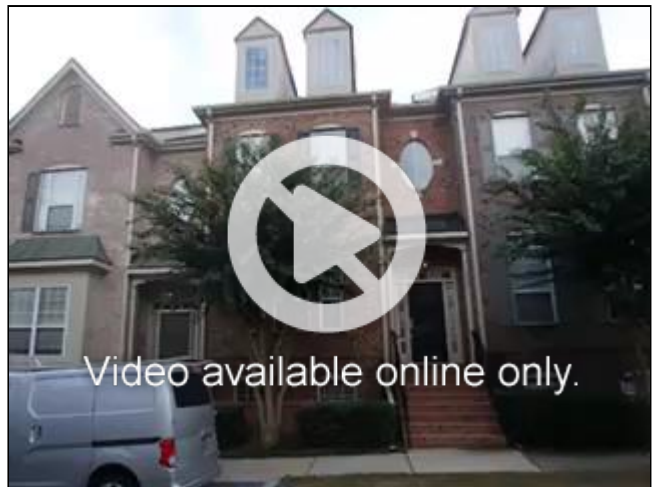




Inspection Report

Kyndal Burton

Property Address:
3461 Henderson Reserve
Atlanta GA 30341



Residential Inspector of America, Inc. dba RIA Solutions

Daniel McKemey
3276 Buford Drie, Ste. 104-306
Buford, GA 30519
770.476.4963

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Date: 9/26/2020	Time: 01:00:00 PM	Report ID: 092620DM922
Property: 3461 Henderson Reserve Atlanta GA 30341	Customer: Kyndal Burton	Real Estate Professional: Mike Ross Muffley & Associates

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IMPORTANT INFORMATION ABOUT THIS INSPECTION

RIA's home inspections are completed in accordance with the American Society of Home Inspectors Standards of Practice (ASHI), your RIA Inspection Agreement, and other RIA Terms & Conditions that are viewable by clicking [HERE](#) or by requesting an emailed copy. Please be sure that you fully read and understand these items. If an item is not listed in this report as "Inspected", then it is not part of this inspection and you should have the item further evaluated prior to your closing.

INSPECTED: The condition of the item at the time of inspection was evaluated and any necessary comments will be made in this report.

NOT INSPECTED: The item was not inspected for reasons noted in this report. If concerns exist regarding "Not Inspected" items, further evaluation is recommended.

REPAIR/REPLACE: The item is in need of repairs, replacement, further evaluation by a specialist, or is of concern to the inspector.

NOT PRESENT: The item is not present in this home.

In Attendance:

Customer and their agent

Approximate age of building:

Over 10 Years

Temperature:

Over 65

Weather:

Cloudy

Inspector:

Daniel McKemey

Summary



Residential Inspector of America, Inc. dba RIA Solutions

**3276 Buford Drive, Ste. 104-306
Buford, GA 30519
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Customer
Kyndal Burton

Address
3461 Henderson Reserve
Atlanta GA 30341

All complete RIA home inspections come with these FREE services to protect your investment: 5 Year Platinum Roof Leak Warranty, 90 Day Structural and Mechanical Warranty, 90 Day Mold Warranty, 90 Day Main Sewer and Water Line Warranty, 120 Radon Warranty (with test), Concierge Service, and RecallChek on appliances for life. Click [HERE](#) to find out more. Applies to home buyers only.

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This report may contain videos which can be seen by clicking the link on Page 3.

The items listed below are in need of repair, replacement, further evaluation, or are safety issues. All concerns related to items in this summary or throughout this report should be resolved prior to closing. If LEFT and RIGHT directions are given in this summary, it is determined by facing the front of the home from the exterior.

1. Exterior


1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Inspected, Repair or Replace

 Rusted hardware noted at various locations at deck. Replace damaged components as needed.

1.8 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK

Inspected, Repair or Replace

 Seal flashing to brick at top of deck.

6. Heating / Central Air Conditioning

6.0 HEATING EQUIPMENT

Inspected, Repair or Replace



Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system are concealed from view, and our inspection is visual and is intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct system, since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

Furnaces usually last to be about 20-25 years and it can be expected that this unit will need replacement in the near future.

6.2 DISTRIBUTION SYSTEMS

Inspected, Repair or Replace



(1) Gaps noted at duct connections to furnaces. Seal to prevent air leaks.

6.6 COOLING AND AIR HANDLER EQUIPMENT

Inspected, Repair or Replace



(1) Along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the system(s). Unit was not disassembled.

A/c unit(s) usually last about 15 years, and it is likely that the unit(s) in this home will need replacement in the near future.



(2) Gaps found in the insulation wrapping around the refrigerant pipes from the a/c units where these pipes pass through the attic. See photo. Have re-wrapped with more insulation to prevent condensate from dripping on the ceiling.



(3) Cap missing at condensate drain line. Replace cap to prevent cool air loss.



(4) Rust noted at emergency overflow pan in attic. This indicates a previous issue with the AC system. It can not be verified during the inspection if this issue has been resolved. Consult with an HVAC tech to evaluate as needed.

7. Electrical System

7.2 PANEL BOX & SUB-PANEL

Inspected, Repair or Replace



(2) Replace missing screw at panel cover.

7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Inspected, Repair or Replace



Cover needed on the open junction box in the locations in photos. Covers are used to control sparking.

7.4 OUTLETS & LIGHT FIXTURES

Inspected, Repair or Replace



(1) Replace out bulb at basement bathroom.



(2) Family room light remote is damaged. Repair/replace as needed.


7.5 CONDUIT

Inspected, Repair or Replace




Loose conduit attachment noted at garbage disposal. Secure conduit to prevent chaffing on the wire.

7.6 OPERATION OF GFCI & OR AFCI**Inspected, Repair or Replace**





- 
- Defective gfci outlet noted at the location in photo. Outlet(s) did not trip when tested. Have electrician replace with a working unit. GFCI outlets are used to protect personnel in wet areas.

7.7 SMOKE DETECTORS**Inspected, Repair or Replace**


- 
- All smoke detectors should be tested upon moving in to the home. Typically, there should be at least one smoke detector per level, one in each bedroom and one in the immediate bedroom hallway. All of these detectors should be interconnected and work together without the use of a battery. There are different types of smoke detectors: Ionization and Photoelectric. Smoke detectors have an expiration date and typically last 10 years before needing replacement.

8. Plumbing System


8.2 TUBS,SINKS, TOILETS & SHOWER STALLS**Inspected, Repair or Replace**

- 
- (1) Replace damaged flush mechanism at basement bathroom toilet.
- 
- (2) The jacuzzi tub did not operate during inspection. The GFCI would trip anytime the motor was activated. Consult with a plumber to evaluate and repair/replace as needed.
- 
- (3) Stopper defective/missing at bathroom fixture in photo. Adjust/replace as needed.
- 
- (4) Slow drain in the fixture in photo noted. Have checked for a clog.
- 
- (5) Secure the loose sink fixture in the master bath as needed.

8.3 WATER HEATER**Inspected, Repair or Replace**




- 
- Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age.

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)**Inspected, Repair or Replace**

- 
- Sediment traps (or drip legs/slang term) are not installed in the correct orientation for the attic furnace This was permitted when the home was built, however, it does not meet current standards and the gas companies requirements. Hvac tech can evaluate. Gas company may not connect gas for new owner if this is discovered. See photo(s).

9. Interiors

9.5 WINDOWS (REPRESENTATIVE NUMBER)**Inspected, Repair or Replace**


- 
- (1) Replace all "fogged" windows. The seal between the panes of glass has failed allowing moisture to enter between the panes. It is possible that more may fog in the future. Have window contractor evaluate all windows because it is highly likely that if one window has had a seal failure, that more seal failures in different windows will occur. See photos for examples. It is difficult to identify seal failure in windows when the weather is rainy, over cast, foggy or the glass is wet from recent rains or condensation. Buyer should resolve all concerns prior to closing.
- 
- (2) Replace cracked glass found in windows pictured.
- 
- (3) Seals between panes of glass in the dining room window have moved out of position and can be seen in between the panes of glass. Seals have not failed and windows do not appear to be fogged.

9.7 INTERIOR DOORS**Inspected, Repair or Replace**

 Repair/replace the damaged door sweep at the garage entry.

9.8 PESTS


Inspected, Repair or Replace

 Evidence of past animal entry into the attic, as noted by the paths and "tunnels" in the insulations. Exact entry point into attic from outside is not known. Wild life exclusion company can evaluate to seal off attic from outside

10. Built-In Kitchen Appliances


10.0 DISHWASHER

Inspected, Repair or Replace

 Secure the loose dishwasher to the counter top in the kitchen.

10.1 RANGES/OVENS/COOKTOPS

Inspected, Repair or Replace

 Convection fan did not operate during inspection. Have seller demonstrate function. Consult with an appliance tech to evaluate and repair as needed.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Daniel McKemey

1. Exterior

Styles & Materials

Siding Material:

- Cement-Fiber
- Brick veneer

Items

1.0 EXTERIOR ELEVATION PHOTOS

Comments: Inspected

These are photos of the home taken from different angles and are not intended to show any defects.



1.0



1.0

1.1 EXTERIOR SIDING

Comments: Inspected

1.2 DOORS


Comments: Inspected

1.3 WINDOWS

Comments: Inspected

1.4 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Comments: Inspected, Repair or Replace

 Rusted hardware noted at various locations at deck. Replace damaged components as needed.



1.4

1.5 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

Comments: Inspected

1.6 EAVES, SOFFITS AND FASCIAS


Comments: Inspected

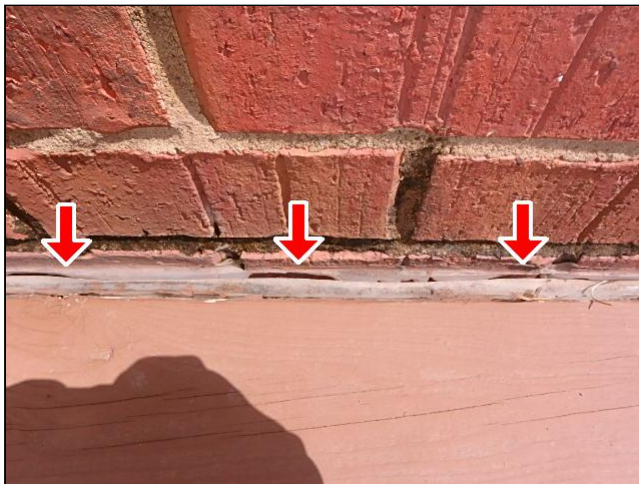
1.7 EXTERIOR TRIM

Comments: Inspected

1.8 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK

Comments: Inspected, Repair or Replace

 Seal flashing to brick at top of deck.



1.8

2. Garage

Items

2.0 GARAGE CEILINGS

Comments: Inspected

2.1 GARAGE WALLS

Comments: Inspected

2.2 GARAGE FLOOR

Comments: Inspected

Cracks in garage floor are not wide enough to be considered a structural concern and are due to normal settlement and shrinkage of the concrete. Extent of soil compaction under concrete floor is not visible and is not known. Have patched as needed and resolve all concerns.

2.3 VEHICLE DOOR(s)

Comments: Inspected

2.4 VEHICLE DOOR OPENER (s)

Comments: Inspected

Auto reverse sensors could not be located for the garage door(s). Force (pressure) test was not part of this inspection and it is recommended that auto reverse sensors be installed for safety. Recommend to have garage door contractor inspect and repair as needed.

2.5 OCCUPIANT DOOR FROM THE INSIDE OF THE HOME TO THE GARAGE

Comments: Inspected

3. Structural Components

Styles & Materials

Foundation: Poured concrete Basement	Roof Structure: 2x4 engineered wood trusses 24" on center	Method Used to Observe Attic: From entry Walked
Floor Structure: Slab Not visible	Wall Structure: Not visible	Attic info: Pull Down stairs

Items

3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected

3.1 WALLS (Structural)

Comments: Inspected

3.2 FLOORS (Structural)

Comments: Inspected

3.3 CEILINGS (structural)

Comments: Inspected

3.4 ROOF STRUCTURE AND ATTIC

Comments: Inspected

Views of attic framing and insulation. Attic space entered and inspected from the closest locations possible.



3.4



3.4

4. Roofing

Styles & Materials

Roof Covering:	Viewed Roof Covering From:
4 tab architectural fiberglass shingles	Ground
	Limited view due to height of building

Items

4.0 ROOF COVERINGS

Comments: Inspected

Not all portions of the roof were visible due to the height of the building. Consult with a roofer to evaluate the whole roof and maintain as needed.

4.1 FLASHINGS

Comments: Inspected

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

Boot flashing around plumbing vents on the roof are ok now, but these last about 5-7 years before needing replacement. They crack and split and allow rain water to leak into attic.

4.3 GUTTERS & DOWNSPOUTS

Comments: Inspected

5. Insulation and Ventilation

Styles & Materials

Attic Insulation:

Blown
Fiberglass

Roof Ventilation:

Ridge vents
Soffit Vents
Passive

Items

5.0 INSULATION IN ATTIC

Comments: Inspected

5.1 VENTILATION OF ROOF

Comments: Inspected

5.2 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS

Comments: Inspected

6. Heating / Central Air Conditioning


Styles & Materials

Heating Equipment Type: Forced Air	Heating Equipment Age: 2002	Heat Temp: The main level heat read 101 degrees. The upper level heat read 100 degrees.
Number of Heat Systems (excluding wood): Two	Energy Source: Natural gas	Cooling Equipment Type: Central forced Air A/C
Cooling Equipment Age: 2002	Number of AC Only Units: Two	A/C Temp: Main level system read 60 degrees Upper Level A/C read 60 degrees
Cooling Equipment Energy Source: Electricity		

Items

6.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

 Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system are concealed from view, and our inspection is visual and is intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct system, since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

Furnaces usually last to be about 20-25 years and it can be expected that this unit will need replacement in the near future.



6.1 NORMAL OPERATING CONTROLS/ THEROMSTAT

Comments: Inspected

6.2 DISTRIBUTION SYSTEMS

Comments: Inspected, Repair or Replace

- 🔧 (1) Gaps noted at duct connections to furnaces. Seal to prevent air leaks.



6.2



6.2

- (2) Filter location is similar on both furnaces.



6.2

6.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Comments: Inspected

6.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

6.5 GAS/LP FIRELOGS AND FIREPLACES

Comments: Inspected

6.6 COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected, Repair or Replace

🔧 (1) Along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the system(s). Unit was not disassembled.

A/c unit(s) usually last about 15 years, and it is likely that the unit(s) in this home will need replacement in the near future.



6.6

🔧 (2) Gaps found in the insulation wrapping around the refrigerant pipes from the a/c units where these pipes pass through the attic. See photo. Have re-wrapped with more insulation to prevent condensate from dripping on the ceiling.



6.6

🔧 (3) Cap missing at condensate drain line. Replace cap to prevent cool air loss.



6.6

🔧 (4) Rust noted at emergency overflow pan in attic. This indicates a previous issue with the AC system. It can not be verified during the inspection if this issue has been resolved. Consult with an HVAC tech to evaluate as needed.



6.6

6.7 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

7. Electrical System

Styles & Materials

Panel Type: Circuit breakers	Panel capacity: 150 AMP	Wiring Methods: Romex
Main Disconnect Location: Meter	Branch wire 15 and 20 AMP: Copper	Electrical Service Conductors: Below ground

Items

7.0 SERVICE ENTRANCE CONDUCTORS & MAIN DISCONNECT BREAKER

Comments: Inspected

Main electrical disconnect location.



7.0

7.1 SERVICE GROUNDING

Comments: Inspected

7.2 PANEL BOX & SUB-PANEL

Comments: Inspected, Repair or Replace

(1) View of panel. Panel was inspected for function (not code compliance) and building codes and standards have changed over the years.



7.2

🔧 (2) Replace missing screw at panel cover.



7.2

7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Comments: Inspected, Repair or Replace

🔧 Cover needed on the open junction box in the locations in photos. Covers are used to control sparking.



7.3 Basement Bedroom



7.3 Master Bedroom

7.4 OUTLETS & LIGHT FIXTURES

Comments: Inspected, Repair or Replace

- 🔧 (1) Replace out bulb at basement bathroom.



7.4 Basement Bath

- 🔧 (2) Family room light remote is damaged. Repair/replace as needed.



7.4

7.5 CONDUIT

Comments: Inspected, Repair or Replace

- 🔧 Loose conduit attachment noted at garbage disposal. Secure conduit to prevent chaffing on the wire.



7.5

7.6 OPERATION OF GFCI & OR AFCI

Comments: Inspected, Repair or Replace

🔧 Defective gfci outlet noted at the location in photo. Outlet(s) did not trip when tested. Have electrician replace with a working unit. GFCI outlets are used to protect personnel in wet areas.



7.6 Rear Deck

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

🔧 All smoke detectors should be tested upon moving in to the home. Typically, there should be at least one smoke detector per level, one in each bedroom and one in the immediate bedroom hallway. All of these detectors should be interconnected and work together without the use of a battery. There are different types of smoke detectors: Ionization and Photoelectric. Smoke detectors have an expiration date and typically last 10 years before needing replacement.

7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected

8. Plumbing System

Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Not visible	Plumbing Water Distribution (inside home): Copper
Plumbing Drain Pipe: PVC	Water Heater Capacity: 50 Gallon	Water Heater Age: 2002
Water Heater Location: Garage closet	Water Heater Power Source: Gas	

Items

8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Comments: Inspected

8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

Comments: Inspected, Repair or Replace

🔧 (1) Replace damaged flush mechanism at basement bathroom toilet.



8.2 Basement Bath

🔧 (2) The jacuzzi tub did not operate during inspection. The GFCI would trip anytime the motor was activated. Consult with a plumber to evaluate and repair/replace as needed.



8.2



8.2

🔧 (3) Stopper defective/missing at bathroom fixture in photo. Adjust/replace as needed.



8.2

🔧 (4) Slow drain in the fixture in photo noted. Have checked for a clog.



8.2 Master Bath

- 🔧 (5) Secure the loose sink fixture in the master bath as needed.



8.2 Master Bath

8.3 WATER HEATER

Comments: Inspected, Repair or Replace

- 🔧 Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age.



8.3

8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected


The main water shut off is in the basement.

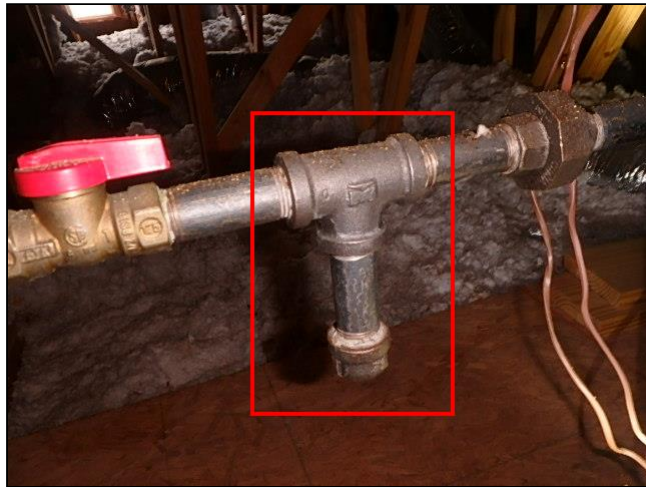


8.4

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected, Repair or Replace

 Sediment traps (or drip legs/slang term) are not installed in the correct orientation for the attic furnace. This was permitted when the home was built, however, it does not meet current standards and the gas companies requirements. Hvac tech can evaluate. Gas company may not connect gas for new owner if this is discovered. See photo(s).



8.5

8.6 MAIN FUEL GAS SHUT OFF

Comments: Inspected

Main gas shut off is at the meter.

9. Interiors

Items

9.0 CEILINGS

Comments: Inspected

9.1 WALLS

Comments: Inspected

9.2 FLOORS

Comments: Inspected

9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

9.4 COUNTERS AND INSTALLED CABINETS (REPRESENTATIVE NUMBER)

Comments: Inspected

9.5 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

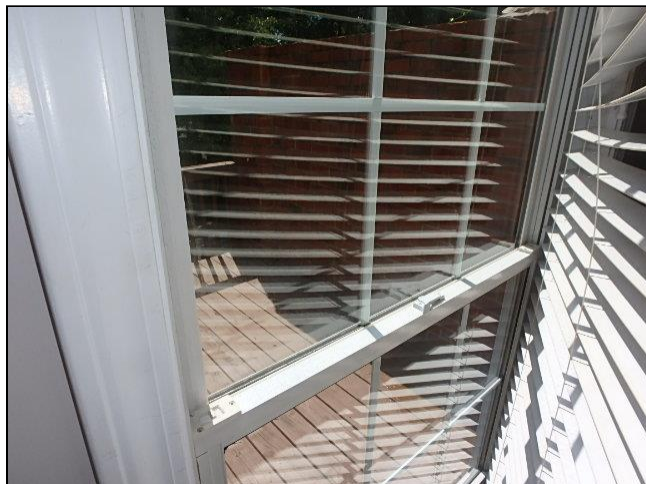
👉 (1) Replace all "fogged" windows. The seal between the panes of glass has failed allowing moisture to enter between the panes. It is possible that more may fog in the future. Have window contractor evaluate all windows because it is highly likely that if one window has had a seal failure, that more seal failures in different windows will occur. See photos for examples. It is difficult to identify seal failure in windows when the weather is rainy, over cast, foggy or the glass is wet from recent rains or condensation. Buyer should resolve all concerns prior to closing.



9.5 Basement Bedroom



9.5 Upper Rear Bedroom



9.5 Family Room

🔧 (2) Replace cracked glass found in windows pictured.



9.5 Rear Deck

🔧 (3) Seals between panes of glass in the dining room window have moved out of position and can be seen in between the panes of glass. Seals have not failed and windows do not appear to be fogged.



9.5 Dining Room

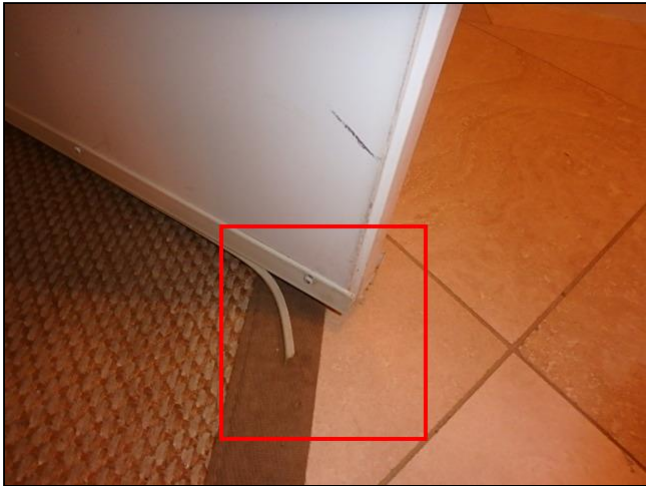
9.6 BATHROOMS

Comments: Inspected

9.7 INTERIOR DOORS

Comments: Inspected, Repair or Replace

🔧 Repair/replace the damaged door sweep at the garage entry.



9.7 Garage Entry

9.8 PESTS

Comments: Inspected, Repair or Replace

🔧 Evidence of past animal entry into the attic, as noted by the paths and "tunnels" in the insulations. Exact entry point into attic from outside is not known. Wild life exclusion company can evaluate to seal off attic from outside



9.8



9.8

10. Built-In Kitchen Appliances

The kitchen appliances were checked for basic function only.

Items

10.0 DISHWASHER

Comments: Inspected, Repair or Replace

🔧 Secure the loose dishwasher to the counter top in the kitchen.



10.0

10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected, Repair or Replace

🔧 Convection fan did not operate during inspection. Have seller demonstrate function. Consult with an appliance tech to evaluate and repair as needed.



10.1

10.2 VENT HOOD/DOWN DRAFT

Comments: Inspected

10.3 GARBAGE DISPOSAL

Comments: Inspected

10.4 MICROWAVE

Comments: Inspected

10.5 REFRIGERATOR

Comments: Inspected