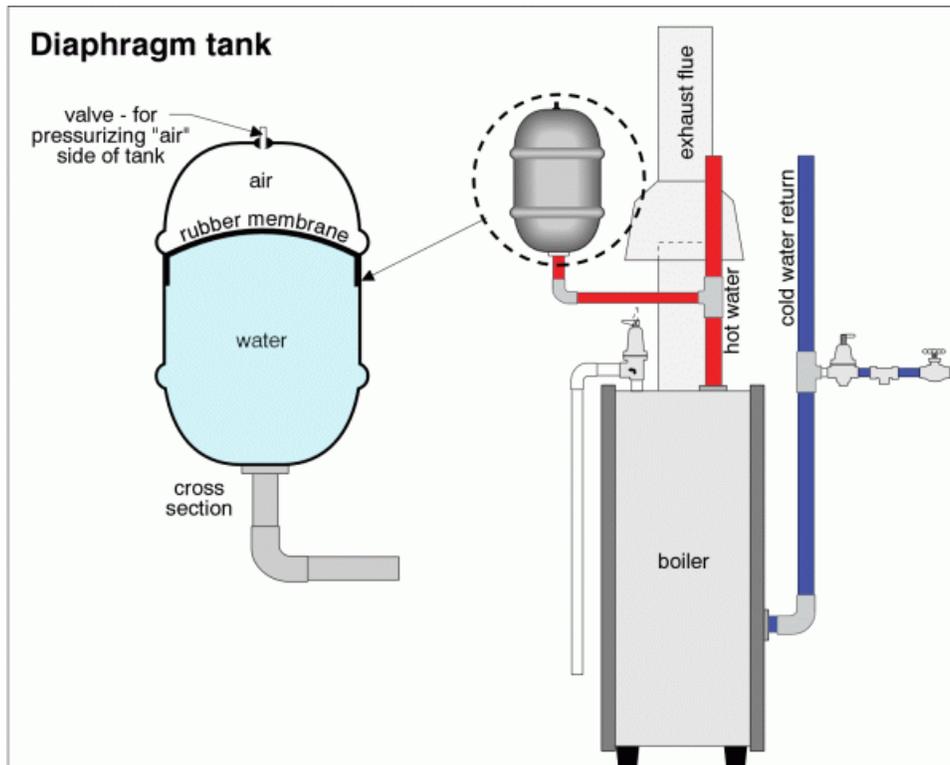
12. Condition: • [No thermal expansion tank found](#)

No thermal expansion tank and no other means of thermal expansion release found on the main plumbing line. This has been required in most municipalities since 2001 and should be installed.

Task: Provide

Time: As Soon As Possible

Cost: Minor



WATER HEATER \ Life expectancy

13. Condition: • Near end of life expectancy

Continue to use the water heater normally and replace when the appliance is no longer functional. Where significant damage from a leak may occur, proactive replacement is recommended.

Task: Prepare for Replacement

Time: Unpredictable

Cost: \$1,000 - \$2,000

FIXTURES AND FAUCETS \ Bathtub/Shower Stall

14. Condition: • Caulking/Grout missing and or deteriorated

Previous repairs noted.

Location: Master

Task: Caulking Needed

Time: As Soon As Possible

PLUMBING

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Cost: Regular maintenance item



42. Caulking/Grout missing and or deteriorated



43. Caulking/Grout missing and or deteriorated



44. Caulking/Grout missing and or deteriorated

FIXTURES AND FAUCETS \ Toilet

15. Condition: • [Leak](#)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Water stains noted, this area tested wet at time of inspection. This is an active issue

Location: Guest bath

Task: Correct

Time: As Soon As Possible

Cost: Minor



45. Leak

Description

General: • Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage, and general state of repair. Plumbing leaks can be present but not evident in the course of a normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or private (septic) waste disposal systems unless specifically noted.

Service piping into building: • [Plastic](#)

Supply piping in building: • CPVC (Chlorinated PolyVinylChloride)

Main water shut off valve at the:

- Basement

PLUMBING

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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- KEY FACTOR
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING**
- INTERIOR
- NON-SCOPE
- APPENDIX
- REFERENCE



46. Basement

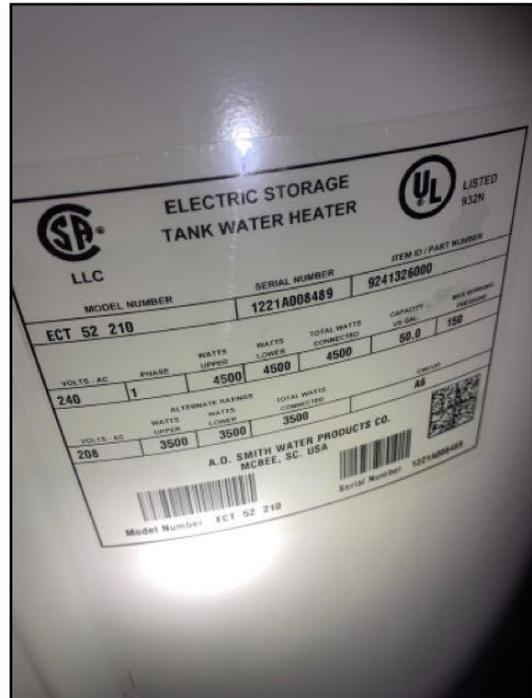
Water flow and pressure: • 50 - 55 psi (Between 40 and 80 psi is acceptable)

Water heater type:

- Conventional (Tank) Electric Fuel - 8-12 Years Life Expectancy



47. Conventional (Tank) Electric Fuel - 8-12...



48. Conventional (Tank) Electric Fuel - 8-12...

PLUMBING

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

- Water heater tank capacity:** • 50 gallons
- Water heater approximate age:** • 8 years
- Waste and vent piping in building:** • [PVC plastic](#)
- Pumps:** • None

Inspection Methods and Limitations

- Items excluded from a building inspection:** • Underground waste or sanitary sewer pipes outside of the foundation of the building.
- Washing machine supply faucets and drain are not tested.

INTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE

Observations and Recommendations

FLOORS \ General notes

16. Condition: • [Water damage](#)

Water stains noted on wood floor at base of toilet.

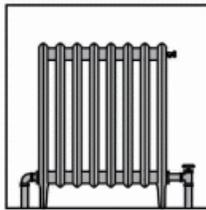
Location: Guest Bathroom

Task: Repair As Needed

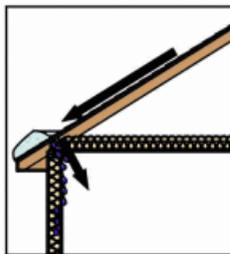
Time: Immediate

Cost: Minor

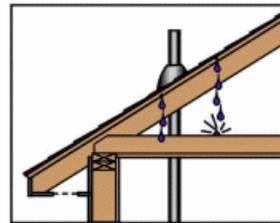
Sources of interior water damage



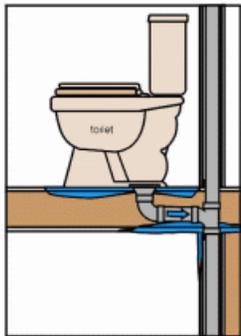
heating leaks



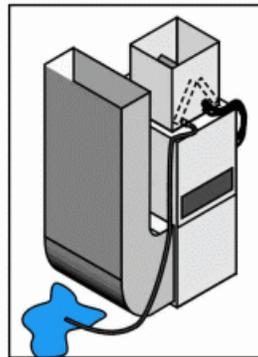
ice damming and condensation



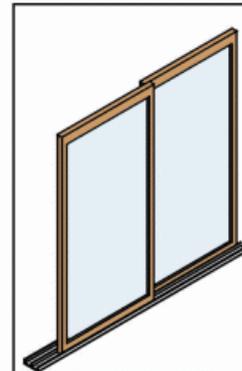
roof or flashing leaks



plumbing leaks



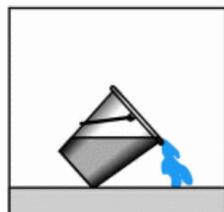
air conditioning leaks



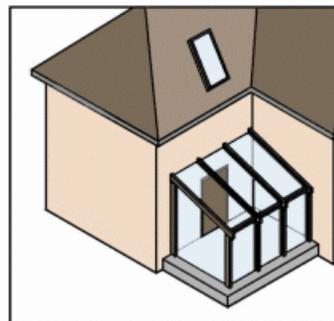
door leaks



melting snow



accidental spills



wall, window, solarium and skylight leaks

INTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

www.home-probe.com

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NON-SCOPE	APPENDIX	REFERENCE							



49. Water damage

WINDOWS AND DOORS \ General notes

17. Condition: • Windows Inoperative

Task: Be Advised

Time: Ongoing



50. Windows Inoperative



51. Windows Inoperative

INTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



52. Windows Inoperative



53. Windows Inoperative



54. Windows Inoperative

18. Condition: • Latch/Lock Not Effective

Ball latch at top of door is missing

Location: Pantry

Task: Adjust

Time: Discretionary

Cost: Minor

INTERIOR

3180 Lynwood Drive, Atlanta, GA September 16, 2020

Report No. 35642

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

NON-SCOPE

APPENDIX

REFERENCE



55. Latch/Lock Not Effective

APPLIANCES \ Microwave oven

19. Condition: • Work light Inoperative.

This is most likely blown bulb and recommend confirming operation from the seller.

Task: Correct

Time: Discretionary

Cost: Minor

Description

Major floor finishes: • Carpet, Tile, Wood

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • Wood • [Single/double hung](#)

Glazing: • [Double](#)

Exterior doors - type/material: • [Metal](#) • [French](#)

Oven fuel: • Gas

Range fuel:

• Gas

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							



56. Gas

Appliances: • Refrigerator • Dishwasher • Waste disposal • Microwave/Exhaust Fan Combo • Range

Laundry facilities: • Washer • Dryer • Hot/cold water supply • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Stairs and railings: • Inspected

Inspection Methods and Limitations

Inspection limited/prevented by: • MOLD/MILDEW/FUNGUS

The Inspection does not include spores, fungus, mold or mildew that may be present as this is outside the scope of a home inspection and there are companies that specialize in environmental issues. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Pursuant to the ASHI Standards of Practice we perform a visual and operational inspection of all standard, built-in appliances. There are obvious limitations and we cannot confirm their level of performance but only if they are operational at the time of inspection. Appliances limited to the ones listed in this report are turned on and observed. Clothes washers and dryers are not part of this inspection. Refrigerators and freezers are inspected for obvious deficiencies and ice makers and water dispensers are not evaluated.

NON-SCOPE

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Report No. 35642

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Description

General: • Cost estimates have been provided throughout the inspection report. This is outside of the scope of a routine home inspection and is provided only as a courtesy to a client of Home-Probe, Inc.

These costs are intended as ball park estimates for repairs and/or improvements to a typical three bedroom home. The costs are based on information obtained in the Atlanta area and from RS Means.

Our experience shows that actual contractor quotes can vary from our figures by as much as 300%. Naturally, the quality of workmanship and materials will influence the cost. The complexity of a certain job, accessibility, and even economic conditions can also alter actual costs. These numbers are intended to be used as a guide only. A guaranteed estimate for all work to be done should be obtained by a qualified contractor PRIOR to commitment to purchase.

The word 'Minor' may be used to describe costs up to roughly \$500 which is unlikely to have an impact on your purchasing decision. • [Unfortunately, unpleasant surprises are part of home ownership. This document helps to explain why things happen and why your home inspector may not have predicted it.](#) • [A list of things you should do when moving into your new home and a few regular maintenance items.](#) • [This document sets out what a professional home inspection should include, and guides the activities of our inspectors.](#) • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components. This document helps you look after your home.](#) • [This document is a great resource to use when conducting your final walk through prior to closing escrow on your new home. Remember to call our office with any questions.](#)

END OF REPORT

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

Home-Probe 100 Day Guarantee

Our commitment to you:

If it worked when we were there, it should work when you move in.

We like to call this our 2 surprise guarantee. There are three types of surprises in life. Good ones, bad ones and no surprises. We want you to have no surprise at all but if you do, let's make it a good one.

MECHANICAL COVERAGE SUMMARY:

Plumbing: Water lines that are inside the home and visible, faucets, water heaters, drain lines that are inside the home and visible, gas lines that are inside the home and visible.

Electrical: Main service panel, secondary service panel, and wiring that is inside the home and visible.

Appliances: Kitchen Appliances including and limited to oven, range, dishwasher, built-in microwave, trash compactor, and garbage disposal. Refrigerator ice makers and water dispensers are not inspected and cannot be covered in this warranty.

Heating/Air (HVAC): Furnace, Air Conditioner, and Thermostats.

STRUCTURAL COVERAGE SUMMARY: Poured Concrete & Block wall foundations. Floor joists, bottom & top plates, and wall members. Roof leak repair (does not include replacement of bad shingles), load bearing walls, attached garage doors.

COVERAGE TERMS: This guarantee applies only to those items specifically listed and excludes all others. This contract covers parts and labor only and does not cover consequential or secondary damages. This contract only covers those items that were confirmed to be in good working order at time of inspection and excludes all others, regardless of their condition at the time of inspection or if they were repaired after the inspection. This contract does not cover water damage, cosmetic repairs, or items that are inaccessible without the removal of drywall, concrete, or any other permanently installed covering. This is not a maintenance contract. In order for an item to be covered, it must be maintained in accordance with the manufacturer's standards or be maintained within reasonable standards where no such standards exist.

EXCLUSIONS: This contract excludes all appliances, climate control systems, and fixtures over 10 years old. This contract does not cover plumbing stoppages, regardless of reason. This contract does not cover well or septic systems or any related components. Home-Probe is not responsible for upgrading failed systems to meet current codes or local ordinances. This contract does not cover chimneys, fireplaces, or brick failures of any kind. This contract does not cover cracking or scaling concrete. Roof repair is for leaks only and limited to rolled, composition, or asphalt shingle roof only.

This contract does not cover pest damage, including that caused by any and all wood destroying insects and pests. Pests are specifically excluded from our home inspection. All mechanical coverage is limited to those items within the home's foundation and all structural coverage is limited to issues within the home's foundations. Our guarantee has no deductible and is limited to an aggregate maximum of \$2000.00. Home-Probe is not an insurer. This is not a warranty or insurance policy. Any damage caused by any peril is not covered by this contract, which includes but is not limited to; war, riot, civil commotion, earthquake, hurricane, any and all acts of god, or any other outside cause or neglect. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home.

This is a guarantee and items covered are only those that would be inspected pursuant to the ASHI Standards of Practice. Any and all related disputes shall be interpreted and enforced in accordance with the laws of Dekalb County State of Georgia without reference to, and regardless of, any applicable choice or conflicts of laws principles. Any concerns with this guarantee must be received within 100 days of the inspection or within 22 days of closing, whichever comes later. The coverage under this policy shall come after any and all other warranties in place.

This guarantee is valid upon successful completion of our Home Inspection Authorization Form and after payment of the Home Inspection has been received.

CLAIMS PROCEDURES:

1. Written Notification of claim must be received by Home-Probe prior to the expiration of the guarantee (which is defined as noon, the 101st day after the inspection is completed or 22 days after the date of your closing).

2. An itemized repair estimate must be submitted for every approved claim, including the breakdown of parts & labor, as well as a specific cause for the failure in writing from a licensed or properly certified repairperson. Home-Probe reserves the right to request up to two (2) additional estimates. The estimate must include contact information for the repair person.

Claims will be processed after we are in receipt of these items and you will be contacted by a Home-Probe representative within 72 hours of all items being submitted.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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STRUCTURAL COVERAGE SUMMARY: Poured Concrete & Block wall foundations. Floor joists, bottom & top plates, and wall members. Roof leak repair (does not include replacement of bad shingles), load bearing walls, attached garage doors.

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EXCLUSIONS: This contract excludes all appliances, climate control systems, fixtures and roofs believed to be over 10 years old. This contract does not cover plumbing stoppages, regardless of reason. This contract does not cover well or septic systems or any related components. Home-Probe is not responsible for upgrading failed systems to meet current codes or local ordinances. This contract does not cover chimneys, fireplaces, or brick failures of any kind. This contract does not cover cracking or scaling concrete. Roof repair is for leaks only and limited to rolled, composition, or asphalt shingle roof only. This guarantee does not cover interior water damage from leaks as this damage would not have been visible during the inspection. This contract does not cover pest damage, including that caused by any and all wood destroying insects and pests. Pests including insects and rodents are specifically excluded from our home inspection. All mechanical coverage is limited to those items within the home's foundation and all structural coverage is limited to issues within the home's foundations. Our guarantee has no deductible and is limited to an aggregate maximum of \$2000.00. Home-Probe is not an insurer. This is not a warranty or insurance policy. Any damage caused by any peril is not covered by this contract, which includes but is not limited to; war, riot, civil commotion, earthquake, hurricane, any and all acts of god, or any other outside cause or neglect. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home. This is a guarantee and items covered are only those that would be inspected pursuant to the ASHI Standards of Practice. Any and all related disputes shall be interpreted and enforced in accordance with the laws of Dekalb County State of Georgia without reference to, and regardless of, any applicable choice or conflicts of laws principles. Any concerns with this guarantee must be received within 100 days of the inspection or within 22 days of closing, whichever comes later. The coverage under this policy shall come after any and all other warranties in place.

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
NON-SCOPE	APPENDIX	REFERENCE							

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

