



Inspection Report

Alexis Seton

Property Address:
1575 Spinnaker Dr
Alpharetta GA 30005



Champia Real Estate Inspection, LLC

**Todd Walker
AHIT GAHI
4015 Wetherburn Way
Building A, Suite 200
Peachtree Corners, GA 30092
770 953 0767**

Table of Contents

[Cover Page.....1](#)

[Table of Contents.....2](#)

[Intro Page3](#)

[1 Grounds4](#)

[2 Exterior.....10](#)

[3 Attic / Roof 11](#)

[4 Garage / Carport.....21](#)

[5 Interiors24](#)

[6 Kitchen33](#)

[7 Plumbing System37](#)

[8 Electrical System44](#)

[9 Heating / Air Conditioning.....52](#)

[10 Foundation57](#)

[General Summary.....59](#)

[Invoice.....65](#)

Date: 10/9/2020	Time: 02:00:00 PM	Report ID: 42821
Property: 1575 Spinnaker Dr Alpharetta GA 30005	Customer: Alexis Seton	Real Estate Professional: Kim Rowe Chapman Hall (Atlanta)

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Attention required (AR) = The item, component or unit is not functioning as intended, missing or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

All completed Champia Real Estate Inspections come with the following FREE services:

- 5 year Platinum Roof Leak Warranty
- 90 Day Structure/Mechanical Warranty
- 90 Day Mold Warranty
- 90 Day Main Sewer/Water Line Warranty
- 120 Day Radon Warranty (with test)
- Personal Home Assistant for your move in needs
- \$200 of Handyman Services
- Home Owners Network for free technical support for life
- RecallChek on appliances for life!

Additionally, this home now qualifies for purchase of our 18 month Home Warranty priced at the typical 12 month home warranty price. Champia Real Estate Inspections is providing you with 6 additional months of warranty for free. That's 18 months of coverage for the price of 12 months. This warranty is backed by RWS, a national warranty provider. [Click HERE for more details](#).

Standards of Practice:

ASHI American Society of Home Inspectors

In Attendance:

Customer

Type of building:

Single Family (1 story)

Temperature:

Over 60 (F) = 15.5 (C)

Weather:

Light Rain

1. Grounds

Orientation: Description of exterior locations from facing front.

Styles & Materials

Attached features:	Driveway:	Walkways:
Deck with steps	Brick	Brick
Walkway	Concrete	Stones
Driveway		
Patio		
Covered porch		
Patios:		
Brick		

		IN	NI	NP	AR
1.0	GROUND GENERAL				•
1.1	STOOPS, STEPS, AREAWAYS, PORCHES				•
1.2	DECKS, SUN ROOM				•
1.3	VEGETATION (with respect to their effect on the condition of the building)				•
1.4	DRIVEWAY, WALKWAYS, PATIOS				•
1.5	GRADING, DRAINING (with respect to their effect on the condition of the building)	•			
1.6	RETAINING WALLS				•
		IN	NI	NP	AR

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Comments:

1.0 Damaged bench noted at rear of property. Repair/Replace as necessary to ensure proper operations and improve safety.



1.0 rear

1.1 Uneven riser height noted at front porch stairs. NOTE: Risers should be consistent in height; not to exceed 7 3/4". Adjust as necessary to avoid trip hazard.



1.1 front porch

1.2 (1) Handrail not graspable at rear deck stairs. NOTE: Handrails should be graspable. Install as necessary to improve safety. Recommend consult with a licensed general contractor for further information.



1.2 rear deck



1.2 rear deck

1.2 (2) NOTE: Deck structure below rear deck is covered and not visible. Unable to inspect structure. Monitor and repair as necessary.



1.2 rear deck

1.3 (1) Leaning trees and overhanging branches noted at front, left and rear. Remove/trim trees/branches as necessary to avoid hazard to occupants, damage to the roof and exterior. Recommend consult with a qualified tree contractor for further information.



1.3 front, left, right

1.3 (2) Shrubs against the exterior noted left and right. Recommend to maintain a distance of 6" to avoid damage to the exterior, animal and moisture entry. Recommend consult with a qualified landscape contractor for further information.



1.3 right



1.3 left

1.4 Signs of erosion noted at rear brick patio and front porch. Repair as necessary to avoid further damage. Recommend consult with a licensed general contractor for further information. Refer to images for specific locations.



1.4 rear patio



1.4 rear patio



1.4 rear patio



1.4 front porch

1.6 Missing guard rail noted at front right retaining wall. NOTE: Distances of 30" and higher should be protected by guardrails. Install guardrails as necessary. Recommend consult with a licensed general contractor for further information.



1.6 front right

.....
GROUNDS

The inspector shall inspect: Attached and adjacent decks, balconies, stoops, steps, porches, and their associated flashings and railings. Vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. Adjacent and entryway walkways, patios and driveways. **The inspector is NOT required to inspect:** Fences, boundary walls, and similar structures. Geological and soil conditions. Recreational facilities. Seawalls, break-walls, and docks. Erosion control and earth stabilization measures.

2. Exterior

Orientation: Description of exterior locations from facing front.

Styles & Materials

Siding material:ShakesWood

Exterior entry doors:Wood

Trim soffit fascia: MetalWood

		IN	NI	NP	AR
2.0	EXTERIOR GENERAL				•
2.1	WALL CLADDING	•			
2.2	FLASHING AND TRIM	•			
2.3	SOFFITS AND FASCIAS	•			
		IN	NI	NP	AR

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Comments:

2.0 Sag noted at front left garage.
Recommend further evaluation by a
licensed structural contractor for further
evaluation.



2.0 front

EXTERIOR

The inspector shall inspect: Wall coverings, flashing, and trim, exterior doors, eaves, soffits, and fascias where accessible from the ground level.
The inspector shall describe: Wall coverings. The inspector is NOT required to inspect: Screening, shutters, awnings, and similar seasonal accessories. Outbuildings other than garages and carports.

3. Attic / Roof

Orientation: Description of roof locations from facing front.

Styles & Materials

Method used to observe attic:	Attic info:	Roof covering:
Walked	Attic access Light in attic Pull-down stairs No storage	Asphalt/Fiberglass
Roof structure:	Roof decking:	Viewed roof covering from:
Rafters	OSB sheathing	Ground
Sky light(s):	Chimney (exterior):	
One	Brick	

		IN	NI	NP	AR
3.0	ATTIC ACCESS				•
3.1	ROOF STRUCTURE AND ATTIC				•
3.2	INSULATION IN ATTIC	•			
3.3	VENTILATION OF ATTIC	•			
3.4	ANIMAL AND INSECT ACTIVITY IN THE ATTIC				•
3.5	ROOF COVERINGS				•
3.6	FLASHINGS				•
3.7	SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS		•		•
3.8	ROOF DRAINAGE SYSTEMS				•
		IN	NI	NP	AR

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Comments:

3.0 Access cover does not close tight. Adjust/repair as necessary to ensure proper operations. Recommend service by a licensed general contractor.



3.0 garage

3.1 (1) Signs of moisture entry noted at front right and left in attic. Recommend further evaluation by a qualified roof contractor.



3.1 attic front



3.1 left



3.1 left

3.1 (2) Signs of wood destroying organism activity noted at front roof line. Recommend to consult with a qualified pest and wildlife exclusion contractor



3.1 front

3.4 Signs of animal activity noted in the attic (tracks, burrow holes). Recommend to consult with a qualified pest and wildlife exclusion contractor.



3.4 attic



3.4 attic



3.4



3.4 attic

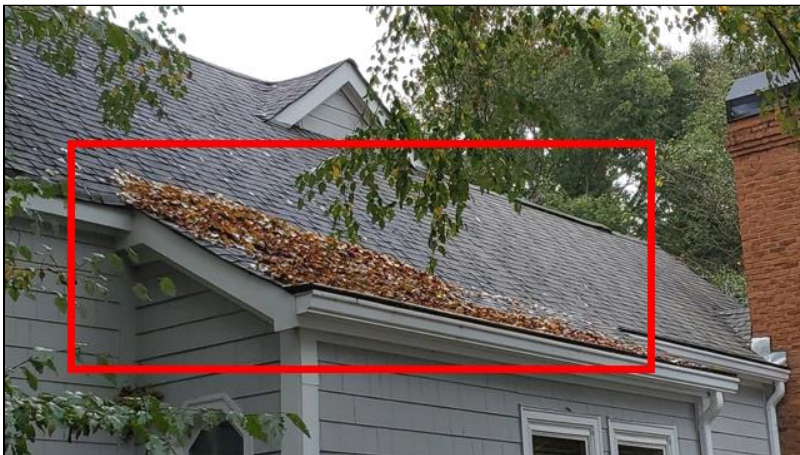
3.5 Accumulation of organic debris (i.e. leaves) noted at numerous areas on the roof. Recommend frequent cleaning/as necessary to avoid moisture entry. Recommend consult with a qualified landscape contractor for further information.



3.5 front



3.5 front



3.5 right

3.6 Missing drip flashing noted at roof lines. NOTE: Drip flashing should be installed at roof-to-facia intersections to protect the facia. Recommend consult with a qualified roof contractor for further information.



3.6 front



3.6 right



3.6 left



3.6 rear



3.6 rear

3.7 NOTE: It is recommended that the purchaser have the fireplace and chimney further evaluated by qualified chimney sweep for compliance with current fireplace/chimney construction and safety standards.



3.7 right

3.8 (1) Missing gutter noted right front. Recommend to install gutters and downspouts to improve rain run-off management.. Recommend consult with a qualified gutter contractor for further information.



3.8 right

3.8 (2) Recommend to direct downspout discharge away from the foundation. Noted at rear right. NOTE: At least 5 ft. Recommend service by a qualified landscape contractor.



3.8 rear patio

ROOF / ATTIC

The inspector shall inspect: Roofing materials, roof drainage systems. Flashing, skylights, chimneys and roof penetrations. Insulation and ventilation of attics. **The inspector shall describe:** Methods used to inspect the roofing. Roofing materials, insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. **The inspector is NOT required to disturb insulation.** **The inspector is NOT required to inspect:** Antennae, interiors of vent systems. Flues and chimneys that are not readily accessible. Other installed accessories. **The inspector is NOT required to traverse:** Attic load-bearing components that are concealed by insulation or by other materials.

4. Garage / Carport

Orientation: Description of garage locations from facing garage entry.

Styles & Materials

Garage door type:

Two automatic

		IN	NI	NP	AR
4.0	GARAGE CEILINGS	•			
4.1	GARAGE WALLS	•			
4.2	GARAGE FLOOR				•
4.3	GARAGE DOORS	•			
4.4	GARAGE DOOR OPERATION (report whether or not doors will reverse when met with resistance)	•			
4.5	FIRE SAFETY	•			
4.6	OCCUPANT DOOR FROM GARAGE TO INSIDE HOME	•			
		IN	NI	NP	AR

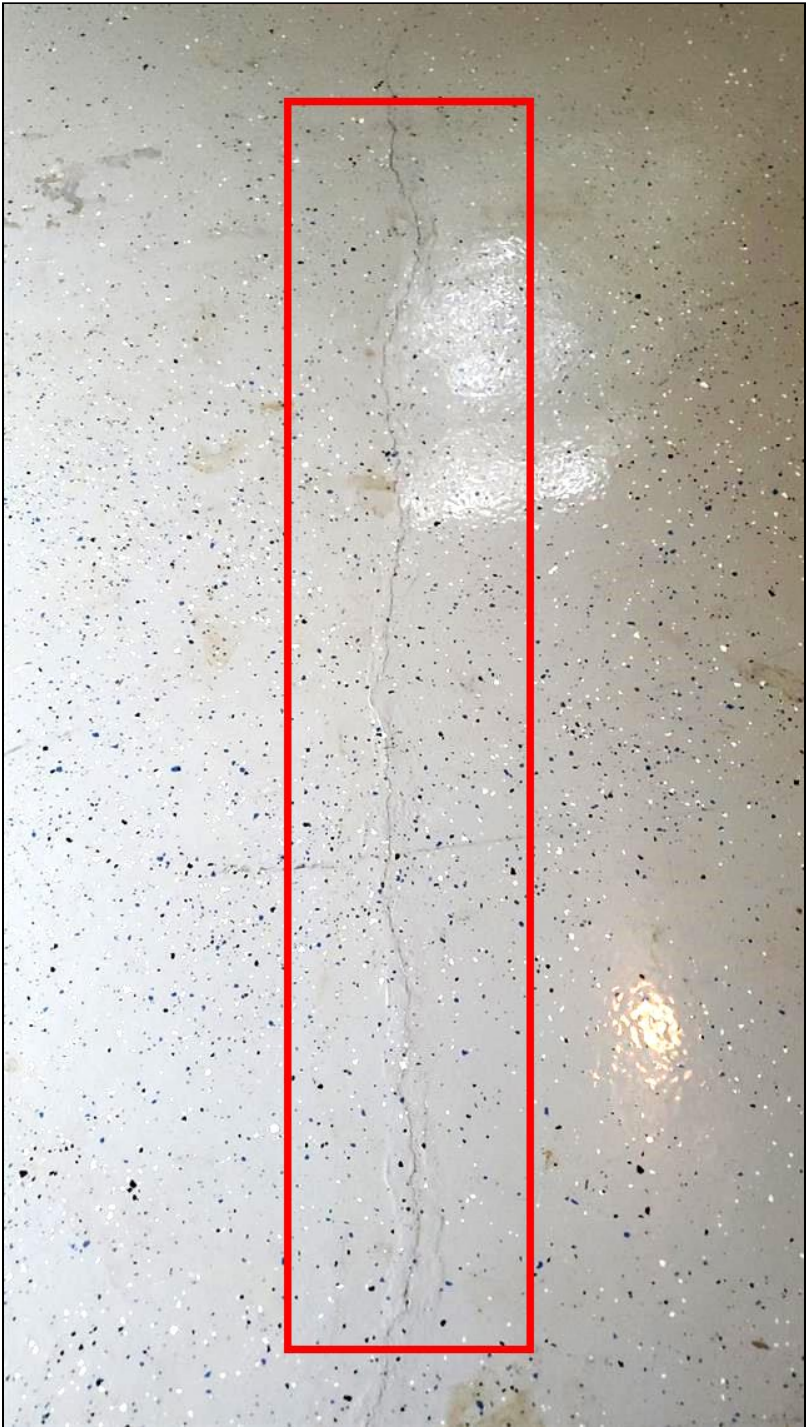
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Comments:

4.2 Damage/Cracks/Sagging noted at garage flooring. Recommend further evaluation by a qualified structural contractor.



4.2 garage



4.2 garage



4.2

GARAGE

The inspector shall inspect: Garage vehicle doors and garage vehicle door operators.

5. Interiors

Orientation: Description of interior locations from facing entry from front or specific room entry.

Styles & Materials

Ceiling materials:
Gypsum Board

Wall material:
Gypsum Board

Floor covering(s):
Carpet
Tile
Wood

Window types:
Vinyl
Thermal/Insulated
Double-hung
Single-hung
Tilt feature

Types of fireplaces:
Vented gas logs

Operable fireplaces:
One

		IN	NI	NP	AR
5.0	CEILINGS				•
5.1	WALLS				•
5.2	FLOORS				•
5.3	STEPS, STAIRWAYS, BALCONIES AND RAILINGS				•
5.4	DOORS (representative number)				•
5.5	WINDOWS (representative number)				•
5.6	FIREPLACES (heating devices, flues, vents)	•			
		IN	NI	NP	AR

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Comments:

5.0 (1) Damage/Crack noted at 1st floor dining room ceiling. Repair/Seal/Paint as necessary to avoid further damage.



5.0 1st floor dining room

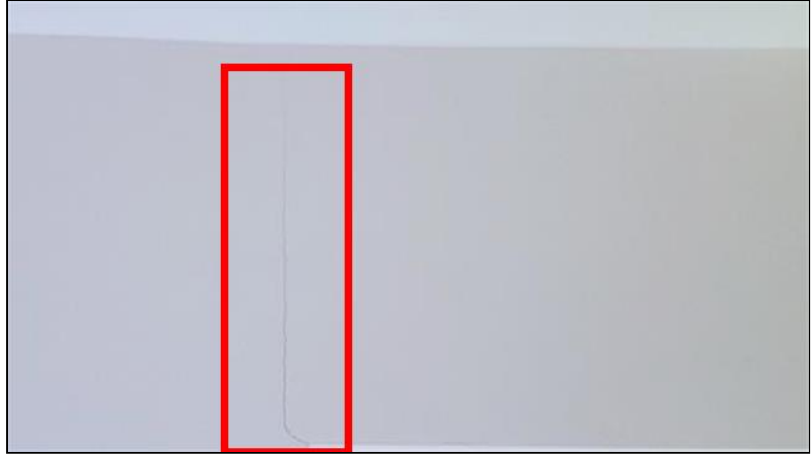
5.0 (2) Signs of prior moisture stain noted at desk in basement. Repair/Seal/Paint as necessary.



5.0 bsmt open area closet

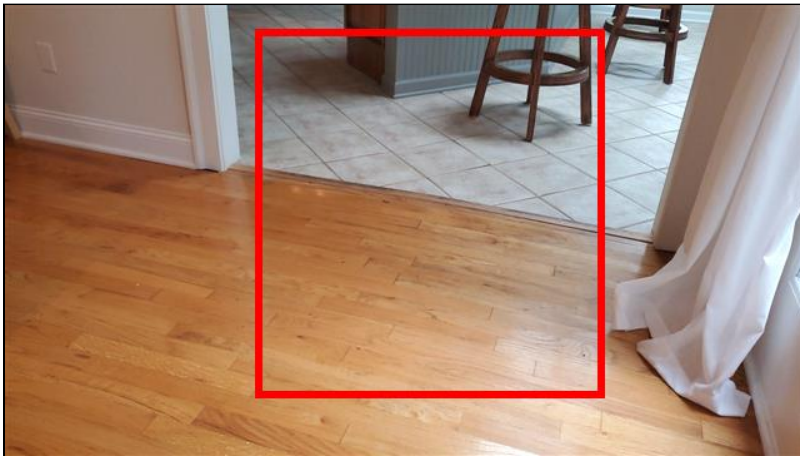
5.0 (3) NOTE: Recommend consult with a licensed general contractor for all attention and repairs.

5.1 Damage/Crack noted at basement front left bedroom. Repair/Seal/Paint as necessary to avoid further damage. Recommend consult with a licensed general contractor for further information.

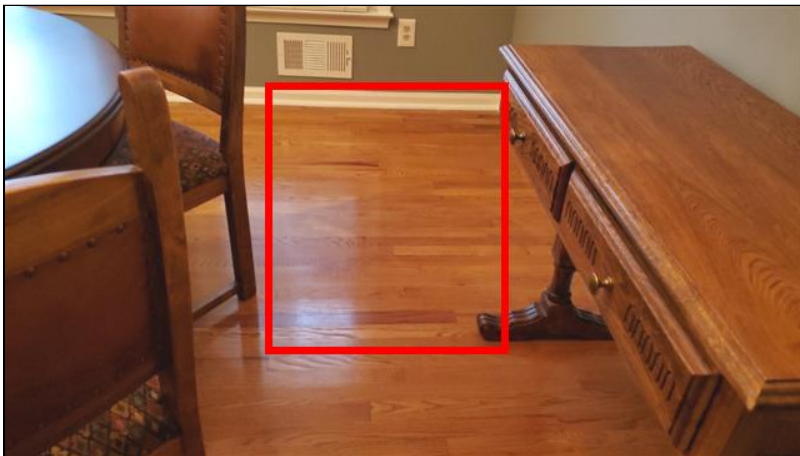


5.1 bsmt front left bdrm

5.2 (1) NOTE: Uneven flooring noted at 1st floor family room to kitchen and dining room. Recommend consult with seller for further information. NOTE: Recommend consult with a licensed structural contractor for further information.



5.2 1st floor family room/kitchen



5.2 dining room

5.2 (2) Gaps noted at 1st floor family room flooring to wall intersection. Repair/Seal as necessary to ensure proper operations.



5.2 1st floor family room



5.2 1st floor family room

5.3 Balusters spaced too wide noted at 1st floor guard rails. NOTE: Balusters at guard rails should not be spaced wider than 4" apart. Adjust as necessary to improve safety. Recommend consult with a licensed general contractor for further information.

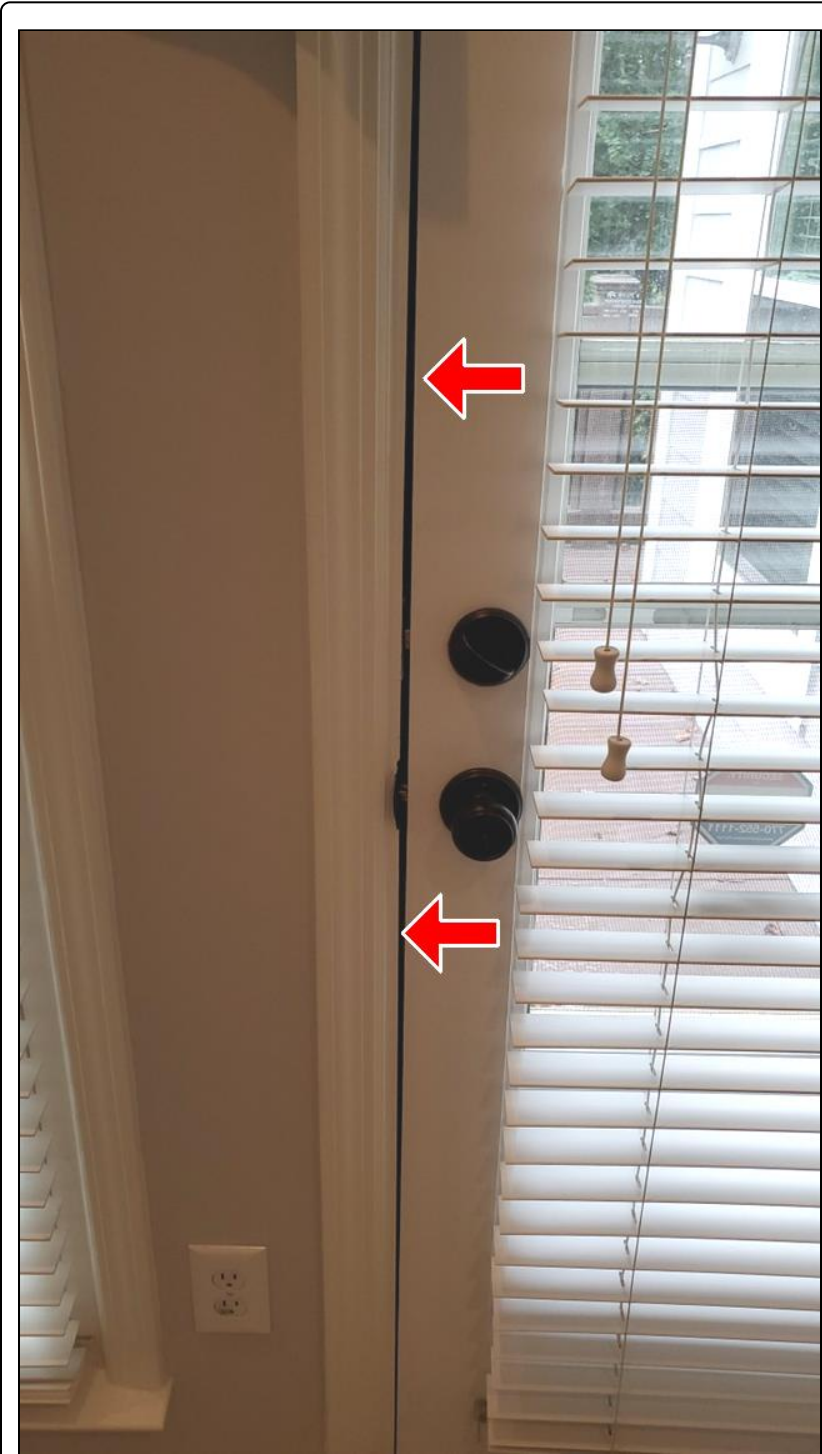


5.3 1st floor stairs

5.4 (1) Uneven/Gap noted at 1st floor master bedroom door. Repair/Adjust as necessary to ensure proper operations.



5.4 1st floor mstr bdrm

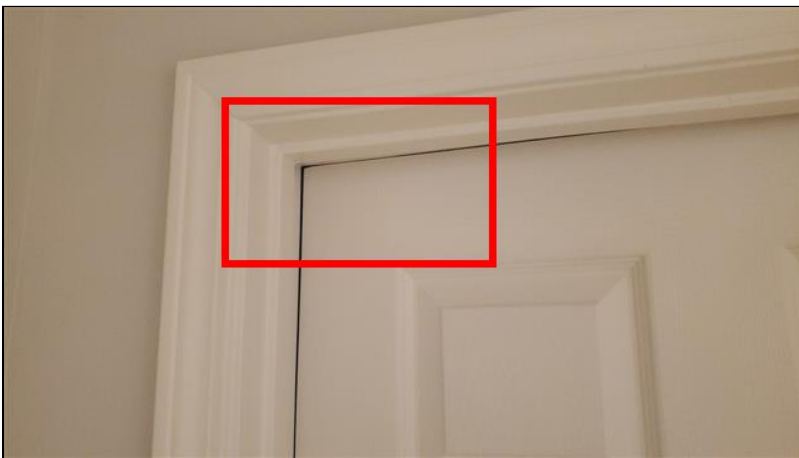


5.4 1st floor mstr bdrm

5.4 (2) Doors at basement left bedrooms bind. Adjust as necessary to ensure proper operations.



5.4 bsmt left rear room



5.4 bsmt left front bedroom

5.4 (3) Doors at basement mechanical closet do not latch. Adjust as necessary to ensure proper operations.



5.4 bsmt mechanical

5.4 (4) NOTE: Recommend consult with a qualified door contractor for all attention and repairs.

5.5 (1) Damaged tilt feature noted at several windows. Repair/Replace as necessary ensure proper operations. Refer to images for specific locations. Recommend further evaluation by a licensed window contractor.



5.5 kitchen breakfast



5.5 1st floor front bedroom



5.5 1st floor mstr bdrm

5.5 (2) Gaps/Separation noted at several window sills. Repair/Seal/Paint as necessary to avoid further damage and improve thermal envelope



5.5 kitchen breakfast



5.5 kitchen breakfast

INTERIORS

The inspector shall inspect: Walls, ceilings, and floors, steps, stairways, and railings. A representative number of installed cabinets, a representative number of doors and windows. Fuel-burning fireplaces, stoves, and fireplace inserts, fuel-burning accessories installed in fireplaces, chimneys and vent systems. **The inspector is NOT required to describe:** Systems and components of fuel-burning fireplaces. **The inspector is NOT required to inspect:** Paint, wallpaper, and other finish treatments, floor coverings, window treatments, coatings. Hermetic seals between panes of window glass, central vacuum systems, recreational facilities. Inspect interiors of fireplace vent systems, flues, and chimneys that are not readily accessible, fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and fireplace surrounds, combustion air components and to determine their adequacy. Heat distribution assists (gravity fed and fan assisted), fuel-burning fireplaces and appliances located outside the inspected structures. **The inspector is NOT required to determine:** Draft characteristics of fireplaces. **The inspector is NOT required to move:** Furniture, appliances, fireplace inserts, stoves or firebox contents.

6. Kitchen

Orientation: Description of kitchen locations from facing front or particular appliance/feature.

Styles & Materials

Cabinetry:Wood

Countertops:Granite

		IN	NI	NP	AR
6.0	DISHWASHER				•
6.1	FAUCETS, DRAINS	•			
6.2	RANGES, OVENS, COOKTOPS				•
6.3	VENTILATION	•			
6.4	FOOD WASTE DISPOSAL	•			
6.5	MICROWAVE COOKING EQUIPMENT	•			
6.6	CABINETS				•
6.7	COUNTER TOPS	•			
		IN	NI	NP	AR

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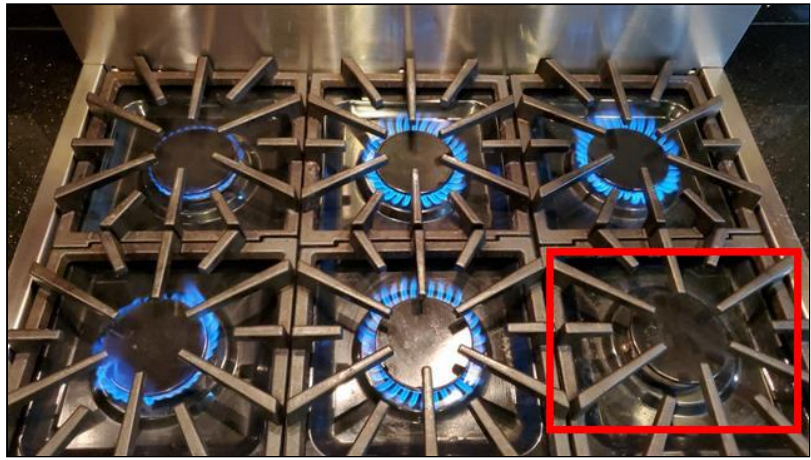
Comments:

6.0 Dishwasher door not operating properly noted at 1st floor kitchen. Repair/Adjust as necessary. Recommend consult with a qualified appliance contractor for further information.



6.0 kitchen

6.2 (1) The front right burner at the kitchen range did not operate. Recommend service.



6.2 kitchen

6.2 (2) Oven door not closing properly. Repair/Adjust as necessary to ensure proper operations.



6.2 kitchen

6.2 (3) NOTE: Recommend consult with a qualified appliance contractor for all attention and repairs.

6.6 (1) Cabinet rack not operating properly. Repair/Secure as necessary to ensure proper operations.



6.6 kitchen

6.6 (2) Cabinet door not open/close properly noted at 1st floor kitchen. Repair/Adjust as necessary to ensure proper operations.



6.6 kitchen

6.6 (3) Oven door scrubs on bottom cabinet drawer when open/close. Adjust as necessary to ensure proper operations.



6.6 kitchen

6.6 (4) NOTE: Recommend consult with a qualified cabinet contractor for all attention and repairs.

KITCHEN

The inspector shall inspect: Installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. Kitchen exhaust systems. **The inspector is NOT required to inspect:** Installed and free-standing kitchen appliances not listed previously. Appliance thermostats including their calibration, adequacy of heating elements, self-cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. **The inspector is NOT required to operate, or confirm the operation:** Of every control and feature of an inspected appliance.

7. Plumbing System

Orientation: Description of interior locations from facing front or specific room entry; as practical.

Styles & Materials

Main water shut-off location: Basement, front	Plumbing water supply (into home): Not visible	Plumbing water distribution (inside home): Copper
Plumbing waste drain materials: PVC	Water heater power source: Gas (quick recovery)	Water heater capacity: 50 gallon
Water heater brand: RHEEM	Water heater location: Basement Mechanical closet	Water heater age: 5 years

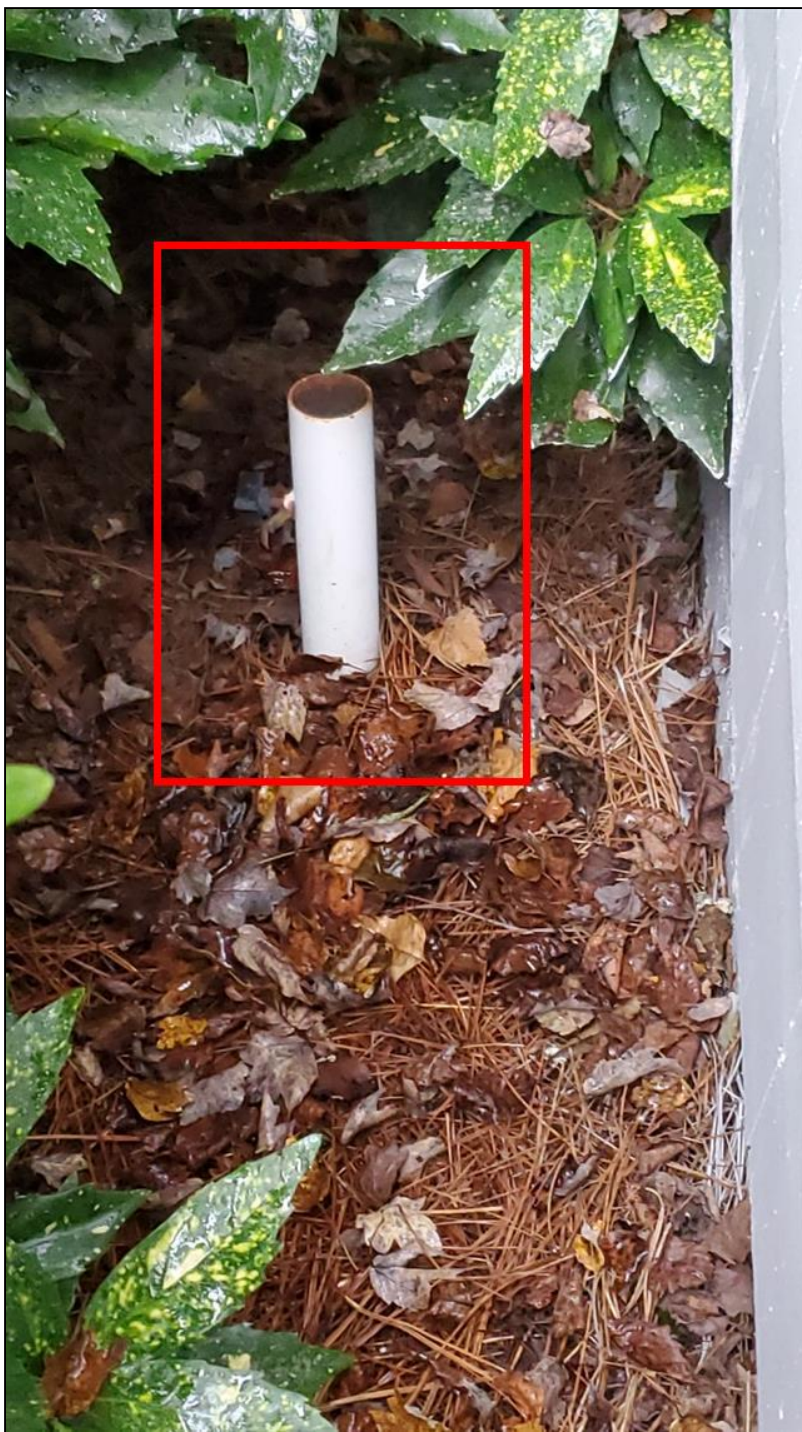
Natural gas shut-off location:
Right

		IN	NI	NP	AR
7.0	PLUMBING / GENERAL		•		
7.1	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•			
7.2	PLUMBING WATER SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES	•			
7.3	FUEL DISTRIBUTION SYSTEM	•			
7.4	HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS	•			
7.5	LAUNDRY	•			
7.6	BATHROOMS				•
7.7	BATHROOM VENTS				•
		IN	NI	NP	AR

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Comments:

7.0 NOTE: Unidentified pipe noted at left of property. Recommend consult with seller for further information.



7.0 left

7.2 NOTE: Main water supply and shut off noted at basement front unfinished.



7.2 bsmt unfinished

7.4 NOTE: Missing drain pan noted at water heater. Recommend to install a drain pan/catch pan with moisture sensor to minimize risk of flood damage. Refer to manufacturers guidelines.



7.4 bsmt mechanical closet

7.5 Missing catch/drain pan noted at laundry (for washer). Recommend to install/connect a suitable pan (with moisture sensor) to minimize risk of flooding.



7.5 1st floor laundry room

7.6 (1) Loose toilet bowl noted at 1st floor and basement lavatory. Reset toilet bowl with approved sealing material (i.e. wax ring) and secure as necessary.



7.6 1st floor hallway lavatory



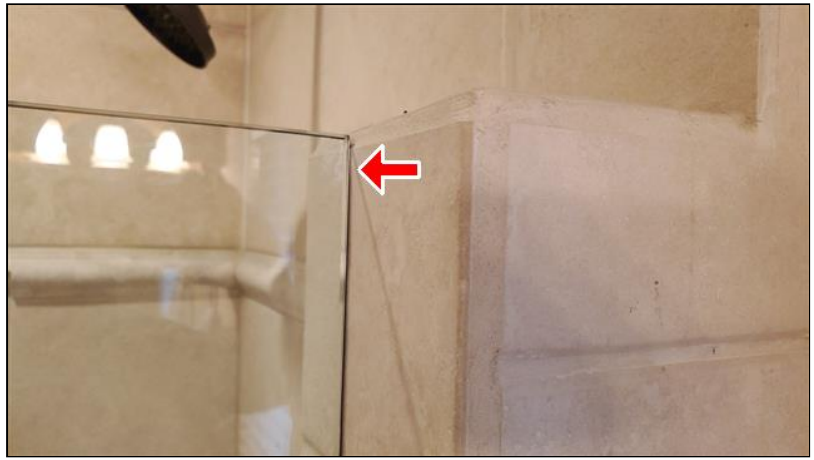
7.6 bsmt lavatory

7.6 (2) Damaged jacuzzi tub jet noted at 1st floor master bedroom lavatory. Repair/Replace as necessary to ensure proper operations and further damage.



7.6 1st floor mstr lavatory tub

7.6 (3) 1st floor master lavatory shower door scrubs. Repair/Adjust as necessary to ensure proper operations.

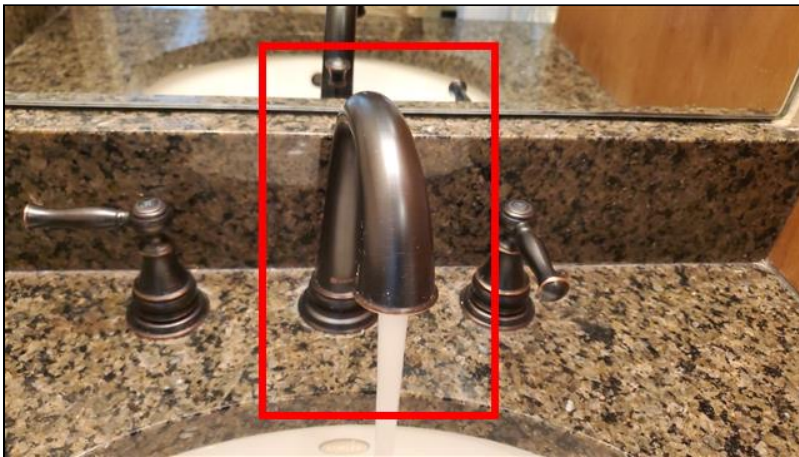


7.6 1st floor mstr lavatory shower

7.6 (4) Loose faucets noted at 1st floor master lavatory sinks. Repair/Secure as necessary to ensure proper operations.



7.6 1st floor mstr lavatory sinks



7.6 1st floor mstr lavatory sinks

7.6 (5) 1st floor master lavatory shower valve not operating properly (not adjusted to cold setting). Repair/Adjust/Replace as necessary to ensure proper operations.



7.6 1st floor mstr lavatory

7.6 (6) Looser handle noted at basement lavatory shower/tub valve. Repair/Secure as necessary to ensure proper operations.



7.6 bsmt lavatory shower/tub

7.6 (7) Stopper not operating at 1st floor master lavatory left sink. Repair/replace as necessary to ensure proper operations.



7.6 1st floor mstr bdrm lavatory left sink

7.7 Bathroom vent terminates in the attic. NOTE: Vents should terminate to the exterior to avoid humidity built-up in the in the attic. Repair as necessary to ensure proper venting operations. Recommend consult with a licensed general contractor for further information.



7.7 attic

PLUMBING

The inspector shall inspect: Interior water supply and distribution systems including fixtures and faucets. Interior drain, waste, and vent systems including fixtures, water heating equipment and hot water supply systems, vent systems, flues, and chimneys. Fuel storage and fuel distribution systems. Sewage ejectors, sump pumps, and related piping. Clothes dryer, laundry, bathroom and similar exhaust systems. **The inspector shall describe:** Interior water supply. Drain, waste, and vent piping materials. Water heating equipment, including energy source(s). Location of main water and fuel shut-off valves. **The inspector is NOT required to inspect:** Clothes washing machine connections. Interiors of vent systems, flues, and chimneys that are not readily accessible. Wells, well pumps, and water storage related equipment, water conditioning systems. Solar, geothermal, and other renewable energy water heating systems. Manual and automatic fire extinguishing and sprinkler systems. Landscape irrigation systems. Septic and other sewage disposal systems. **The inspector is NOT required to determine:** Whether water supply and sewage disposal are public or private. Water quality. The adequacy of combustion air components. Measure water supply flow and pressure, well water quantity. Fill shower pans and fixtures to test for leaks.

8. Electrical System

Orientation: Description of electrical components from front or facing from room entrance; as applicable.

Styles & Materials

Electrical service conductors:	Location of main disconnect:	Location panel (main and sub-panels):
Below ground	At panel	Garage
Panel capacity:	Branch wire 15 and 20 AMP:	Wiring methods:
200 AMP	Copper	NM (Non-metallic) Romex

		IN	NI	NP	AR
8.0	ELECTRICAL GENERAL				•
8.1	SERVICE ENTRANCE CONDUCTORS	•			
8.2	SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS				•
8.3	BRANCH WIRING	•			
8.4	CONNECTED DEVICES AND FIXTURES (observed from a representative number of ceiling fans, lighting fixtures and switches)				•
8.5	RECEPTACLES (observed from a representative number of receptacles)				•
8.6	GFCI (Ground Fault Circuit Interrupters)				•
8.7	AFCI (Arc Fault Circuit Interrupters)	•			
8.8	SMOKE DETECTORS				•
8.9	CARBON MONOXIDE DETECTORS	•			
		IN	NI	NP	AR

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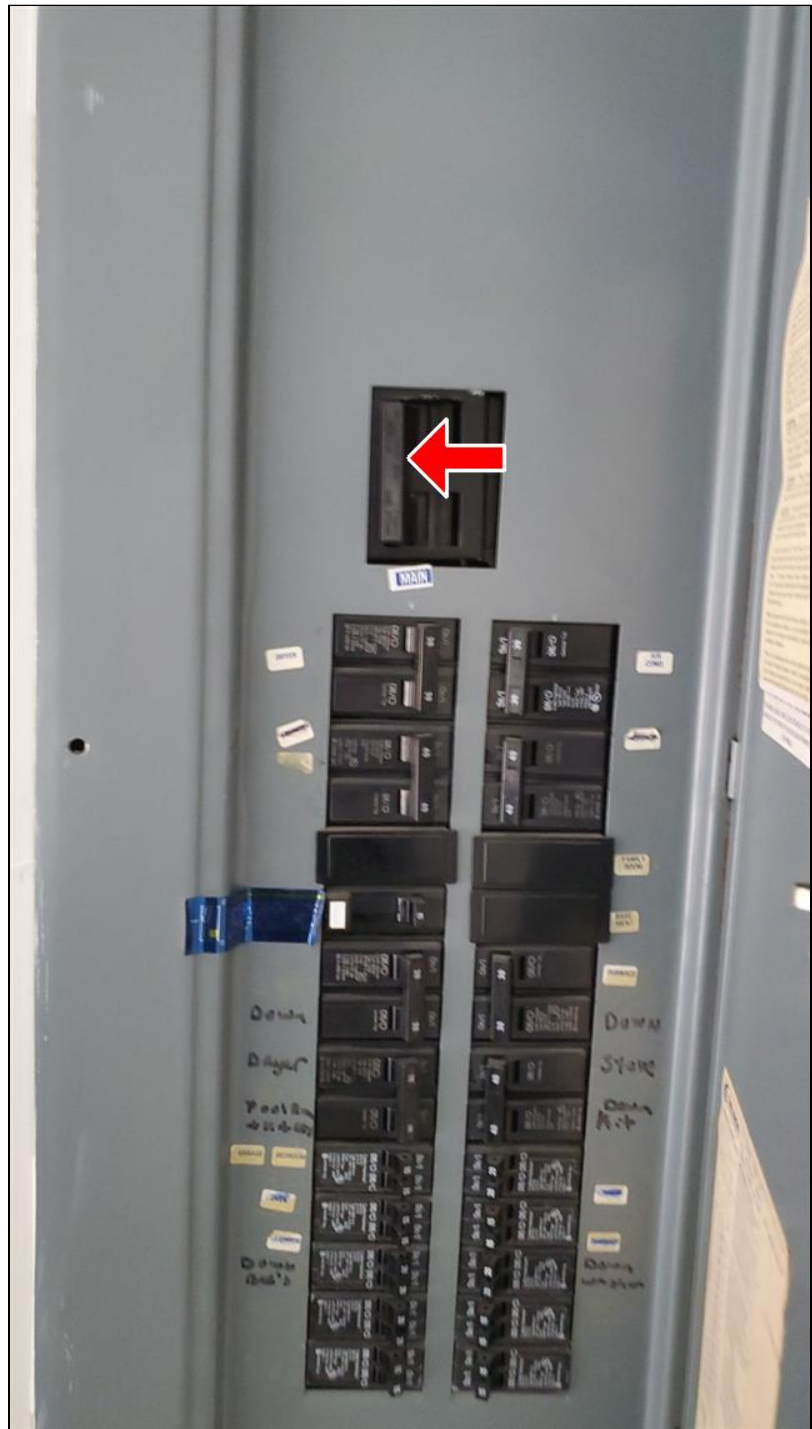
Comments:

8.0 Doorbell did not operate at time of inspection. Repair/Replace as necessary to ensure proper operations.Recommend consult with a licensed electrical contractor for further information.

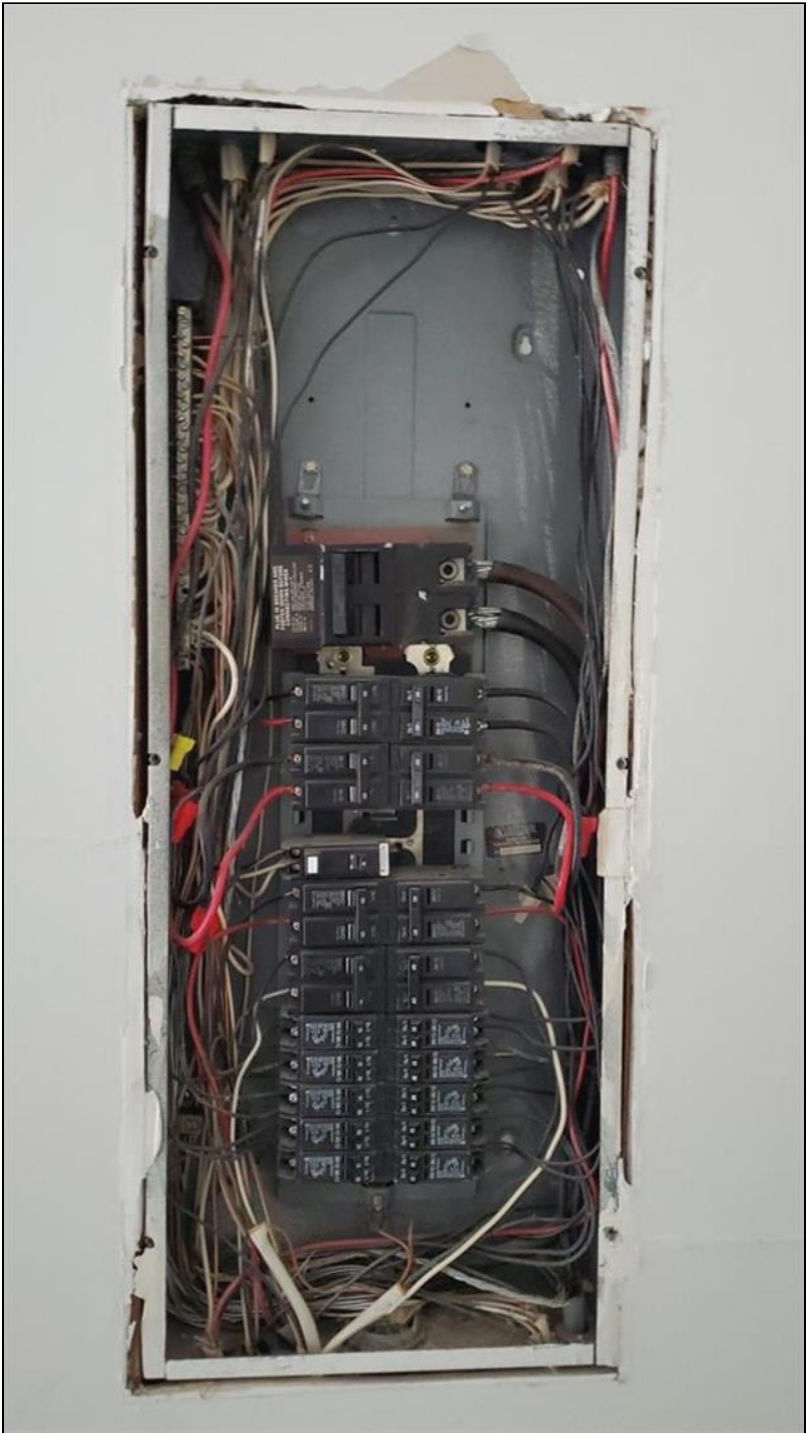


8.0 1st floor front

8.2 NOTE: Main power supply, shut off and distribution noted at garage.



8.2 garage



8.2 garage

8.4 (1) Light fixtures at several locations did not operate. Refer to images for typical locations. Check light bulbs/ evaluate circuits. Replace/repair where necessary.



8.4 bsmt open area



8.4 garage



8.4 garage

8.4 (2) Functionality of numerous light switches were not readily determined or apparent. Recommend to consult with owner for explanation/clarification.



8.4 1st floor mstr bdrm



8.4 kitchen

8.5 (1) Open ground noted at kitchen receptacles. Repair/replace as necessary to ensure proper operations. Recommend to consult with a licensed electrical contractor for further evaluation..



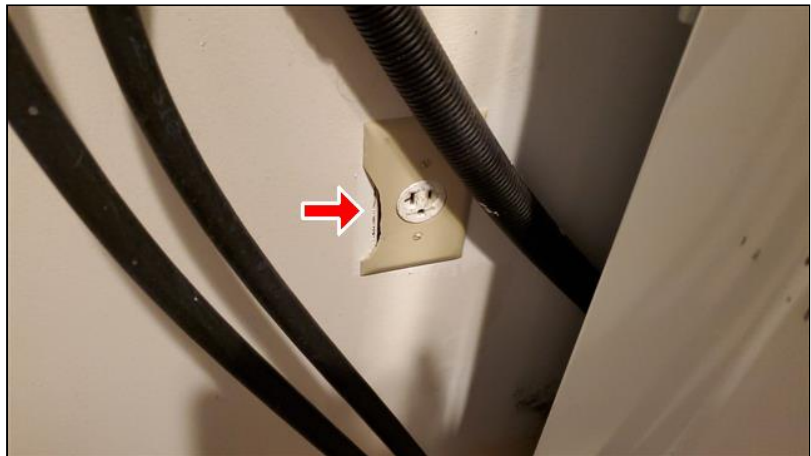
8.5 kitchen

8.5 (2) Loose receptacle noted at basement left rear room. Repair/Secure as necessary to ensure proper operations.



8.5 bsmt left rear room

8.5 (3) Damage cover noted at 1st floor laundry room receptacle. Replace as necessary to improve safety.



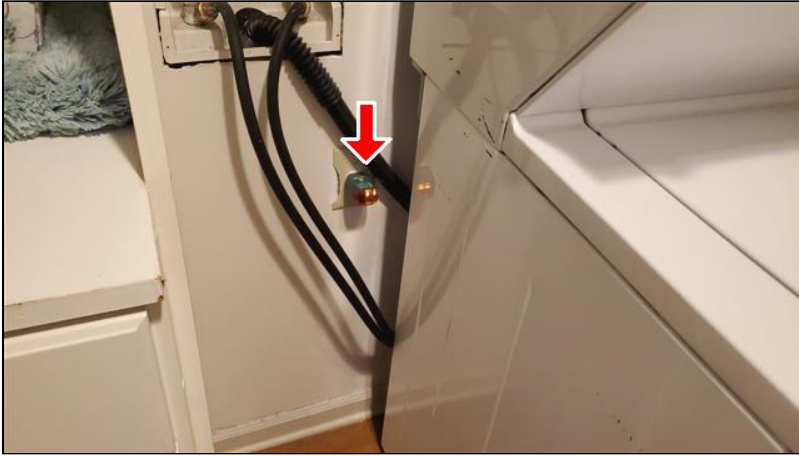
8.5 1st floor laundry room

8.5 (4) NOTE: Recommend consult with a licensed electrical contractor for all attention and repairs.

8.6 (1) GFCI-protection missing at kitchen counters receptacles. Recommend to upgrade receptacles and install GFCI (and AFCI, as applicable)-protection at required locations. Consult with a licensed electrical contractor for further evaluation.



8.6 kitchen



8.6 1st floor laundry room

8.6 (2) No power noted at the rear deck receptacle. Repair/Replace as necessary to ensure proper operations.



8.6 rear deck

8.8 NOTE: Recommend to upgrade the smoke alarm system to include smoke alarms at each level, each bedroom area and each bedroom. Install a carbon monoxide detector in each bedroom area. Establish routine testing; per manufacturers guidelines.



8.8 1st floor front hallway

8.9 Refer to previous comment.

.....
ELECTRICAL

The inspector shall inspect: Service drop, service entrance conductors, cables, and raceways. Service equipment and main disconnects. Service grounding. Interior components of service panels and subpanels. Conductors, overcurrent protection devices. A representative number of installed lighting fixtures, switches and receptacles. Ground fault circuit interrupters and arc fault circuit interrupters. **The inspector shall describe:** Amperage rating of the service. Location of main disconnect(s) and subpanels. Presence or absence of smoke alarms and carbon monoxide alarms. The predominant branch circuit wiring method. **The inspector is NOT required to inspect:** Remote control devices, test smoke and carbon monoxide alarms, security systems, other signaling and warning devices. Low voltage wiring systems and components. Ancillary wiring systems and components not a part of the primary electrical power distribution system. Solar, geothermal, wind and other renewable energy systems. **The inspector is NOT required to measure:** amperage, voltage and impedance. **The inspector is NOT required to determine:** Age and type of smoke alarms and carbon monoxide alarms.

9. Heating / Air Conditioning

Orientation: Description of applicancies at specific locations or serving specific locations; as applicable.

Styles & Materials		
1st floor heat system brand: Not determined TRANE	1st floor type / tonnage / BTU/hr.: Gas 80,000 BTU/hr.	Basement heat system brand: TRANE Approximate date of manufacture : 2000
Basement type / tonnage / BTU/hr.: Heat pump 1 1/2 ton	1st floor air conditioner brand: TRANE Approximate date of manufacture : 2002	1st floor type / tonnage: 3 ton
Basement air conditioner brand: TRANE Approximate date of manufacture : 2000	Basement type / tonnage: Heat pump 1 1/2 ton	

		IN	NI	NP	AR
9.0	HEATING EQUIPMENT				•
9.1	NORMAL OPERATING CONTROLS	•			
9.2	AUTOMATIC SAFETY CONTROLS	•			
9.3	DISTRIBUTION SYSTEMS (fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•			
9.4	COOLING AND AIR HANDLER EQUIPMENT				•
		IN	NI	NP	AR

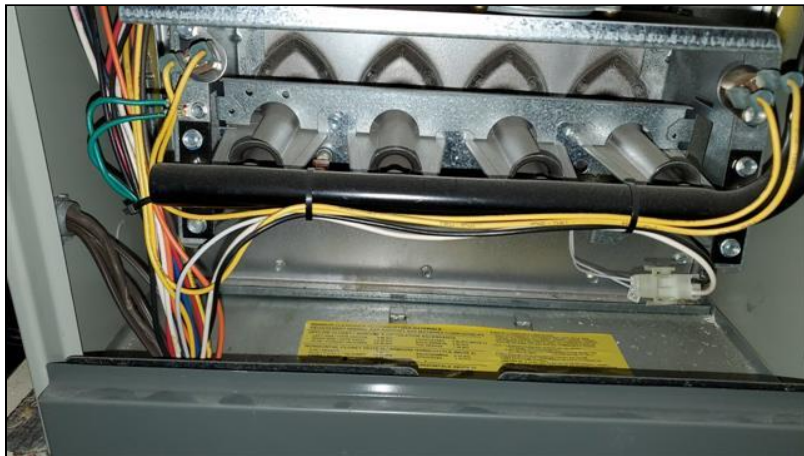
IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

Comments:

9.0 (1) The serial number of the 1st floor furnace indicates a year of manufacture in 2002 and is 18 years old.
NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.



9.0 bsmt 1st floor



9.0

9.0 (2) The serial number of the basement furnace indicates a year of manufacture in 2000 and is 20 years old. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.



9.0 bsmt hp

9.0 (3) Damage/Rust/Signs of moisture entry noted at flue pipe in attic. Repair/ Replace as necessary to avoid further damage. Recommend consult with a licensed HVAC contractor for further information.



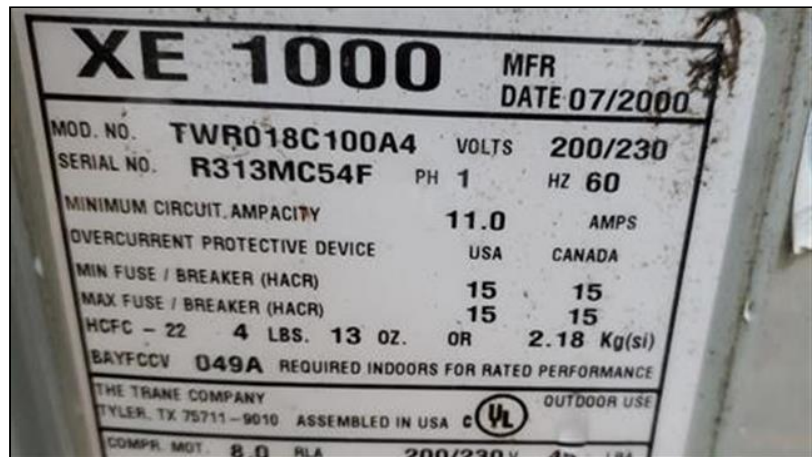
9.0 attic

9.4 (1) The serial number of the 1st floor air conditioning unit indicates a year of manufacture in 2002 and is 18 years old. NOTE: The typical life expectancy of condensers in the Southeast US is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.



9.4 right

9.4 (2) The serial number of the basement air conditioning unit indicates a year of manufacture in 2000 and is 20 years old. NOTE: The typical life expectancy of condensers in the Southeast US is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.



9.4 right

9.4 (3) Missing/deteriorating insulation noted at the AC unit line set. Amend/repair/replace insulation to avoid built-up of condensate on the line exterior.



9.4 right

9.4 (4) Missing cap noted at 1st floor air handler condensation drain line. Recommend to install cap to avoid the escape of conditioned air.



9.4 bsmt

9.4 (5) Leaning AC unit noted at the condenser pad. NOTE: Typically AC units should be installed level. Refer to (AC unit) manufacturer guidelines and adjustments/repairs as necessary.



9.4 right

HEATING / COOLING

The inspector shall open: readily openable access panels. **The inspector shall inspect:** Installed heating equipment. Central and permanently installed cooling equipment, vent systems, flues, and chimneys, distribution systems. **The inspector shall describe:** Heating systems, cooling systems and their energy source(s). **The inspector is NOT required to inspect:** Interiors of vent systems, flues, and chimneys that are not readily accessible. Heat exchangers, humidifiers and dehumidifiers, electric air cleaning and sanitizing devices, heating systems using ground-source. Inspect heating and cooling units that are not permanently installed or that are installed in windows. Water-source, solar, and renewable energy technologies. Heat-recovery and similar whole-house mechanical ventilation systems. **The inspector is NOT required to determine:** Heat and cooling supply adequacy and distribution balance. The adequacy of combustion air components.

10. Foundation

Orientation: Description of locations from facing front.

Styles & Materials

Foundation:	Floor structure:	Wall structure:
Poured concrete	Slab	Not visible
Slab		
Columns or piers:	Ceiling structure:	
Steel lally columns	Not visible	

		IN	NI	NP	AR
10.0	FOUNDATIONS				•
10.1	WALLS	•			
10.2	COLUMNS OR PIERS	•			
10.3	FLOORS		•		
10.4	CEILINGS		•		
10.5	ANIMAL AND INSECT ACTIVITY	•			
10.6	INSULATION		•		
10.7	VAPOR RETARDERS		•		
10.8	VENTILATION OF FOUNDATION AREAS	•			
		IN	NI	NP	AR

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

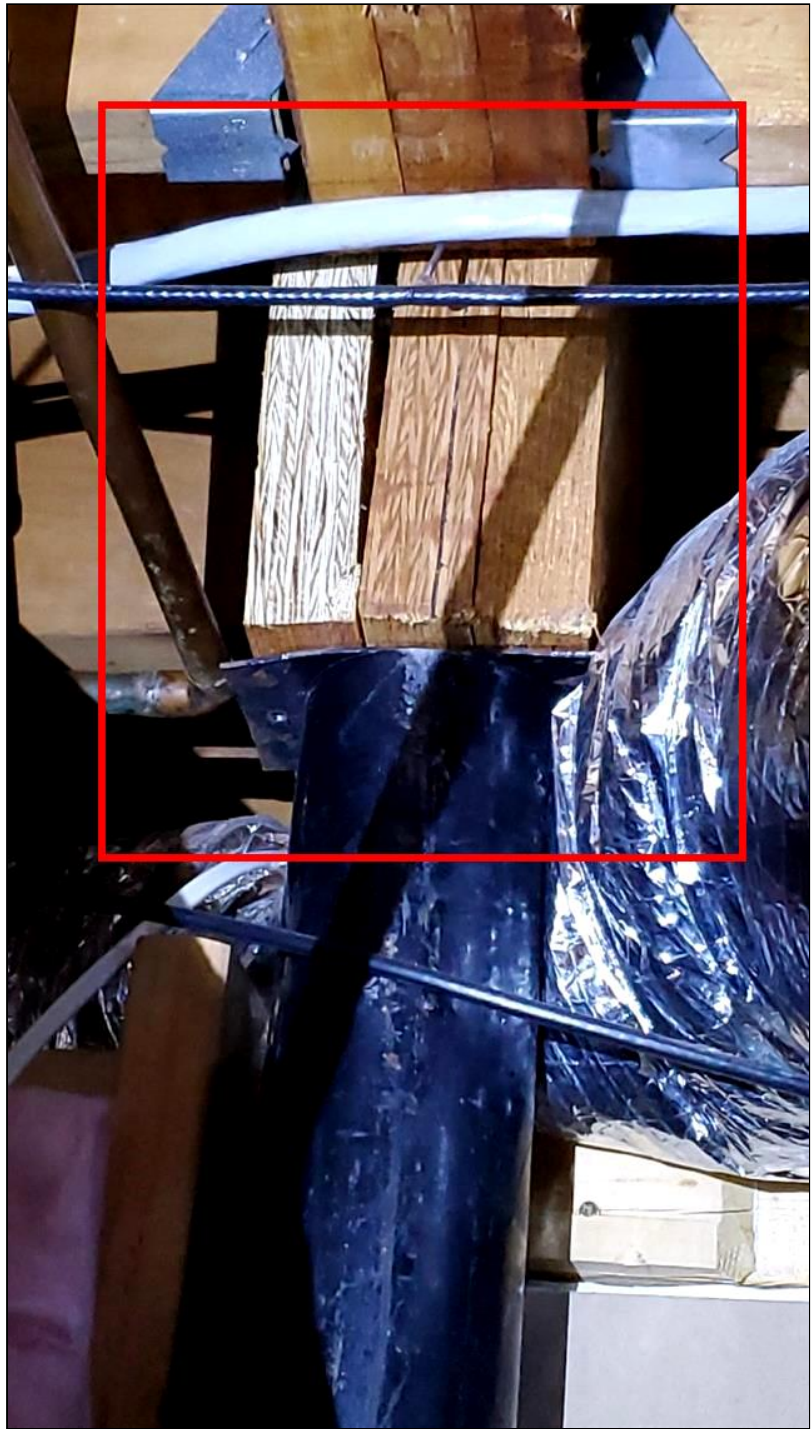
Comments:

10.0 NOTE: De-humidifier noted at basement front unfinished. Recommend



10.0 bsmt unfinished

10.3 NOTE: Prior repairs noted at floor structure in basement unfinished. Recommend consult with seller for further information. Recommend consult with a qualified structural contractor for further information.



10.3 bsmt

FOUNDATION

The inspector shall inspect: Structural components, including the foundation and framing. Insulation and vapor retarders in unfinished spaces, ventilation of foundation areas. **The inspector shall describe:** The foundation, the floor structure, the wall structure, the ceiling structure. Insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. Methods used to inspect under-floor crawlspaces. **The inspector is NOT required to disturb insulation.** **The inspector is NOT required to provide:** Engineering or architectural services or analysis. **The inspector is NOT required to offer:** An opinion about the adequacy of structural systems and components. **The inspector is NOT required to enter:** Under-floor crawlspace areas that have less than 24 inches of vertical clearance between component and the ground or that have an access opening smaller than 16 inches by 24 inches.

General Summary



Champia Real Estate Inspection, LLC

AHIT GAHI
4015 Wetherburn Way
Building A, Suite 200
Peachtree Corners, GA 30092
770 953 0767

Customer
Alexis Seton

Address
1575 Spinnaker Dr
Alpharetta GA 30005

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. **This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.**

1. Grounds

1.0 GROUND GENERAL

Attention required

Damaged bench noted at rear of property. Repair/Replace as necessary to ensure proper operations and improve safety.

1.1 STOOPS, STEPS, AREAWAYS, PORCHES

Attention required

Uneven riser height noted at front porch stairs. NOTE: Risers should be consistent in height; not to exceed 7 3/4". Adjust as necessary to avoid trip hazard.

1.2 DECKS, SUN ROOM

Attention required

(1) Handrail not graspable at rear deck stairs. NOTE: Handrails should be graspable. Install as necessary to improve safety. Recommend consult with a licensed general contractor for further information.

(2) NOTE: Deck structure below rear deck is covered and not visible. Unable to inspect structure. Monitor and repair as necessary.

1.3 VEGETATION (with respect to their effect on the condition of the building)

Attention required

(1) Leaning trees and overhanging branches noted at front, left and rear. Remove/trim trees/branches as necessary to avoid hazard to occupants, damage to the roof and exterior. Recommend consult with a qualified tree contractor for further information.

(2) Shrubs against the exterior noted left and right. Recommend to maintain a distance of 6" to avoid damage to the exterior, animal and moisture entry. Recommend consult with a qualified landscape contractor for further information.

1.4 DRIVEWAY, WALKWAYS, PATIOS

Attention required

Signs of erosion noted at rear brick patio and front porch. Repair as necessary to avoid further damage. Recommend consult with a licensed general contractor for further information. Refer to images for specific locations.

1.6 RETAINING WALLS

Attention required

Missing guard rail noted at front right retaining wall. NOTE: Distances of 30" and higher should be protected by guardrails. Install guardrails as necessary. Recommend consult with a licensed general contractor for further information.

2. Exterior

2.0 EXTERIOR GENERAL

Attention required

Sag noted at front left garage. Recommend further evaluation by a licensed structural contractor for further evaluation.

3. Attic / Roof

3.0 ATTIC ACCESS

Attention required

Access cover does not close tight. Adjust/repair as necessary to ensure proper operations. Recommend service by a licensed general contractor.

3.1 ROOF STRUCTURE AND ATTIC

Attention required

(1) Signs of moisture entry noted at front right and left in attic. Recommend further evaluation by a qualified roof contractor.

(2) Signs of wood destroying organism activity noted at front roof line. Recommend to consult with a qualified pest and wildlife exclusion contractor

3.4 ANIMAL AND INSECT ACTIVITY IN THE ATTIC

Attention required

Signs of animal activity noted in the attic (tracks, burrow holes). Recommend to consult with a qualified pest and wildlife exclusion contractor.

3.5 ROOF COVERINGS

Attention required

Accumulation of organic debris (i.e. leaves) noted at numerous areas on the roof. Recommend frequent cleaning/as necessary to avoid moisture entry. Recommend consult with a qualified landscape contractor for further information.

3.6 FLASHINGS

Attention required

Missing drip flashing noted at roof lines. NOTE: Drip flashing should be installed at roof-to-facia intersections to protect the facia. Recommend consult with a qualified roof contractor for further information.

3.7 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS**Not Inspected, Attention required**

NOTE: It is recommended that the purchaser have the fireplace and chimney further evaluated by qualified chimney sweep for compliance with current fireplace/chimney construction and safety standards.

3.8 ROOF DRAINAGE SYSTEMS**Attention required**

(1) Missing gutter noted right front. Recommend to install gutters and downspouts to improve rain run-off management.. Recommend consult with a qualified gutter contractor for further information.

(2) Recommend to direct downspout discharge away from the foundation. Noted at rear right. NOTE: At least 5 ft. Recommend service by a qualified landscape contractor.

4. Garage / Carport**4.2 GARAGE FLOOR****Attention required**

Damage/Cracks/Sagging noted at garage flooring. Recommend further evaluation by a qualified structural contractor.

5. Interiors**5.0 CEILINGS****Attention required**

(1) Damage/Crack noted at 1st floor dining room ceiling. Repair/Seal/Paint as necessary to avoid further damage.

(2) Signs of prior moisture stain noted at desk in basement. Repair/Seal/Paint as necessary.

(3) NOTE: Recommend consult with a licensed general contractor for all attention and repairs.

5.1 WALLS**Attention required**

Damage/Crack noted at basement front left bedroom. Repair/Seal/Paint as necessary to avoid further damage. Recommend consult with a licensed general contractor for further information.

5.2 FLOORS**Attention required**

(1) NOTE: Uneven flooring noted at 1st floor family room to kitchen and dining room. Recommend consult with seller for further information. NOTE: Recommend consult with a licensed structural contractor for further information.

(2) Gaps noted at 1st floor family room flooring to wall intersection. Repair/Seal as necessary to ensure proper operations.

5.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS**Attention required**

Balusters spaced too wide noted at 1st floor guard rails. NOTE: Balusters at guard rails should not be spaced wider than 4" apart. Adjust as necessary to improve safety. Recommend consult with a licensed general contractor for further information.

5.4 DOORS (representative number)**Attention required**

(1) Uneven/Gap noted at 1st floor master bedroom door. Repair/Adjust as necessary to ensure proper operations.

(2) Doors at basement left bedrooms bind. Adjust as necessary to ensure proper operations.

(3) Doors at basement mechanical closet do not latch. Adjust as necessary to ensure proper operations.

(4) NOTE: Recommend consult with a qualified door contractor for all attention and repairs.

5.5 WINDOWS (representative number)

Attention required

(1) Damaged tilt feature noted at several windows. Repair/Replace as necessary ensure proper operations. Refer to images for specific locations. Recommend further evaluation by a licensed window contractor.

(2) Gaps/Separation noted at several window sills. Repair/Seal/Paint as necessary to avoid further damage and improve thermal envelope

6. Kitchen

6.0 DISHWASHER

Attention required

Dishwasher door not operating properly noted at 1st floor kitchen. Repair/Adjust as necessary. Recommend consult with a qualified appliance contractor for further information.

6.2 RANGES, OVENS, COOKTOPS

Attention required

(1) The front right burner at the kitchen range did not operate. Recommend service.

(2) Oven door not closing properly. Repair/Adjust as necessary to ensure proper operations.

(3) NOTE: Recommend consult with a qualified appliance contractor for all attention and repairs.

6.6 CABINETS

Attention required

(1) Cabinet rack not operating properly. Repair/Secure as necessary to ensure proper operations.

(2) Cabinet door not open/close properly noted at 1st floor kitchen. Repair/Adjust as necessary to ensure proper operations.

(3) Oven door scrubs on bottom cabinet drawer when open/close. Adjust as necessary to ensure proper operations.

(4) NOTE: Recommend consult with a qualified cabinet contractor for all attention and repairs.

7. Plumbing System

7.0 PLUMBING / GENERAL

Not Inspected

NOTE: Unidentified pipe noted at left of property. Recommend consult with seller for further information.

7.2 PLUMBING WATER SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES

Inspected

NOTE: Main water supply and shut off noted at basement front unfinished.

7.4 HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS

Inspected

NOTE: Missing drain pan noted at water heater. Recommend to install a drain pan/catch pan with moisture sensor to minimize risk of flood damage. Refer to manufacturers guidelines.

7.5 LAUNDRY

Inspected

Missing catch/drain pan noted at laundry (for washer). Recommend to install/connect a suitable pan (with moisture sensor) to minimize risk of flooding.

7.6 BATHROOMS

Attention required

(1) Loose toilet bowl noted at 1st floor and basement lavatory. Reset toilet bowl with approved sealing material (i.e. wax ring) and secure as necessary.

- (2) Damaged jacuzzi tub jet noted at 1st floor master bedroom lavatory. Repair/Replace as necessary to ensure proper operations and further damage.
- (3) 1st floor master lavatory shower door scrubs. Repair/Adjust as necessary to ensure proper operations.
- (4) Loose faucets noted at 1st floor master lavatory sinks. Repair/Secure as necessary to ensure proper operations.
- (5) 1st floor master lavatory shower valve not operating properly (not adjusted to cold setting). Repair/Adjust/Replace as necessary to ensure proper operations.
- (6) Looser handle noted at basement lavatory shower/tub valve. Repair/Secure as necessary to ensure proper operations.
- (7) Stopper not operating at 1st floor master lavatory left sink. Repair/replace as necessary to ensure proper operations.

7.7 BATHROOM VENTS

Attention required

Bathroom vent terminates in the attic. NOTE: Vents should terminate to the exterior to avoid humidity built-up in the in the attic. Repair as necessary to ensure proper venting operations. Recommend consult with a licensed general contractor for further information.

8. Electrical System

8.0 ELECTRICAL GENERAL

Attention required

Doorbell did not operate at time of inspection. Repair/Replace as necessary to ensure proper operations. Recommend consult with a licensed electrical contractor for further information.

8.2 SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS

Attention required

NOTE: Main power supply, shut off and distribution noted at garage.

8.4 CONNECTED DEVICES AND FIXTURES (observed from a representative number of ceiling fans, lighting fixtures and switches)

Attention required

- (1) Light fixtures at several locations did not operate. Refer to images for typical locations. Check light bulbs/ evaluate circuits. Replace/repair where necessary.
- (2) Functionality of numerous light switches were not readily determined or apparent. Recommend to consult with owner for explanation/clarification.

8.5 RECEPTACLES (observed from a representative number of receptacles)

Attention required

- (1) Open ground noted at kitchen receptacles. Repair/replace as necessary to ensure proper operations. Recommend to consult with a licensed electrical contractor for further evaluation..
- (2) Loose receptacle noted at basement left rear room. Repair/Secure as necessary to ensure proper operations.
- (3) Damage cover noted at 1st floor laundry room receptacle. Replace as necessary to improve safety.
- (4) NOTE: Recommend consult with a licensed electrical contractor for all attention and repairs.

8.6 GFCI (Ground Fault Circuit Interrupters)

Attention required

- (1) GFCI-protection missing at kitchen counters receptacles. Recommend to upgrade receptacles and install GFCI (and AFCI, as applicable)-protection at required locations. Consult with a licensed electrical contractor for further evaluation.
- (2) No power noted at the rear deck receptacle. Repair/Replace as necessary to ensure proper operations.

8.8 SMOKE DETECTORS

Attention required

NOTE: Recommend to upgrade the smoke alarm system to include smoke alarms at each level, each bedroom area and each bedroom. Install a carbon monoxide detector in each bedroom area. Establish routine testing; per manufacturers guidelines.

8.9 CARBON MONOXIDE DETECTORS

Inspected

Refer to previous comment.

9. Heating / Air Conditioning

9.0 HEATING EQUIPMENT

Attention required

(1) The serial number of the 1st floor furnace indicates a year of manufacture in 2002 and is 18 years old. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.

(2) The serial number of the basement furnace indicates a year of manufacture in 2000 and is 20 years old. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.

(3) Damage/Rust/Signs of moisture entry noted at flue pipe in attic. Repair/Replace as necessary to avoid further damage. Recommend consult with a licensed HVAC contractor for further information.

9.4 COOLING AND AIR HANDLER EQUIPMENT

Attention required

(1) The serial number of the 1st floor air conditioning unit indicates a year of manufacture in 2002 and is 18 years old. NOTE: The typical life expectancy of condensers in the Southeast US is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.

(2) The serial number of the basement air conditioning unit indicates a year of manufacture in 2000 and is 20 years old. NOTE: The typical life expectancy of condensers in the Southeast US is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.

(3) Missing/deteriorating insulation noted at the AC unit line set. Amend/repair/replace insulation to avoid built-up of condensate on the line exterior.

(4) Missing cap noted at 1st floor air handler condensation drain line. Recommend to install cap to avoid the escape of conditioned air.

(5) Leaning AC unit noted at the condenser pad. NOTE: Typically AC units should be installed level. Refer to (AC unit) manufacturer guidelines and adjustments/repairs as necessary.

10. Foundation

10.0 FOUNDATIONS

Attention required

NOTE: De-humidifier noted at basement front unfinished. Recommend

10.3 FLOORS

Not Inspected

NOTE: Prior repairs noted at floor structure in basement unfinished. Recommend consult with seller for further information. Recommend consult with a qualified structural contractor for further information.



INVOICE

Champia Real Estate Inspection, LLC
AHIT GAHI
4015 Wetherburn Way
Building A, Suite 200
Peachtree Corners, GA 30092
770 953 0767
Inspected By: Todd Walker

Inspection Date: 10/9/2020
Report ID: 42821

Customer Info:	Inspection Property:
Alexis Seton	1575 Spinnaker Dr Alpharetta GA 30005
Customer's Real Estate Professional: Kim Rowe Chapman Hall (Atlanta)	

Inspection Fee:			
Service	Price	Amount	Sub-Total
Inspection Fee	514.00	1	514.00
Champia Preferred Package	225.00	1	225.00
			Tax \$0.00
			Total Price \$739.00

Payment Method:
Payment Status:
Note: