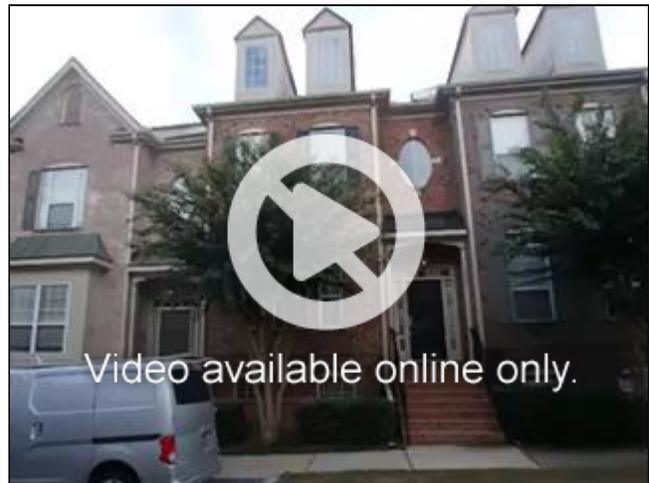




# Inspection Report

**Kyndal Burton**

**Property Address:**  
3461 Henderson Reserve  
Atlanta GA 30341



**Residential Inspector of America, Inc. dba RIA Solutions**

**Daniel McKemey**  
3276 Buford Drie, Ste. 104-306  
Buford, GA 30519  
770.476.4963

## Table of Contents

<a href="#"><u>Cover Page.....</u></a>	<a href="#"><u>1</u></a>
<a href="#"><u>Table of Contents.....</u></a>	<a href="#"><u>2</u></a>
<a href="#"><u>Intro Page.....</u></a>	<a href="#"><u>3</u></a>
<a href="#"><u>Summary.....</u></a>	<a href="#"><u>4</u></a>
<a href="#"><u>1 Exterior.....</u></a>	<a href="#"><u>8</u></a>
<a href="#"><u>2 Garage.....</u></a>	<a href="#"><u>10</u></a>
<a href="#"><u>3 Structural Components.....</u></a>	<a href="#"><u>11</u></a>
<a href="#"><u>4 Roofing.....</u></a>	<a href="#"><u>12</u></a>
<a href="#"><u>5 Insulation and Ventilation.....</u></a>	<a href="#"><u>13</u></a>
<a href="#"><u>6 Heating / Central Air Conditioning.....</u></a>	<a href="#"><u>14</u></a>
<a href="#"><u>7 Electrical System.....</u></a>	<a href="#"><u>18</u></a>
<a href="#"><u>8 Plumbing System.....</u></a>	<a href="#"><u>22</u></a>
<a href="#"><u>9 Interiors.....</u></a>	<a href="#"><u>26</u></a>
<a href="#"><u>10 Built-In Kitchen Appliances.....</u></a>	<a href="#"><u>29</u></a>

<b>Date:</b> 9/26/2020	<b>Time:</b> 01:00:00 PM	<b>Report ID:</b> 092620DM922
<b>Property:</b> 3461 Henderson Reserve Atlanta GA 30341	<b>Customer:</b> Kyndal Burton	<b>Real Estate Professional:</b> Mike Ross Muffley & Associates

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*90 Day Mold Warranty      90 Day Main Sewer/Water Line Warranty*

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**INSPECTED:** The condition of the item at the time of inspection was evaluated and any necessary comments will be made in this report.

**NOT INSPECTED:** The item was not inspected for reasons noted in this report. If concerns exist regarding "Not Inspected" items, further evaluation is recommended.

**REPAIR/REPLACE:** The item is in need of repairs, replacement, further evaluation by a specialist, or is of concern to the inspector.

**NOT PRESENT:** The item is not present in this home.

**In Attendance:**

Customer and their agent

**Approximate age of building:**

Over 10 Years

**Temperature:**

Over 65

**Weather:**

Cloudy

**Inspector:**

Daniel McKemey

## Summary



**Residential Inspector of America, Inc. dba RIA Solutions**

**3276 Buford Drie, Ste. 104-306  
Buford, GA 30519  
770.476.4963**

**Customer**  
Kyndal Burton

**Address**  
3461 Henderson Reserve  
Atlanta GA 30341

**All complete RIA home inspections come with these FREE services to protect your investment: 5 Year Platinum Roof Leak Warranty, 90 Day Structural and Mechanical Warranty, 90 Day Mold Warranty, 90 Day Main Sewer and Water Line Warranty, 120 Radon Warranty (with test), Concierge Service, and RecallChek on appliances for life. Click [HERE](#) to find out more. Applies to home buyers only.**

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This report may contain videos which can be seen by clicking the link on Page 3.

The items listed below are in need of repair, replacement, further evaluation, or are safety issues. All concerns related to items in this summary or throughout this report should be resolved prior to closing. If LEFT and RIGHT directions are given in this summary, it is determined by facing the front of the home from the exterior.

---

### 1. Exterior

---

#### 1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

**Inspected, Repair or Replace**

 Rusted hardware noted at various locations at deck. Replace damaged components as needed.

#### 1.8 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK

**Inspected, Repair or Replace**

 Seal flashing to brick at top of deck.

---

## 6. Heating / Central Air Conditioning

---

### 6.0 HEATING EQUIPMENT

#### Inspected, Repair or Replace

-  Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system are concealed from view, and our inspection is visual and is intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct system, since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

Furnaces usually last to be about 20-25 years and it can be expected that this unit will need replacement in the near future.

### 6.2 DISTRIBUTION SYSTEMS

#### Inspected, Repair or Replace

-  (1) Gaps noted at duct connections to furnaces. Seal to prevent air leaks.

### 6.6 COOLING AND AIR HANDLER EQUIPMENT

#### Inspected, Repair or Replace

-  (1) Along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the system(s). Unit was not disassembled.

A/c unit(s) usually last about 15 years, and it is likely that the unit(s) in this home will need replacement in the near future.

-  (2) Gaps found in the insulation wrapping around the refrigerant pipes from the a/c units where these pipes pass through the attic. See photo. Have re-wrapped with more insulation to prevent condensate from dripping on the ceiling.
-  (3) Cap missing at condensate drain line. Replace cap to prevent cool air loss.
-  (4) Rust noted at emergency overflow pan in attic. This indicates a previous issue with the AC system. It can not be verified during the inspection if this issue has been resolved. Consult with an HVAC tech to evaluate as needed.

---

## 7. Electrical System

---

### 7.2 PANEL BOX & SUB-PANEL

#### Inspected, Repair or Replace

-  (2) Replace missing screw at panel cover.

### 7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

#### Inspected, Repair or Replace

-  Cover needed on the open junction box in the locations in photos. Covers are used to control sparking.

### 7.4 OUTLETS & LIGHT FIXTURES

#### Inspected, Repair or Replace

-  (1) Replace out bulb at basement bathroom.
-  (2) Family room light remote is damaged. Repair/replace as needed.

### 7.5 CONDUIT

#### Inspected, Repair or Replace

-  Loose conduit attachment noted at garbage disposal. Secure conduit to prevent chaffing on the wire.

**7.6 OPERATION OF GFCI & OR AFCI****Inspected, Repair or Replace**

- 🔧 Defective gfci outlet noted at the location in photo. Outlet(s) did not trip when tested. Have electrician replace with a working unit. GFCI outlets are used to protect personnel in wet areas.

**7.7 SMOKE DETECTORS****Inspected, Repair or Replace**

- 🔧 All smoke detectors should be tested upon moving in to the home. Typically, there should be at least one smoke detector per level, one in each bedroom and one in the immediate bedroom hallway. All of these detectors should be interconnected and work together without the use of a battery. There are different types of smoke detectors: Ionization and Photoelectric. Smoke detectors have an expiration date and typically last 10 years before needing replacement.

---

**8. Plumbing System**

---

**8.2 TUBS,SINKS, TOILETS & SHOWER STALLS****Inspected, Repair or Replace**

- 🔧 (1) Replace damaged flush mechanism at basement bathroom toilet.
- 🔧 (2) The jacuzzi tub did not operate during inspection. The GFCI would trip anytime the motor was activated. Consult with a plumber to evaluate and repair/replace as needed.
- 🔧 (3) Stopper defective/missing at bathroom fixture in photo. Adjust/replace as needed.
- 🔧 (4) Slow drain in the fixture in photo noted. Have checked for a clog.
- 🔧 (5) Secure the loose sink fixture in the master bath as needed.

**8.3 WATER HEATER****Inspected, Repair or Replace**

- 🔧 Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age.

**8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)****Inspected, Repair or Replace**

- 🔧 Sediment traps (or drip legs/slang term) are not installed in the correct orientation for the attic furnace This was permitted when the home was built, however, it does not meet current standards and the gas companies requirements. Hvac tech can evaluate. Gas company may not connect gas for new owner if this is discovered. See photo(s).

---

**9. Interiors**

---

**9.5 WINDOWS (REPRESENTATIVE NUMBER)****Inspected, Repair or Replace**

- 🔧 (1) Replace all "fogged" windows. The seal between the panes of glass has failed allowing moisture to enter between the panes. It is possible that more may fog in the future. Have window contractor evaluate all windows because it is highly likely that if one window has had a seal failure, that more seal failures in different windows will occur. See photos for examples. It is difficult to identify seal failure in windows when the weather is rainy, over cast, foggy or the glass is wet from recent rains or condensation. Buyer should resolve all concerns prior to closing.
- 🔧 (2) Replace cracked glass found in windows pictured.
- 🔧 (3) Seals between panes of glass in the dining room window have moved out of position and can be seen in between the panes of glass. Seals have not failed and windows do not appear to be fogged.

**9.7 INTERIOR DOORS****Inspected, Repair or Replace**

 Repair/replace the damaged door sweep at the garage entry.

## 9.8 PESTS

### Inspected, Repair or Replace

 Evidence of past animal entry into the attic, as noted by the paths and "tunnels" in the insulations. Exact entry point into attic from outside is not known. Wild life exclusion company can evaluate to seal off attic from outside

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## 10. Built-In Kitchen Appliances

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### 10.0 DISHWASHER

#### Inspected, Repair or Replace

 Secure the loose dishwasher to the counter top in the kitchen.

### 10.1 RANGES/OVENS/COOKTOPS

#### Inspected, Repair or Replace

 Convection fan did not operate during inspection. Have seller demonstrate function. Consult with an appliance tech to evaluate and repair as needed.

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Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Daniel McKemey

# 1. Exterior

## Styles & Materials

**Siding Material:**

- Cement-Fiber
- Brick veneer

## Items

### 1.0 EXTERIOR ELEVATION PHOTOS

Comments: Inspected

These are photos of the home taken from different angles and are not intended to show any defects.



1.0



1.0

### 1.1 EXTERIOR SIDING

Comments: Inspected

### 1.2 DOORS

Comments: Inspected

### 1.3 WINDOWS

Comments: Inspected

### 1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Comments: Inspected, Repair or Replace

 Rusted hardware noted at various locations at deck. Replace damaged components as needed.



1.4

**1.5 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS**

Comments: Inspected

**1.6 EAVES, SOFFITS AND FASCIAS**

Comments: Inspected

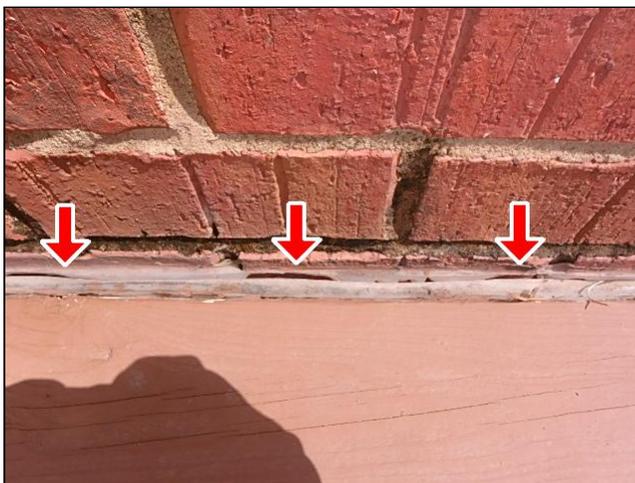
**1.7 EXTERIOR TRIM**

Comments: Inspected

**1.8 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK**

Comments: Inspected, Repair or Replace

 Seal flashing to brick at top of deck.



1.8

## 2. Garage

---

### Items

---

#### 2.0 GARAGE CEILINGS

Comments: Inspected

#### 2.1 GARAGE WALLS

Comments: Inspected

#### 2.2 GARAGE FLOOR

Comments: Inspected

Cracks in garage floor are not wide enough to be considered a structural concern and are due to normal settlement and shrinkage of the concrete. Extent of soil compaction under concrete floor is not visible and is not known. Have patched as needed and resolve all concerns.

#### 2.3 VEHICLE DOOR(s)

Comments: Inspected

#### 2.4 VEHICLE DOOR OPENER (s)

Comments: Inspected

Auto reverse sensors could not be located for the garage door(s). Force (pressure) test was not part of this inspection and it is recommended that auto reverse sensors be installed for safety. Recommend to have garage door contractor inspect and repair as needed.

#### 2.5 OCCUPIANT DOOR FROM THE INSIDE OF THE HOME TO THE GARAGE

Comments: Inspected

### 3. Structural Components

#### Styles & Materials

**Foundation:**

Poured concrete  
Basement

**Roof Structure:**

2x4 engineered wood trusses 24" on  
center

**Method Used to Observe Attic:**

From entry  
Walked

**Floor Structure:**

Slab  
Not visible

**Wall Structure:**

Not visible

**Attic info:**

Pull Down stairs

#### Items

### 3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected

### 3.1 WALLS (Structural)

Comments: Inspected

### 3.2 FLOORS (Structural)

Comments: Inspected

### 3.3 CEILINGS (structural)

Comments: Inspected

### 3.4 ROOF STRUCTURE AND ATTIC

Comments: Inspected

Views of attic framing and insulation. Attic space entered and inspected from the closest locations possible.



3.4



3.4

## 4. Roofing

---

*Styles & Materials*

---

**Roof Covering:**

4 tab architectural fiberglass shingles

**Viewed Roof Covering From:**

Ground

Limited view due to height of building

---

*Items*

---

### 4.0 ROOF COVERINGS

**Comments:** Inspected

Not all portions of the roof were visible due to the height of the building. Consult with a roofer to evaluate the whole roof and maintain as needed.

### 4.1 FLASHINGS

**Comments:** Inspected

### 4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

**Comments:** Inspected

Boot flashing around plumbing vents on the roof are ok now, but these last about 5-7 years before needing replacement. They crack and split and allow rain water to leak into attic.

### 4.3 GUTTERS & DOWNSPOUTS

**Comments:** Inspected

## 5. Insulation and Ventilation

---

### *Styles & Materials*

---

**Attic Insulation:**

Blown  
Fiberglass

**Roof Ventilation:**

Ridge vents  
Soffit Vents  
Passive

### *Items*

---

**5.0 INSULATION IN ATTIC**

Comments: Inspected

**5.1 VENTILATION OF ROOF**

Comments: Inspected

**5.2 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS**

Comments: Inspected

## 6. Heating / Central Air Conditioning

### Styles & Materials

**Heating Equipment Type:**

Forced Air

**Heating Equipment Age:**

2002

**Heat Temp:**

The main level heat read 101 degrees.  
The upper level heat read 100 degrees.

**Number of Heat Systems (excluding wood):**

Two

**Energy Source:**

Natural gas

**Cooling Equipment Type:**

Central forced Air A/C

**Cooling Equipment Age:**

2002

**Number of AC Only Units:**

Two

**A/C Temp:**

Main level system read 60 degrees  
Upper Level A/C read 60 degrees

**Cooling Equipment Energy Source:**

Electricity

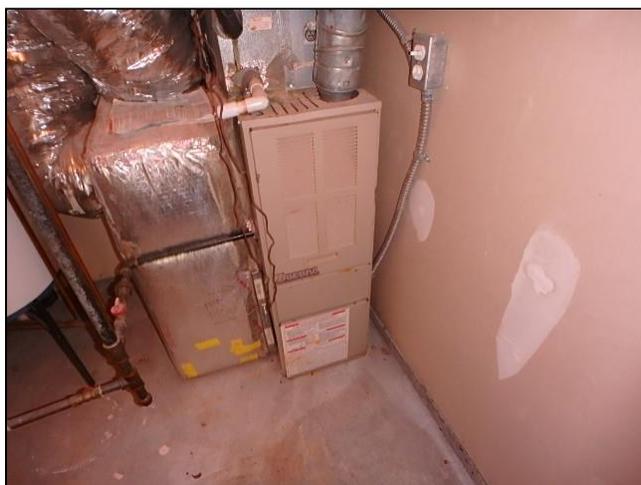
### Items

#### 6.0 HEATING EQUIPMENT

**Comments:** Inspected, Repair or Replace

🔧 Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system are concealed from view, and our inspection is visual and is intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct system, since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

Furnaces usually last to be about 20-25 years and it can be expected that this unit will need replacement in the near future.



6.0



6.0

#### 6.1 NORMAL OPERATING CONTROLS/ THEROMSTAT

**Comments:** Inspected

**6.2 DISTRIBUTION SYSTEMS**

Comments: Inspected, Repair or Replace

🔧 (1) Gaps noted at duct connections to furnaces. Seal to prevent air leaks.



6.2



6.2

(2) Filter location is similar on both furnaces.



6.2

**6.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM**

Comments: Inspected

**6.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)**

Comments: Inspected

**6.5 GAS/LP FIRELOGS AND FIREPLACES**

Comments: Inspected

**6.6 COOLING AND AIR HANDLER EQUIPMENT**

Comments: Inspected, Repair or Replace

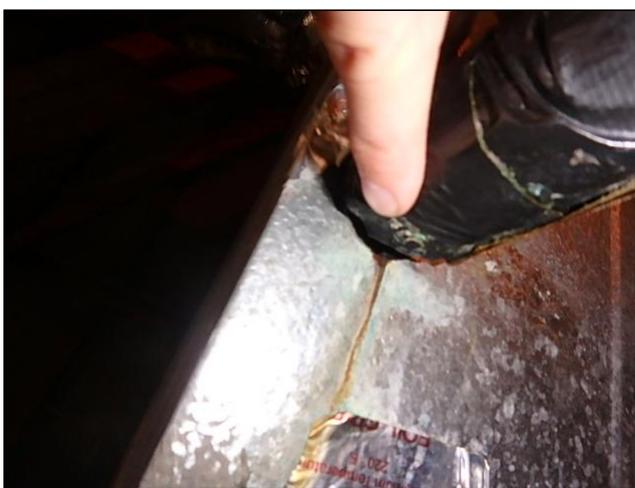
🔧 (1) Along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the system(s). Unit was not disassembled.

A/c unit(s) usually last about 15 years, and it is likely that the unit(s) in this home will need replacement in the near future.



6.6

🔧 (2) Gaps found in the insulation wrapping around the refrigerant pipes from the a/c units where these pipes pass through the attic. See photo. Have re-wrapped with more insulation to prevent condensate from dripping on the ceiling.



6.6

🔧 (3) Cap missing at condensate drain line. Replace cap to prevent cool air loss.



6.6

🔧 (4) Rust noted at emergency overflow pan in attic. This indicates a previous issue with the AC system. It can not be verified during the inspection if this issue has been resolved. Consult with an HVAC tech to evaluate as needed.



6.6

### 6.7 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

## 7. Electrical System

### Styles & Materials

**Panel Type:**

Circuit breakers

**Panel capacity:**

150 AMP

**Wiring Methods:**

Romex

**Main Disconnect Location:**

Meter

**Branch wire 15 and 20 AMP:**

Copper

**Electrical Service Conductors:**

Below ground

### Items

#### 7.0 SERVICE ENTRANCE CONDUCTORS & MAIN DISCONNECT BREAKER

Comments: Inspected

Main electrical disconnect location.



7.0

#### 7.1 SERVICE GROUNDING

Comments: Inspected

#### 7.2 PANEL BOX & SUB-PANEL

Comments: Inspected, Repair or Replace

(1) View of panel. Panel was inspected for function (not code compliance) and building codes and standards have changed over the years.



7.2

🔧 (2) Replace missing screw at panel cover.



7.2

### 7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Comments: Inspected, Repair or Replace

🔧 Cover needed on the open junction box in the locations in photos. Covers are used to control sparking.



7.3 Basement Bedroom



7.3 Master Bedroom

### 7.4 OUTLETS & LIGHT FIXTURES

Comments: Inspected, Repair or Replace

🔧 (1) Replace out bulb at basement bathroom.



7.4 Basement Bath

🔧 (2) Family room light remote is damaged. Repair/replace as needed.



7.4

### 7.5 CONDUIT

Comments: Inspected, Repair or Replace

🔧 Loose conduit attachment noted at garbage disposal. Secure conduit to prevent chaffing on the wire.



7.5

## 7.6 OPERATION OF GFCI & OR AFCI

Comments: Inspected, Repair or Replace

🔧 Defective gfci outlet noted at the location in photo. Outlet(s) did not trip when tested. Have electrician replace with a working unit. GFCI outlets are used to protect personnel in wet areas.



7.6 Rear Deck

## 7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

🔧 All smoke detectors should be tested upon moving in to the home. Typically, there should be at least one smoke detector per level, one in each bedroom and one in the immediate bedroom hallway. All of these detectors should be interconnected and work together without the use of a battery. There are different types of smoke detectors: Ionization and Photoelectric. Smoke detectors have an expiration date and typically last 10 years before needing replacement.

## 7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected

# 8. Plumbing System

## Styles & Materials

<b>Water Source:</b> Public	<b>Plumbing Water Supply (into home):</b> Not visible	<b>Plumbing Water Distribution (inside home):</b> Copper
<b>Plumbing Drain Pipe:</b> PVC	<b>Water Heater Capacity:</b> 50 Gallon	<b>Water Heater Age:</b> 2002
<b>Water Heater Location:</b> Garage closet	<b>Water Heater Power Source:</b> Gas	

## Items

### 8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

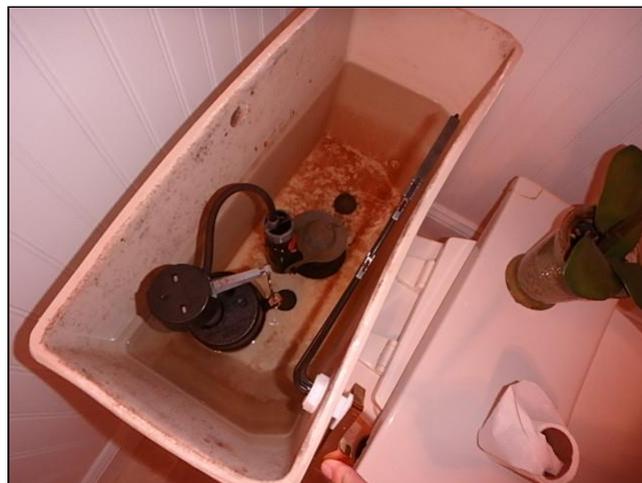
### 8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Comments: Inspected

### 8.2 TUBS, SINKS, TOILETS & SHOWER STALLS

Comments: Inspected, Repair or Replace

🔧 (1) Replace damaged flush mechanism at basement bathroom toilet.



8.2 Basement Bath

🔧 (2) The jacuzzi tub did not operate during inspection. The GFCI would trip anytime the motor was activated. Consult with a plumber to evaluate and repair/replace as needed.



8.2



8.2

🔧 (3) Stopper defective/missing at bathroom fixture in photo. Adjust/replace as needed.



8.2

🔧 (4) Slow drain in the fixture in photo noted. Have checked for a clog.



8.2 Master Bath

🔧 (5) Secure the loose sink fixture in the master bath as needed.



8.2 Master Bath

### 8.3 WATER HEATER

Comments: Inspected, Repair or Replace

🔧 Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age.



8.3

### 8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

The main water shut off is in the basement.



8.4

### 8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected, Repair or Replace

🔧 Sediment traps (or drip legs/slang term) are not installed in the correct orientation for the attic furnace. This was permitted when the home was built, however, it does not meet current standards and the gas company's requirements. HVAC tech can evaluate. Gas company may not connect gas for new owner if this is discovered. See photo(s).



8.5

### 8.6 MAIN FUEL GAS SHUT OFF

Comments: Inspected

Main gas shut off is at the meter.

## 9. Interiors

### Items

#### 9.0 CEILINGS

Comments: Inspected

#### 9.1 WALLS

Comments: Inspected

#### 9.2 FLOORS

Comments: Inspected

#### 9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

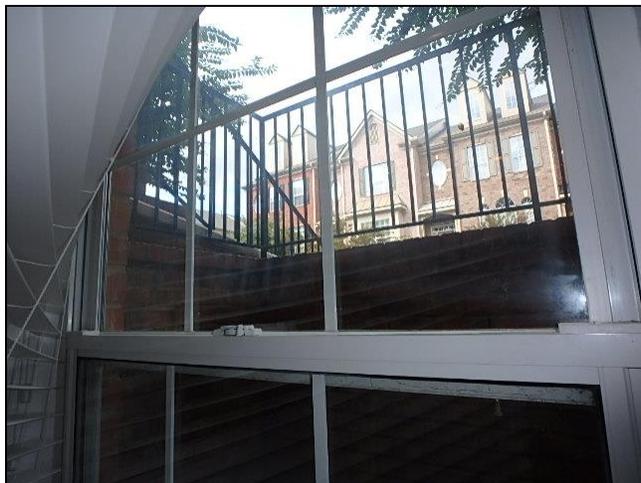
#### 9.4 COUNTERS AND INSTALLED CABINETS (REPRESENTATIVE NUMBER)

Comments: Inspected

#### 9.5 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

👉 (1) Replace all "fogged" windows. The seal between the panes of glass has failed allowing moisture to enter between the panes. It is possible that more may fog in the future. Have window contractor evaluate all windows because it is highly likely that if one window has had a seal failure, that more seal failures in different windows will occur. See photos for examples. It is difficult to identify seal failure in windows when the weather is rainy, over cast, foggy or the glass is wet from recent rains or condensation. Buyer should resolve all concerns prior to closing.



9.5 Basement Bedroom



9.5 Upper Rear Bedroom



9.5 Family Room

🔧 (2) Replace cracked glass found in windows pictured.



9.5 Rear Deck

🔧 (3) Seals between panes of glass in the dining room window have moved out of position and can be seen in between the panes of glass. Seals have not failed and windows do not appear to be fogged.



9.5 Dining Room

**9.6 BATHROOMS**

Comments: Inspected

9.7 INTERIOR DOORS

Comments: Inspected, Repair or Replace

🔧 Repair/replace the damaged door sweep at the garage entry.



9.7 Garage Entry

9.8 PESTS

Comments: Inspected, Repair or Replace

🔧 Evidence of past animal entry into the attic, as noted by the paths and "tunnels" in the insulations. Exact entry point into attic from outside is not known. Wild life exclusion company can evaluate to seal off attic from outside



9.8



9.8

## 10. Built-In Kitchen Appliances

The kitchen appliances were checked for basic function only.

*Items*

### 10.0 DISHWASHER

Comments: Inspected, Repair or Replace

🔧 Secure the loose dishwasher to the counter top in the kitchen.



10.0

### 10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected, Repair or Replace

🔧 Convection fan did not operate during inspection. Have seller demonstrate function. Consult with an appliance tech to evaluate and repair as needed.



10.1

### 10.2 VENT HOOD/DOWN DRAFT

Comments: Inspected

### 10.3 GARBAGE DISPOSAL

Comments: Inspected

### 10.4 MICROWAVE

Comments: Inspected

**10.5 REFRIGERATOR**

Comments: Inspected