



213 S. Marquette St. Ironwood, MI 49938
Memorial Building, Conference Room #1, 2nd Floor

Planning Commission Meeting Agenda

1. Call to Order
2. Recording of the Roll
3. Approval of the July 2, 2015 Meeting Minutes.
4. Approval of the Agenda
5. Citizens wishing to address the Commission regarding Items on the Agenda (Three-minute limit)
6. Citizens wishing to address the Commission regarding items not on the Agenda (Three-minute limit)
7. Items for Discussion and Consideration
 - a. Public Hearing and Consideration of PC 2015-004 Site Plan and Conditional Use for Xcel Energy
8. Project Update
 - a. Comprehensive Plan Implementation Status
 - b. Zoning Board of Appeals Update
 - c. Zoning Ordinance Update
9. Other Business
10. Next Meeting: September 3, 2015
11. Adjournment



**Proceedings of the Ironwood Planning Commission
Thursday, July 2, 2015**

A Regular Meeting of the Planning Commission was held on Thursday, July 2, 2015 in the Women's Club Room, Second Floor of the Municipal Memorial Building in the City of Ironwood, Michigan.

1. Call to Order: Chair Bergman called the meeting to Order at 5:10 p.m.
2. Recording of the Roll:

MEMBER	PRESENT		EXCUSED	NOT EXCUSED
	YES	NO		
Bergman, Thomas	X			
Burchell, Bob	X			
Cayer, Joseph Sr.	X			
Davey, Sam	X			
Lemke, Joseph		X	X	
Johnson, Leroy		X	X	
Semo, Rick, ex-officio, non-voting member		X		
Silver, Mark	X			
	5	3	Quorum	

Also present: Community Development Director Michael J.D. Brown.

3. Approval of the April 2, 2015 Meeting Minutes:

Motion by Davey to accept the April 2, 2015 Minutes. **Second** by Cayer. **Motion Carried 4 to 0.**

4. Approval of the Agenda:

Motion by Davey to accept the Agenda. **Second** by Burchell. **Motion Carried 4 to 0.**

5. Citizens wishing to address the Commission regarding Items on the Agenda (three-minute limit):

None.

6. Citizens wishing to address the Commission regarding Items not on the Agenda (three-minute limit):

None.

7. Items for Discussion and Consideration:

- a. Discuss 789 E. Ayer Street Driving Range Rezoning Request – Ken Fahrner: Director Brown introduced the project, to rezone the property for Ken to build self-storage units, discussion followed.

Silver arrived at 5:15 pm.

Bergman left the meeting at 5:30 pm, vice-chair Burchell resumed the meeting.

The Commission agreed to have Director Brown work with Fahrner to identify a more suitable plot of land to build.

- b. Zoning Ordinance Update to ZBA: Director Brown brought up the topic to move the ZBA to a newly formed group other than the current City Commission. He also talked about eliminating the use variance option from the zoning ordinance, discussion followed.

The Commission asked Director Brown to bring this before the City Commission to discuss, which would remove the City Commission as the Zoning Board of Appeals and reassign duties to a separate board.

The Commission decided to keep the current use variances.

8. Project Updates:

- a. Comprehensive Plan Implementation Status: Director Brown gave an update of the Zoning Ordinance
- b. Zoning Ordinance Update: Director Brown stated that the zoning ordinance is on hold until funding comes through.

9. Other Business: None.

10. Next Meeting: August 6, 2015 at 5:00 p.m.

11. Adjournment:

Motion by Cayer to adjourn the meeting. **Second** by Davey. **Motion Carried 5 to 0.**

Adjournment at 5:29 p.m.

Respectfully submitted

Thomas Bergman, Chairman

Tim Erickson, Community Development Assistant



MEMO

To: Chair Bergman and Planning Commission

From: Michael J. D. Brown, Community Development Director

Date: July 29, 2015

Meeting Date: August 6, 2015

Re: 2015-004 Xcel Energy Site and Engineering Plans and Conditional Use

The following application has been submitted by Xcel Energy for a review of a Site Plan and Conditional Use for outdoor storage for a new service center located at 1771 Liberty Street, Ironwood MI 49938 with site and engineering plans dated June 25, 2015 with a revision date of July 21, 2015 prepared by Cedar Corporation and elevations dated June 24, 2015 by RSP Architects. The property is zoned I-Industrial. The City of Ironwood owns the property and the City Commission at its April 27, 2015 meeting authorized the sale of approximately 15.7 acres of land to Xcel Energy. Upon approval by the Planning Commission the City and Xcel will move forward with the property transfer.

- I. Staff has reviewed [Section 34-462](#) of the Zoning Ordinance and found the plans to be in general compliance.
- II. Per [Section 34-464](#) of the Zoning Ordinance the Planning Commission shall determine the following standards are observed.
 1. The plan meets the required standards of other governmental agencies, where applicable, and the approval of these agencies has been obtained (soil erosion and control, floodplain, wetlands, stormwater etc). Approvals/permits from other agencies shall be provided prior to any construction activities. A wetland has been identified on site and is under the jurisdiction of the Michigan Department of Environmental Quality.
 2. Staff has found all other standards to have been observed.
- III. Expiration of Site Plan Approval shall comply with [Section 34-466](#) of the Zoning Ordinance.
- IV. Asbuilt Drawing shall be required per [Section 34-469](#) of the Zoning Ordinance.
- V. Guarantees shall be provided per [Section 34-472](#) of the Zoning Ordinance if required. The Planning Commission should discuss if a guarantee is required.

F:\Community Development\Planning Commission\PLANNING COMMISSION\Cases\2015\2015-004 Xcel
Site Plan and CU Outdoor Storage\Site Plan Review #1.doc

This Institution is an Equal Opportunity Provider, Employer and Housing Employer/Lender

VI. Outdoor storage Conditional Use, which shall be defined as materials, products or goods stored outdoors on site which are associated with and accessory to the principle use. All outdoor storage shall be screened from view from all roads and adjacent properties year round through the use of one (1) or a combination of methods to include but not be limited to landscaping, berming, and fencing. The conditional use permit shall require appropriate screening and shall also control for such factors to include but not be limited to height of storage, location on site and size of storage area. The Planning Commission should discuss the proposed outdoor storage and evaluate if it has been properly mitigated for.

Recommendations

1. To approve the Site and Engineering Plans for PC 2015-004 Xcel Energy Service Station
2. To approve the Conditional Use for PC 2015-004 Xcel Energy Service Station Outdoor Storage

GENERAL PROJECT NOTES

BE CERTIFY, TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THAT THE DESIGN OF THE PROJECT COMPLIES WITH APPLICABLE PROVISIONS OF THE ADMINISTRATION CODES AND RULES OF THE STATE OF MICHIGAN AND ACCESSIBILITY STANDARDS.

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES AND ADJACENT PROPERTIES WITHOUT DELAY.

2. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUNGED OR CAPPED, AS REQUIRED BY CODE OR LOCAL ORDINANCES.

3. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE FROM THE ARCHITECT / ENGINEER THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.

4. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ENGINEER.

5. ANY DISCREPANCIES OR INCONSISTENCIES, ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH ANY PORTION OF THE WORK.

6. ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY FOLLOW ALL APPLICABLE CODES AND RULES. IN THE EVENT OF CONFLICTS THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.

7. EACH CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBstantial COMPLETION OR AS OTHERWISE SPECIFIED.

8. CONTRACTORS SHALL VISIT THE JOB SITE AND BECOME FAMILIARIZED WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID. NO CLAIMS WILL BE MADE FOR ANY CONDITIONS NOT OBSERVED. THE CONTRACTOR'S FAILURE TO VISIT EXISTING CONDITIONS.

9. PROVIDE FIVE (5) SETS OF SHOP DRAWINGS FOR ALL EQUIPMENT TO BE INSTALLED FOR REVIEW PRIOR TO INSTALLATION. CONTRACTOR SHALL NOT INSTALL WITHOUT APPROVAL. SHALL BE SUBJECT TO REJECTION WITHOUT DELAY.

11. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES, EASEMENTS, PROPERTY BOUNDARIES AND SETBACKS.

12. CONTRACTORS SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATERMAIN, TV CABLE AND TELEPHONE SERVICE TO THE BUILDING.

13. CONTRACTORS SHALL BE RESPONSIBLE TO VERIFY THE SOIL BEARING CAPACITY & GEOTECHNICAL TESTING.

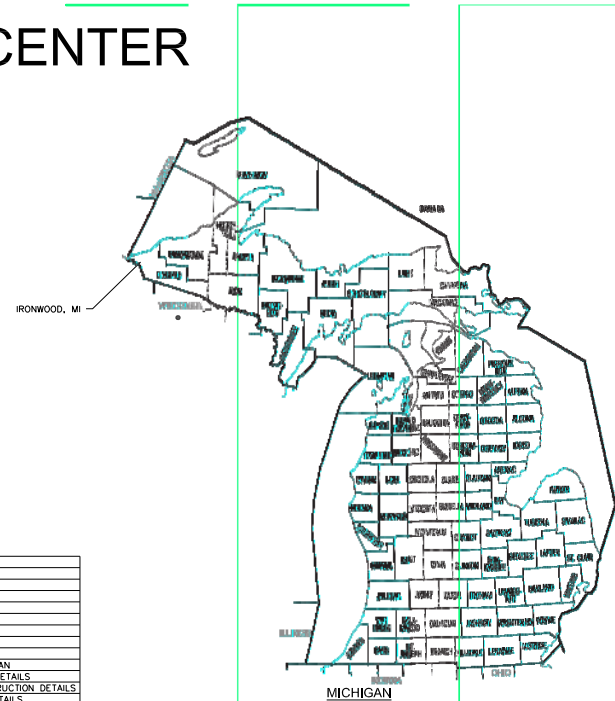
OWNER XCEL ENERGY
CORPORATE HEADQUARTERS
414 NICOLLET MALL
MINNEAPOLIS, MN 55401
(612) 330-7599
CONTACT: LEIGH STOAKES, PE
leigh.w.stokes@xcelenergy.com

ENGINEER CEDAR CORPORATION
604 WILSON AVE.
MENOMONIE, WI 54751
(715) 235-9081
CONTACT: RUSS KIVINIEMI, PE
russ.kiviniemi@cedarcorp.com
CONTACT: LEN SCHREIBER
len.schreiber@cedarcorp.com

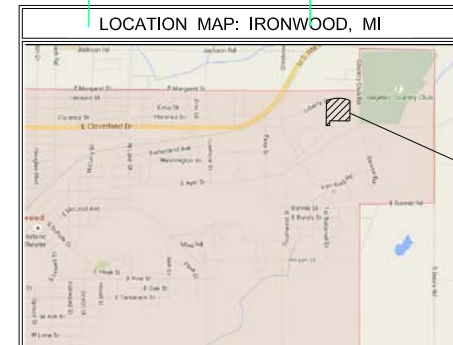
CONC.	CONCRETE
CMP	CORRUGATED METAL PIPE
ELEV.	ELEVATION
EXISTING	EXISTING
HYD.	HYDRANT
INV.	INVERT
FL	FLOW LINE
FF	FIRST FLOOR
LAT.	LATERAL
MH	MANHOLE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
SAN.	SANITARY
SDWK.	SIDEWALK
SEW.	SEWER
STM.	STORM
TYP.	TYPICAL

C1.1	TITLE SHEET
C1.2	EXISTING AERIAL MAP
C1.3	EXISTING SITE CONDITIONS
C1.4	SITE PLAN
C1.5	GRADING PLAN
C1.6	EROSION CONTROL PLAN
C1.7	UTILITY PLAN
C1.8	LANDSCAPING PLAN
C1.9	LIGHTING PLAN
C1.10	LIGHTING CALCULATION PLAN
C1.11	LIGHTING CONSTRUCTION DETAILS
C1.12	EROSION CONTROL CONSTRUCTION DETAIL
C1.13	UTILITY CONSTRUCTION DETAILS
C1.14	SITE CONSTRUCTION DETAILS

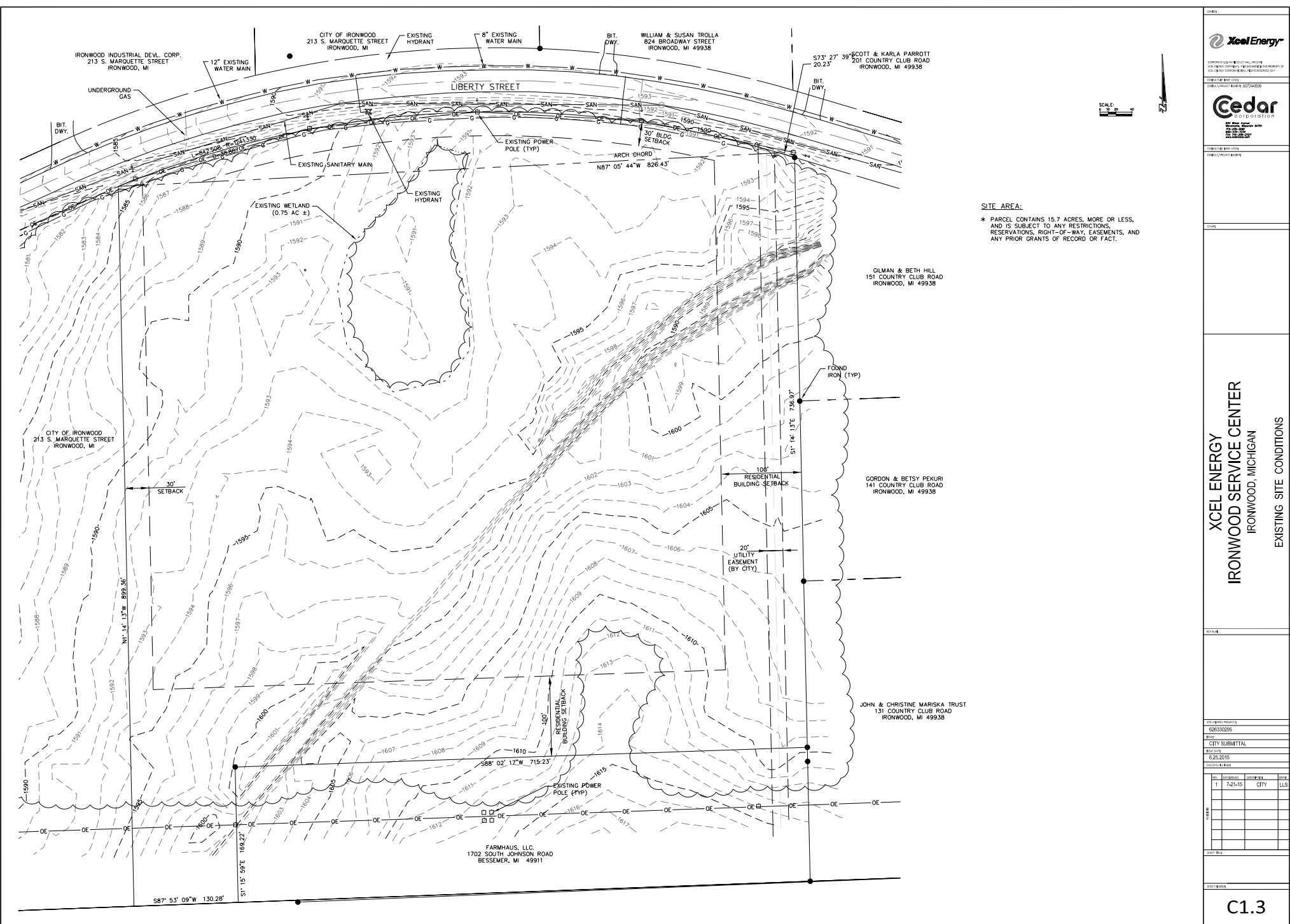
880	EXISTING CONTOUR LINE
889	OVERHEAD ELECTRIC LINES
DE	WATER MAIN PIPE
WTR	STORM SEWER
STM	SANITARY SEWER
SAN	UNDERGROUND GAS
G	UNDERGROUND CABLE TV
T	CURB & GUTTER
TV	TREE LINE
	DECIDUOUS TREE
	EVERGREEN TREE
	FIRE HYDRANT
	CURBSTONE
	GATE VALVE
	POWER POLE
	LIGHT POLE
	GUY WIRE
	UTILITY PEDESTAL
	SIGN
	CATCH BASIN
	MANHOLE
	IRON PIPE
	REBAR



LOCATION MAP: IRONWOOD, MI



C:\Users\jg2024\OneDrive\Engineering\Projects\Ironwood Service Center\Ironwood Service Center.dwg 07/22/2015 11:52:09 AM



CONCEPTUAL SITE PLAN FOR THE IRONWOOD SERVICE CENTER, A 15.7-ACRE PARCEL LOCATED AT THE INTERSECTION OF LIBERTY STREET AND COUNTRY CLUB ROAD, IRONWOOD, MICHIGAN.

DATE: 07/22/2015

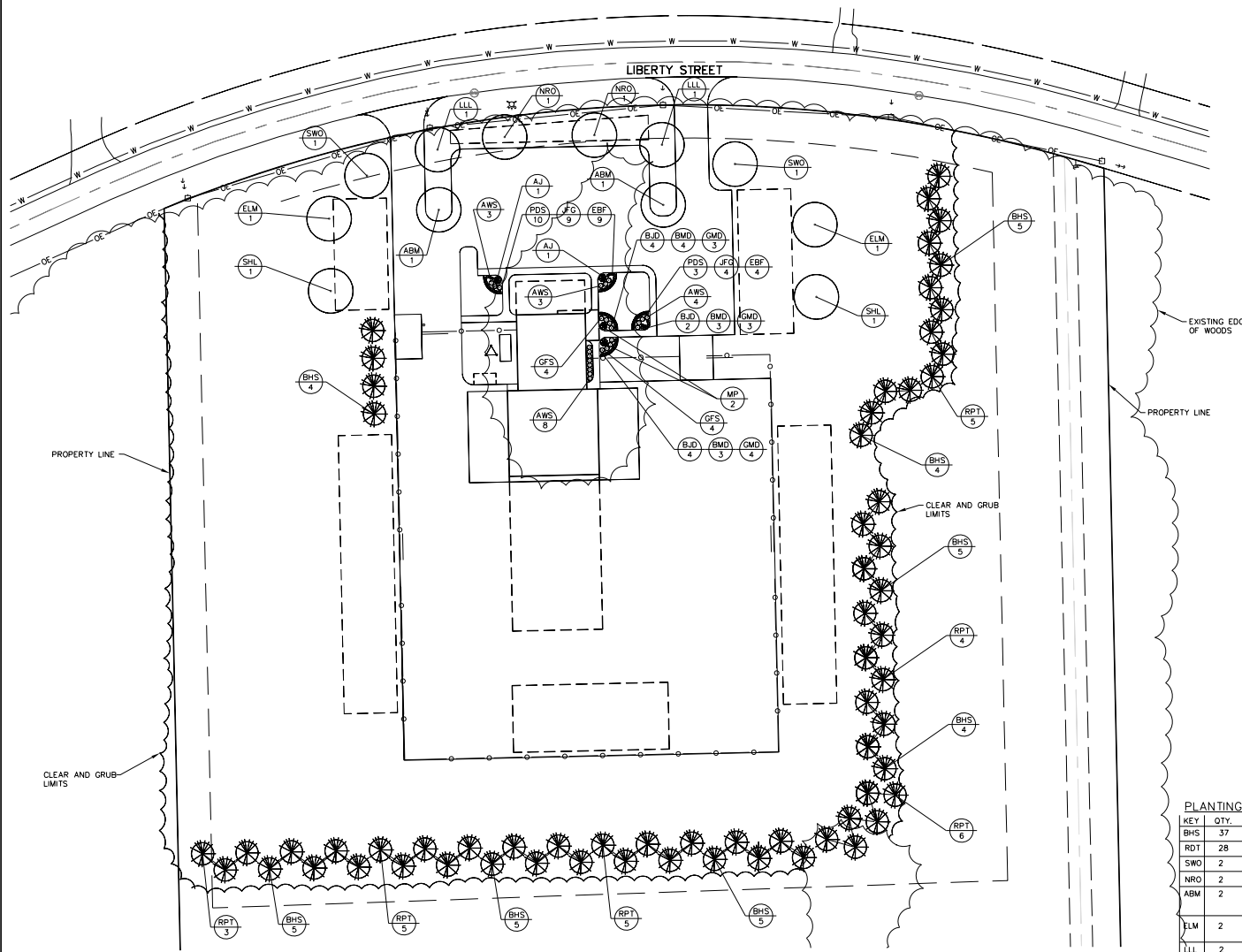
Cedar Corporation
1000 Cedar Avenue
Ironwood, MI 49938
Phone: 248.255.1234
Fax: 248.255.1235
Email: info@cedarcorp.com

EXISTING SITE CONDITIONS

NO.	DESCRIPTION	DATE	BY
1	7-21-15	CITY	LLS

C1.3

\\C:\Users\jgoff\OneDrive\Documents\Ironwood Service Center Landscape\Planting Schedule\Planting Schedule.dwg 07/22/2015 11:56:11 AM



LEGEND

- DECIDUOUS SHRUB
- DECIDUOUS TREE
- GRASS
- GRASS
- EDGING

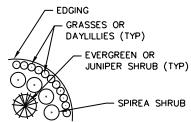
SCALE 1" = 20'

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES.
- USE TYPAR 3301 FABRIC WEED BARRIER LANDSCAPE FABRIC (OR APPROVED EQUAL) UNDER ALL PLANTING BED MULCH UNLESS OTHERWISE NOTED.
- USE 1-1/2" WASHED AGGREGATE STONE MULCH IN PLANTING BEDS. 3" DEPTH. STONE MULCH SHALL BE CLEAN, & FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS, CLAYS OR TOPSOIL.
- USE SHREDDED BARK MULCH AT ALL SINGULARLY PLANTED TREES, AND SHRUB BEDS OUTSIDE OF FENCE NORTH, EAST AND WEST. MIN. 3" DEPTH, 4" DIAMETER.
- TOP OF MULCH IN PLANTING BEDS SHALL BE EVEN W/ TOP OF SURROUNDING SURFACES.
- IF DISCREPANCIES OCCUR, PLANT QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER PLANTING SCHEDULE.
- ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY AGAINST DEATH & UNHEALTHY CONDITION, EXCEPT AS A RESULT OF NEGLIGENCE BY OWNER, DAMAGE BY OTHERS & UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. PLANT WARRANTY SHALL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT.
- ALL PLANTS SHALL CONFORM TO THE VARIETIES SPECIFIED IN THE PLANT LIST & SHALL BE TRUE TO BOTANICAL NAME AS IN HORTUS THIRDS.
- ALL PLANTS INCLUDING THEIR ROOTS SHALL BE FREE FROM DISEASE INSECTS & OTHER INJURIOUS QUALITIES & SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION, REAR OR AT SPECIMEN QUALITY.
- ALL PLANTS SHALL BE SUBJECT TO INSPECTION BY THE DESIGNER UPON DELIVERY. ANY PLANTS DEEMED NOT ACCEPTABLE BY THE DESIGNER SHALL BE REMOVED FROM THE SITE & REPLACED WITH ACCEPTABLE MATERIAL.
- ANY ADDITIONAL TOPSOIL NEEDED FOR INSTALLING THE TREES & SHRUBS AS PER THE PLANTING DETAIL SHALL BE CONSIDERED INCIDENTAL TO THE PLANT MATERIAL PRICE.
- TOPSOIL SHALL CONSIST OF A HUMUS-BEARING LOAM ADAPTED TO SUSTAIN VIGOROUS GRASS GROWTH FREE FROM DELETERIOUS MATERIALS W/ A PH RANGE OF 6.0 TO 7.0. TOPSOIL NOT MEETING THESE REQUIREMENTS SHALL BE AMENDED AT NO ADDITIONAL COST.
- SHREDDED BARK MULCH SHALL BE FRESHLY SHREDDED HARD-WOOD BARK FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & OTHER MATERIALS HARMFUL TO PLANT GROWTH. SHREDDED BARK MULCH SHALL BE EITHER COMPOSTED OR TREATED WITH NITROGEN TO COMPENSATE FOR SUCH LOSS IN DECOMPOSITION.
- ANY PLANTS DELIVERED TO THE PROJECT SITE THAT ARE NOT INSTALLED THE SAME DAY SHALL BE "HEALED IN" W/ TOPSOIL, WOOD CHIPS, SHREDDED BARK, OR SAWDUST & ADEQUATELY WATERED UNTIL SUCH TIME THE PLANTS CAN BE INSTALLED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL INCLUDING GRASS OR SOD FOR TWO WEEKS AFTER FINAL ACCEPTANCE OF PROJECT. WATER SHALL BE PROVIDED IN AN ADEQUATE AMOUNT TO SUSTAIN VIGOROUS PLANT GROWTH.

PLANTING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANIC NAME	SIZE	ROOT	REMARKS
BHS	37	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	5' HT.	B&B	FULL
RDT	28	RED PINE	PINUS RESINOSA	5' HT.	B&B	FULL
SWO	2	SWAMP WHITE OAK	QUERCUS BICOLOR	2 1/2" DIA.	B&B	FULL
NRO	2	NORTHERN RED OAK	QUERCUS RUBRA	2 1/2" DIA.	B&B	FULL
ABM	2	AUTUMN BLAZE MAPLE	ACER x FREEMANNI 'JEFFERSRED'	2 1/2" DIA.	B&B	FULL
ELM	2	EMERALD LUSTRE MAPLE	ACER PLATANOIDES 'POND'	2 1/2" DIA.	B&B	FULL
LLL	2	LITTLELEAF LINDEN	TILIA CORDATA	2 1/2" DIA.	B&B	FULL
SHL	2	SKYLINE HONEYLOCUST	QUEDTIA TRIACANTHOS INTERMIS 'SKYCOLE'	2 1/2" DIA.	B&B	FULL
AWS	18	ANTHONY WATERER SPIREA	SPIREA x BUMALDA 'ANTHONY WATERER'	18" HT.	#5 CONT.	FULL
GFS	8	GOLDFLAME SPIREA	SPIREA x BUMALDA 'GOLDFLAME'	18" HT.	#5 CONT.	FULL
MP	2	MUGHO PINE	PINUS MUGO PUMILIO	18" HT.	#5 CONT.	FULL
AJ	3	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'COMPACTA'	24" SPREAD	#5 CONT.	FULL
BJD	10	BAJA DAYLILY	HEMEROCALLIS 'BAJA'	18" HT.	4" POT	24"OC
BMD	10	BAMA MUSIC DAYLILY	HEMEROCALLIS 'BAMA MUSIC'	18" HT.	4" POT	24"OC
GMD	10	GRAND MASTERPIECE DAYLILY	HEMEROCALLIS 'GRAND MASTERPIECE'	18" HT.	4" POT	24"OC
PDS	13	PRAIRIE DROPSSEED GRASS	SPOROBOLUS HETEROLEPIS	12" HT.	4" POT	24"OC
JFG	13	JAPANESE FOREST GRASS	HEMEROCALLIS 'GRAND MASTERPIECE'	18" HT.	4" POT	24"OC
EBF	13	ELIJAH BLUE FESCUE GRASS	FESTUCA GLAUCA 'ELIJAH BLUE'	8"-12" HT.	4" POT	24"OC



PLANTING BED BLOW UP (TYPICAL)

Xcel Energy

CONTRACTOR'S RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES.

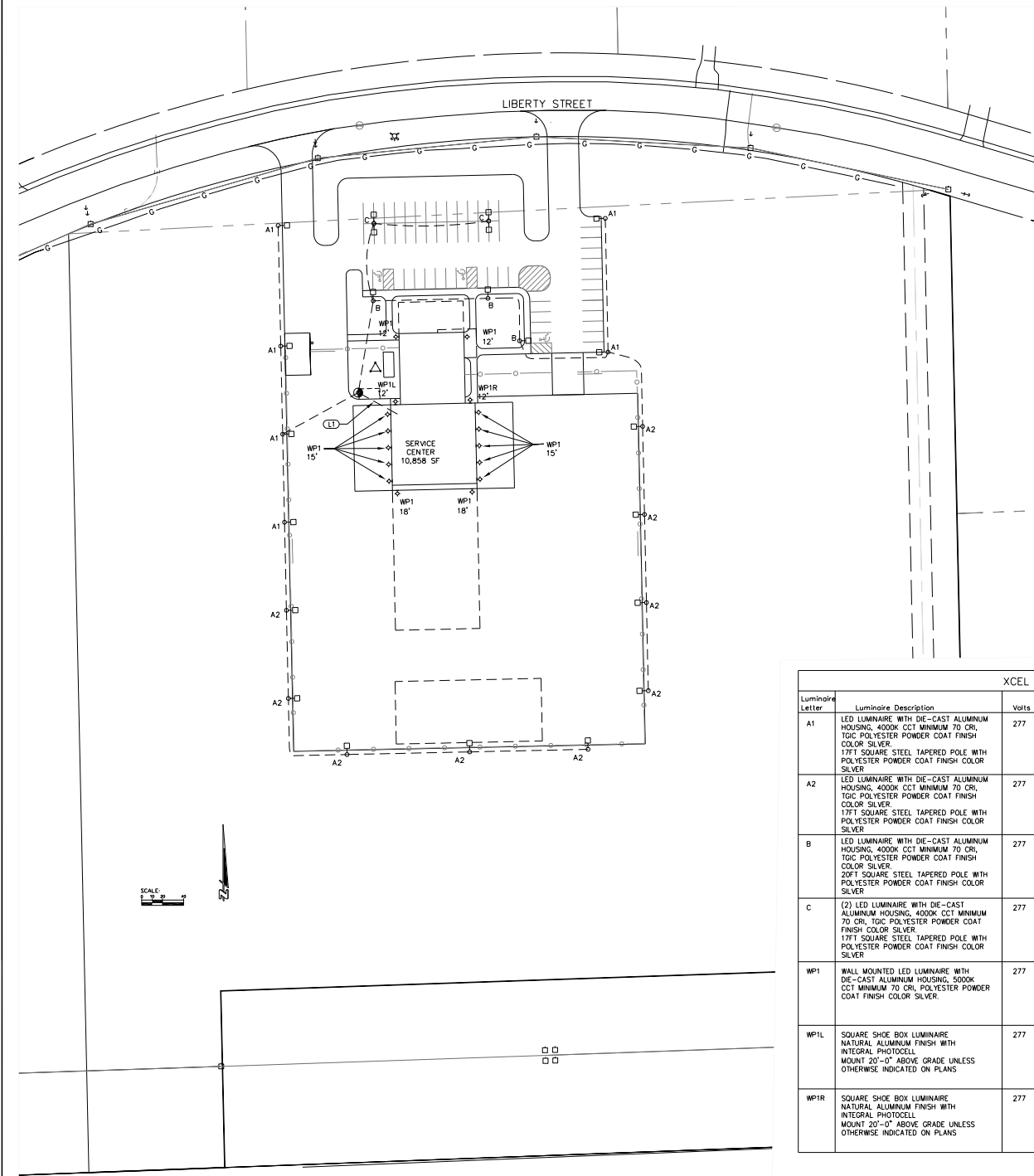
CONTRACTOR'S RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES.

Cedar Corporation

CONTRACTOR'S RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES.

XCEL ENERGY
IRONWOOD SERVICE CENTER
IRONWOOD, MICHIGAN
LANDSCAPE PLAN

NO.	DESCRIPTION	QUANTITY	UNIT
1	7-21-15	CITY	LLS



LEGEND

--- CONDUIT RIGID NONMETALLIC (NMC)
SCHEDULE 40 2-INCH OR AS NOTED

● PULL BOX, 18" x 36"

ELECTRICAL NOTES THIS SHEET

(1) PROVIDE: FOUR #8, TWO #8 GROUND, IN 2" PVC CONDUIT.

LUMINAIRE FIXTURE SCHEDULE NOTES:

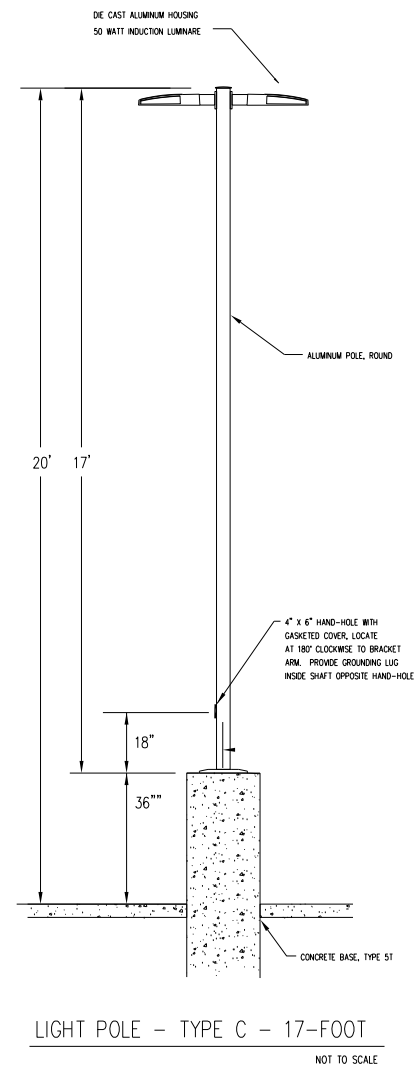
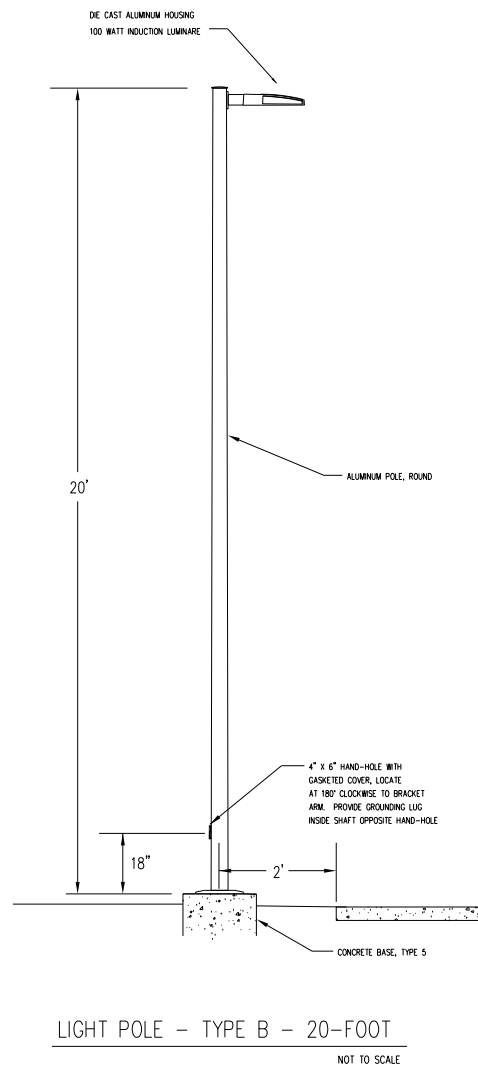
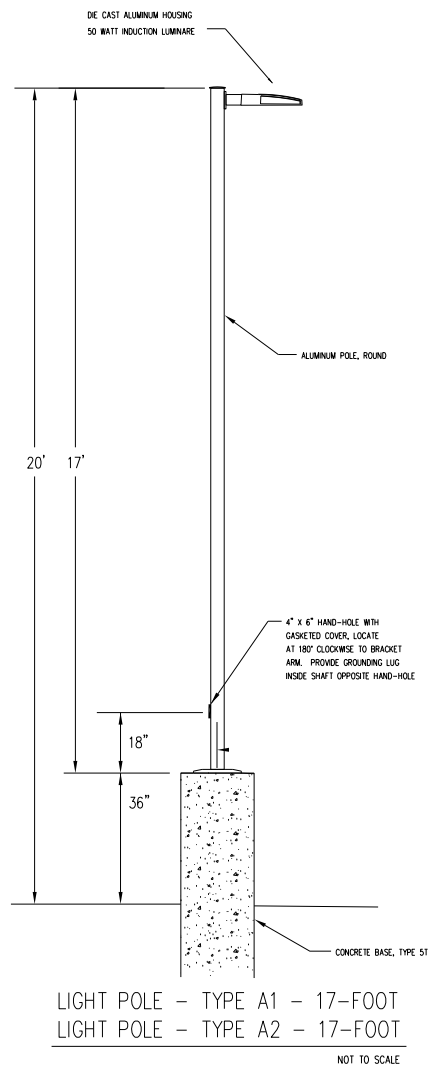
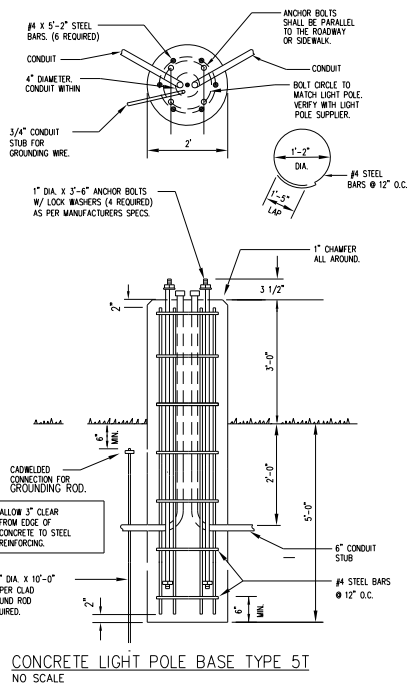
SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR COORDINATION OF LOCATIONS FOR LUMINAIRES ON SITE AND BUILDING. CONTRACTOR TO PROVIDE AND COORDINATE LAMPS AND BALLASTS FOR A COMPLETE OPERATIONAL SYSTEM. LUMINAIRE SHALL HAVE "UL" WET LOCATION LABEL AND BE GASKETED BUGHTIT. LAMP AND BALLAST SHALL BE PULSE START. POLE SHALL BE SQUARE TAPERED STEEL AS INDICATED, HEIGHT AS INDICATED AND 120-MPH WIND SPEED RATING. PROVIDE MOUNTING ACCESSORIES, ANCHOR BOLT ASSEMBLY, FLUSH HANDHOLE COVER SHALL MATCH LUMINAIRE. INSTALL PER MANUFACTURER'S RECOMMENDATION. BUILDING-MOUNTED LIGHTS TO BE WIRED UP TO A SINGLE 120V OR 277V CIRCUIT THROUGH A RELAY CONTROLLED BY A PHOTO CELL. POLE-MOUNTED SITE LIGHTS TO BE WIRED UP TO A SINGLE 277V OR A 208V CIRCUIT THROUGH A RELAY CONTROLLED BY A PHOTO CELL.

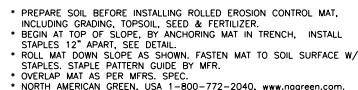
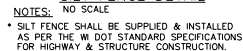
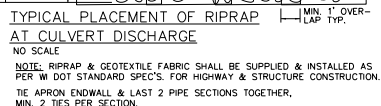
XCEL IRONWOOD EXTERIOR LUMINAIRE SCHEDULE							
Luminaire Letter	Luminaire Description	Volts	Mounting	Lamps	Ballast	Control Media (Lens, Louvers, Etc.)	Notes
A1	LED LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, 4000K CCT MINIMUM 70 CR, TOIC POLYESTER POWDER COAT FINISH COLOR SILVER. 17FT SQUARE STEEL TAPERED POLE WITH POLYESTER POWDER COAT FINISH COLOR SILVER	277	TYPE 5T CONCRETE BASE 36" ABOVE FINISHED GRADE	(2) LED MODULES	DRIVER SET AT 530 MA	SL2, TYPE 2 DISTRIBUTION WITH SPLIT CONTROL	MCGRW EDISON GLEON-AE-02-LED-E1-SL2-AP-530 ST550175S21 POLE or approved equal
A2	LED LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, 4000K CCT MINIMUM 70 CR, TOIC POLYESTER POWDER COAT FINISH COLOR SILVER. 17FT SQUARE STEEL TAPERED POLE WITH POLYESTER POWDER COAT FINISH COLOR SILVER	277	TYPE 5T CONCRETE BASE 36" ABOVE FINISHED GRADE	(4) LED MODULES	DRIVER SET AT 530 MA	SL4, TYPE 4 DISTRIBUTION WITH SPLIT CONTROL	MCGRW EDISON GLEON-AE-04-LED-E1-SL4-AP-530 ST550175S21 POLE or approved equal
B	LED LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, 4000K CCT MINIMUM 70 CR, TOIC POLYESTER POWDER COAT FINISH COLOR SILVER. 20FT SQUARE STEEL TAPERED POLE WITH POLYESTER POWDER COAT FINISH COLOR SILVER	277	TYPE 5 CONCRETE BASE 4" ABOVE FINISHED GRADE	(2) LED MODULES	DRIVER SET AT 530 MA	SL2, TYPE 2 DISTRIBUTION WITH SPLIT CONTROL	MCGRW EDISON GLEON-AE-02-LED-E1-SL2-AP-530 ST550205S21 POLE or approved equal
C	(2) LED LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, 4000K CCT MINIMUM 70 CR, TOIC POLYESTER POWDER COAT FINISH COLOR SILVER. 17FT SQUARE STEEL TAPERED POLE WITH POLYESTER POWDER COAT FINISH COLOR SILVER	277	TYPE 5T CONCRETE BASE 36" ABOVE FINISHED GRADE	(2) LED MODULES	DRIVER SET AT 530 MA	SL2, TYPE 2 DISTRIBUTION WITH SPLIT CONTROL	MCGRW EDISON GLEON-AE-02-LED-E1-SL2-AP-530 ST550175S21 POLE or approved equal
WP1	WALL MOUNTED LED LUMINAIRE WITH DIE-CAST ALUMINUM HOUSING, 5000K CCT MINIMUM 70 CR, POLYESTER POWDER COAT FINISH COLOR SILVER	277	WALL-MOUNTED	(2) LED LIGHTBARS	DRIVER SET AT 530 MA	TYPE IV DISTRIBUTION	MCGRW EDISON IMPACT ELITE LED 1ST-F02-LED-E1-BL4 or approved equal
WP1L	SQUARE SHOE BOX LUMINAIRE NATURAL ALUMINUM FINISH WITH INTEGRAL PHOTOCELL MOUNT 20'-0" ABOVE GRADE UNLESS OTHERWISE INDICATED ON PLANS	277	WALL-MOUNTED	(2) LED LIGHTBARS	DRIVER SET AT 530 MA	DISTRIBUTION 90° SPLIT LIGHT ELIMINATOR LEFT	MCGRW EDISON IMPACT ELITE LED 1ST-F02-LED-E1-SLL or approved equal
WP1R	SQUARE SHOE BOX LUMINAIRE NATURAL ALUMINUM FINISH WITH INTEGRAL PHOTOCELL MOUNT 20'-0" ABOVE GRADE UNLESS OTHERWISE INDICATED ON PLANS	277	WALL-MOUNTED	(2) LED LIGHTBARS	DRIVER SET AT 530 MA	DISTRIBUTION 90° SPLIT LIGHT ELIMINATOR RIGHT	MCGRW EDISON IMPACT ELITE LED 1ST-F02-LED-E1-SLR or approved equal

XCEL ENERGY
IRONWOOD SERVICE CENTER
IRONWOOD, MICHIGAN
LIGHTING PLAN

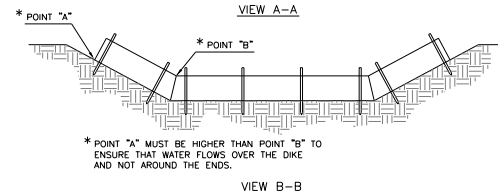
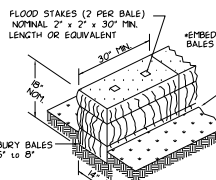
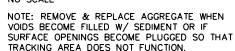
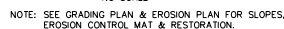
PROJECT NUMBER	62233205
PROJECT NAME	CITY SUBMITTAL
DATE	6/22/2015
DESIGNED BY	
CHECKED BY	
IN CHARGE	
DATE	
PROJECT NUMBER	



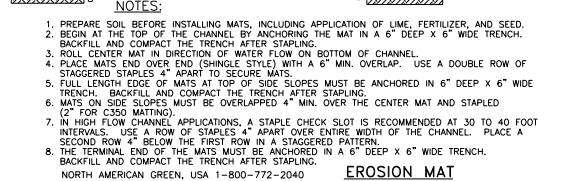




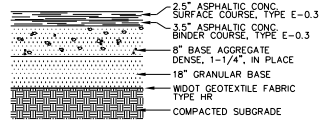
EROSION CONTROL MAT DETAIL
NO SCALE



SEDIMENT LOG DITCH DIKE, PERPENDICULAR FLOW
NO SCALE

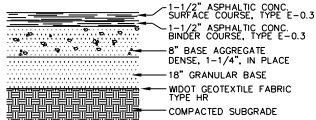


EROSION MAT
CHANNEL INSTALLATION
NO SCALE



**ASPHALT TYPICAL SECTION,
ENTRY DRIVES & STORAGE YARD**
NO SCALE

NOTES: * ASPHALT & BASE COURSE SHALL BE SUPPLIED & INSTALLED AS PER W. DOT STANDARD SPEC. FOR ROAD & STRUCTURE CONSTRUCTION, LATEST ED.
* COMPACT GRANULAR SUBGRADE & BASE AGGREGATE AS PER GEOTECHNICAL REPORT, AET PROJ. # 09-00322 RECOMMENDATIONS.



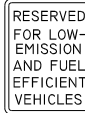
**ASPHALT TYPICAL SECTION,
EMPLOYEE PARKING LOT**
NO SCALE

NOTES: * ASPHALT & BASE COURSE SHALL BE SUPPLIED & INSTALLED AS PER W. DOT STANDARD SPEC. FOR ROAD & STRUCTURE CONSTRUCTION, LATEST ED.
* COMPACT GRANULAR SUBGRADE & BASE AGGREGATE AS PER GEOTECHNICAL REPORT, AET PROJ. # 09-00322 RECOMMENDATIONS.



STOP
R1-1
18" X 18"
SIGN DETAILS
NO SCALE

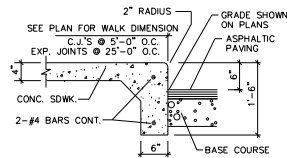
NOTES:
* ALL SIGNS SHALL BE IN ACCORDANCE W/ THE MUTCD & FED. MANUAL OF STANDARD HIGHWAY SIGNS.
* ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE W/ AASHTO, GUIDE FOR THE DEVELOPMENT OF BICYCLE FACILITIES.



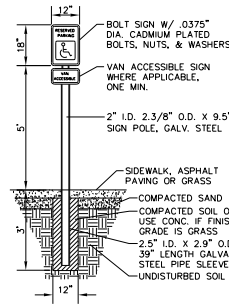
**RESERVED
FOR LOW-EMISSION
AND FUEL
EFFICIENT
VEHICLES**
18" X 24"



**RESERVED
FOR CARPOOL
AND
VANPOOL
VEHICLES**
18" X 24"

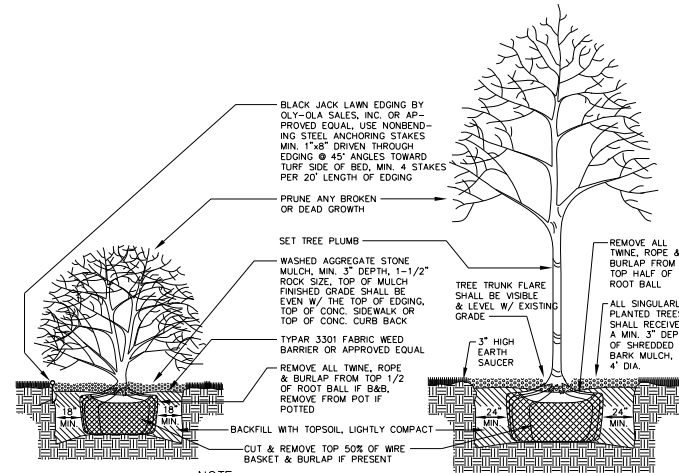


SIDEWALK/CURB DETAIL
NO SCALE

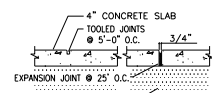


ACCESSIBLE PARKING SIGN
NO SCALE

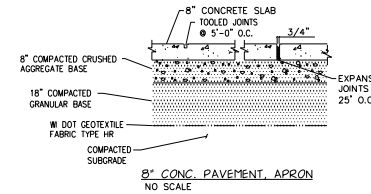
NOTE: SIGN SHALL COMPLY W/ CURRENT STATE & ADA GUIDELINES.



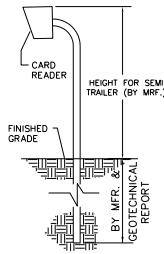
TREE & SHRUB PLANTING DETAIL
NO SCALE



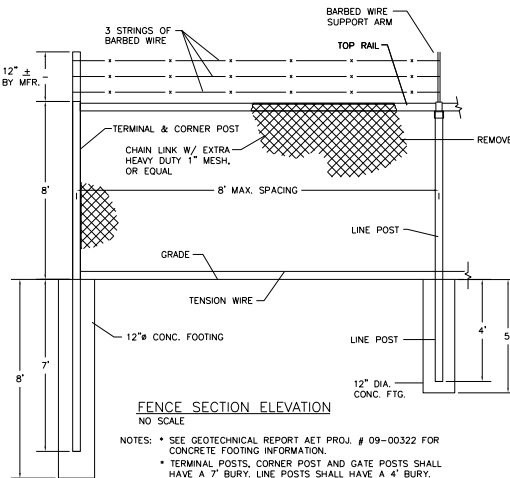
4\"/>



NOTE: 8\"/>

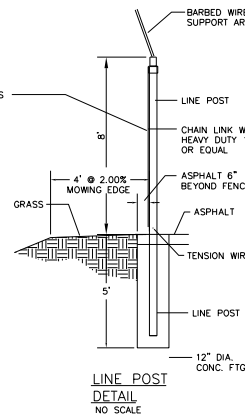


CARD READER
NO SCALE

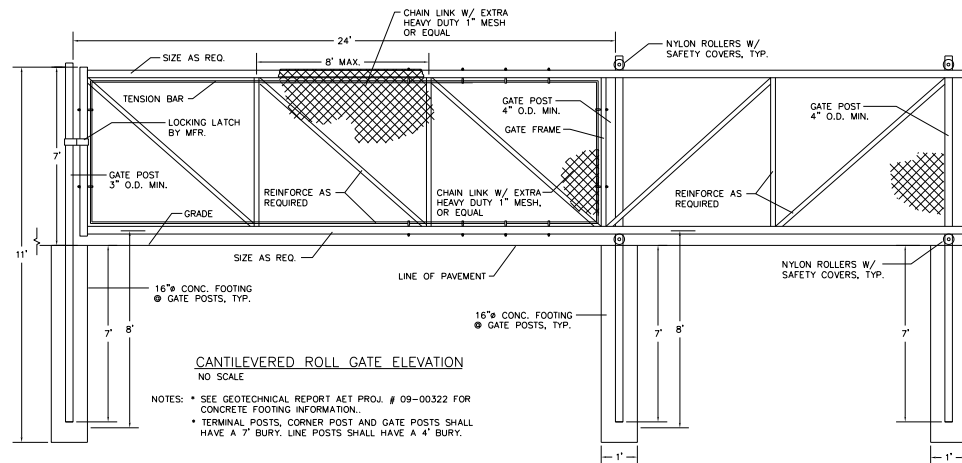


FENCE SECTION ELEVATION
NO SCALE

NOTES: * SEE GEOTECHNICAL REPORT AET PROJ. # 09-00322 FOR CONCRETE FOOTING INFORMATION.
* TERMINAL POSTS, CORNER POST AND GATE POSTS SHALL HAVE A 7\"/>

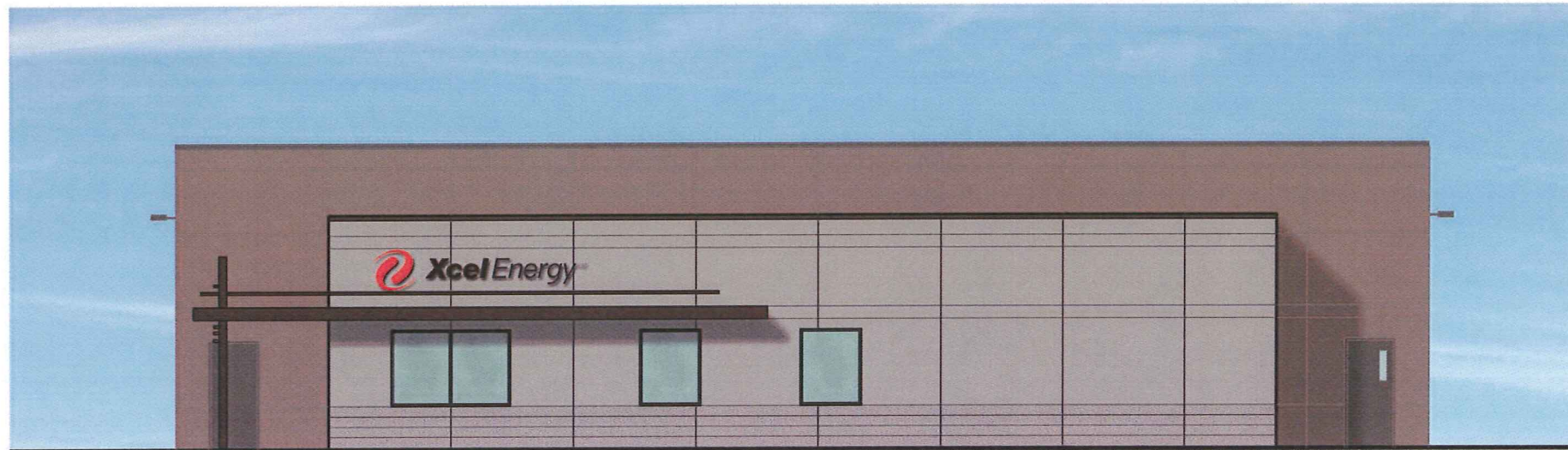


**LINE POST
DETAIL**
NO SCALE

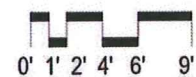


CANTILEVERED ROLL GATE ELEVATION
NO SCALE

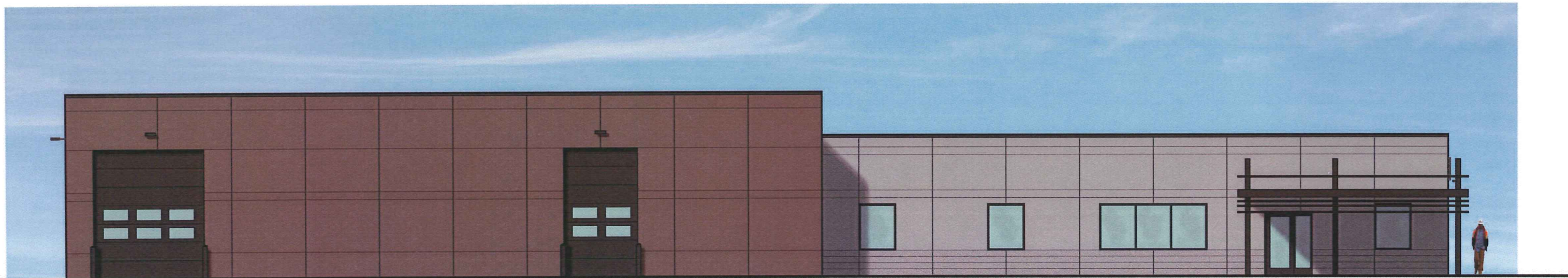
NOTES: * SEE GEOTECHNICAL REPORT AET PROJ. # 09-00322 FOR CONCRETE FOOTING INFORMATION.
* TERMINAL POSTS, CORNER POST AND GATE POSTS SHALL HAVE A 7\"/>



NORTH ELEVATION



3/32"=1'-0" AT FULL SCALE



EAST ELEVATION



3/32"=1'-0" AT FULL SCALE



CITY SUBMITTAL
IRONWOOD SERVICE CENTER

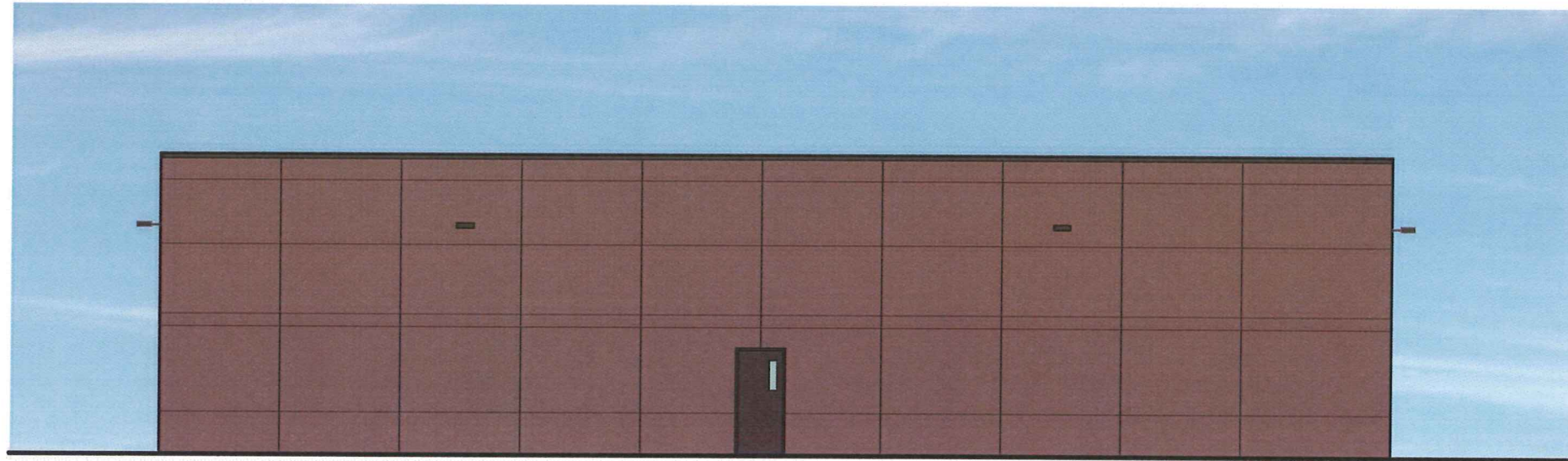
R S P A R C H I T E C T S

1220 MARSHALL ST. NE | MINNEAPOLIS MN 55413-1036 | 612.677.7100 | www.rsparch.com

PROJECT NO.: 6263.330.192
DESIGNER: AM
RSP PROJECT MGR: GS

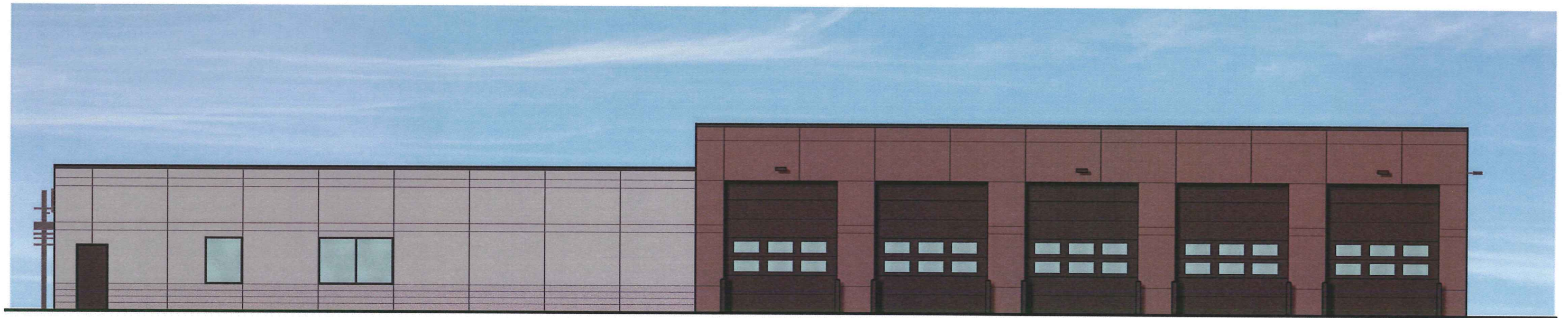
6-24-15

A1



SOUTH ELEVATION

0' 1' 2' 4' 6' 9' 3/32"=1'-0" AT FULL SCALE



WEST ELEVATION

0' 1' 2' 4' 6' 9' 3/32"=1'-0" AT FULL SCALE



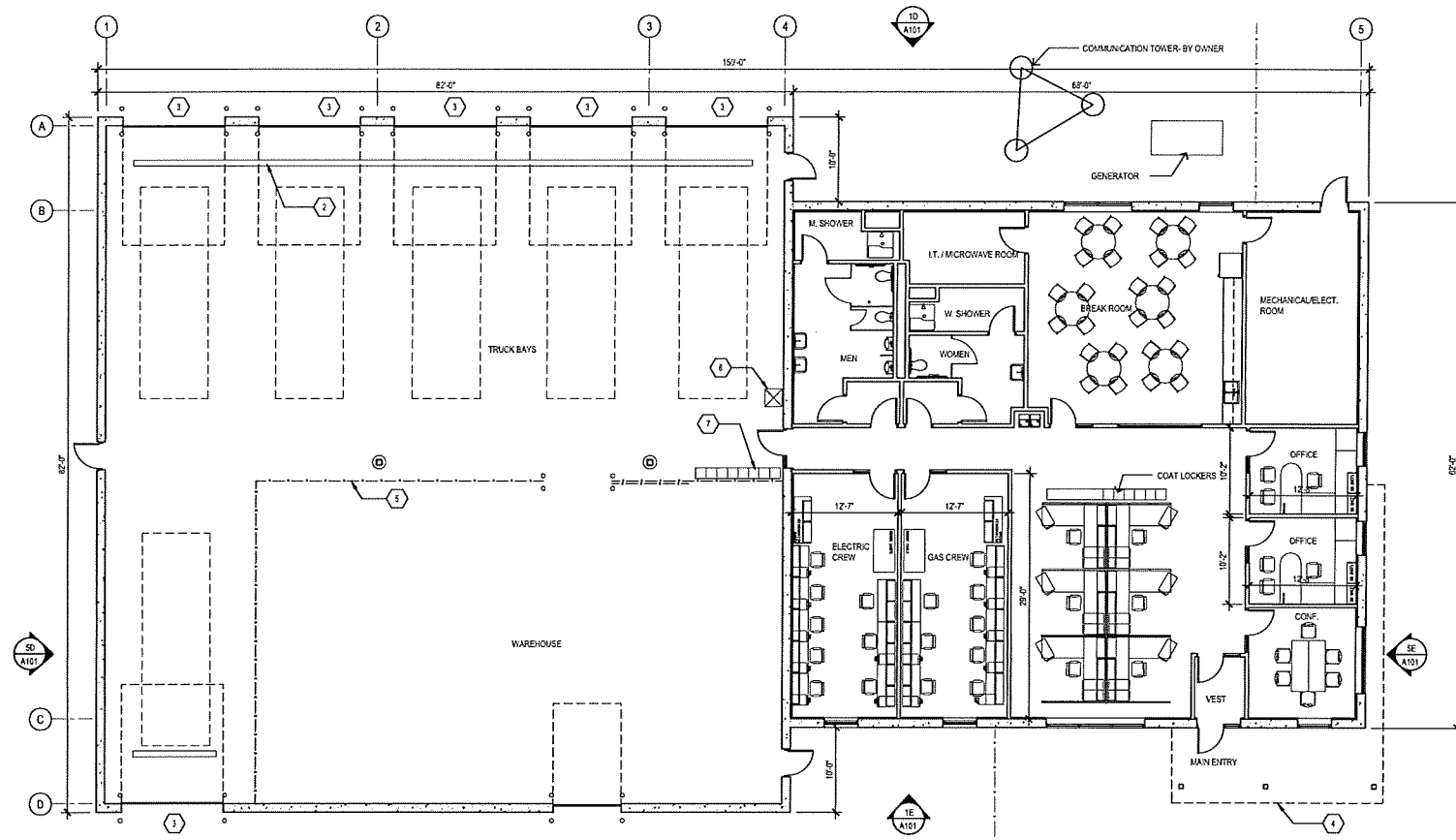
CITY SUBMITTAL
IRONWOOD SERVICE CENTER

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1220 MARSHALL ST. NE | MINNEAPOLIS MN 55413-1036 | 612.677.7100 | www.rsparch.com

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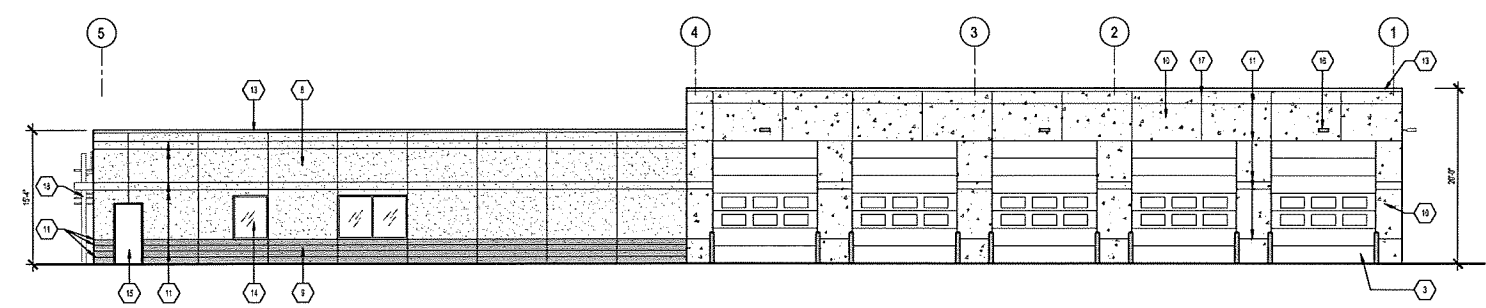
6-24-15

A2

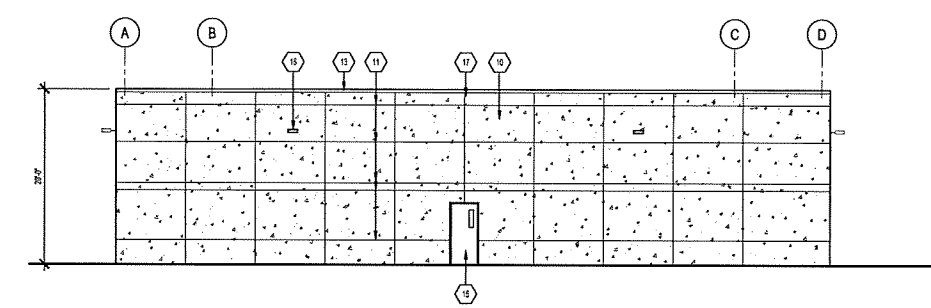


- KEY NOTES**
- 1 NOT USED
 - 2 METAL TRENCH DRAIN
 - 3 12'-0" WIDE X 14'-0" TALL D.H. SECTIONAL DOOR - 16 8" DIA BOLLARDS PER DOOR - DOOR AND BOLLARDS - PAINTED DARK BRONZE
 - 4 CANOPY ABOVE
 - 5 GALVANIZED CHAIN LINK FLOOR TO CEILING FENCING
 - 6 MOP SINK
 - 7 METAL LOCKERS
 - 8 PRECAST CONCRETE - LIGHT EXPOSED AGGREGATE FINISH - GRAY COLOR
 - 9 PRECAST CONCRETE - HEAVY EXPOSED AGGREGATE FINISH - GRAY COLOR
 - 10 PRECAST CONCRETE - LIGHT EXPOSED AGGREGATE FINISH - RED CLAY COLOR
 - 11 PRECAST CONCRETE 1/2" DEEP "Y" GROOVE REVEAL
 - 12 2" DEEP BACK LIT ALUMINUM LETTERS
 - 13 METAL COPING - MATTE BLACK COLOR
 - 14 INSULATED GLASS WINDOW WITH DARK BRONZE M.M. FRAME - TYPICAL @ ALL WINDOWS
 - 15 M.M. DOOR - PAINTED DARK BRONZE, TYPICAL AT ALL EXTERIOR DOORS
 - 16 BUILDING MOUNTED LED LIGHT - DARK BRONZE COLOR - SEE ELECTRICAL TYPICAL
 - 17 PRECAST SEALANT - GINT - COLOR TO MATCH ADJACENT PRECAST PANELS
 - 18 PAINTED TUBE STEEL CANOPY - DARK BRONZE COLOR
- GENERAL NOTES**
1. BUILDING SQUARE FOOTAGE:
4,216 G.S.F. ADMIN AREA - 3 OCCUPANCY
8,724 G.S.F. WAREHOUSE/TRUCK AREAS - 2 OCCUPANCY
13,940 G.S.F. TOTAL

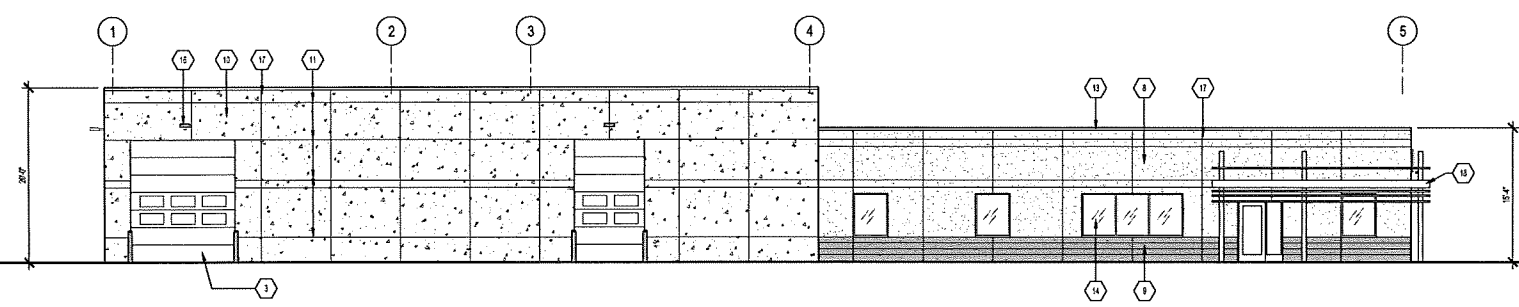
2C FIRST FLOOR PLAN
A101 1/8" = 1'-0"



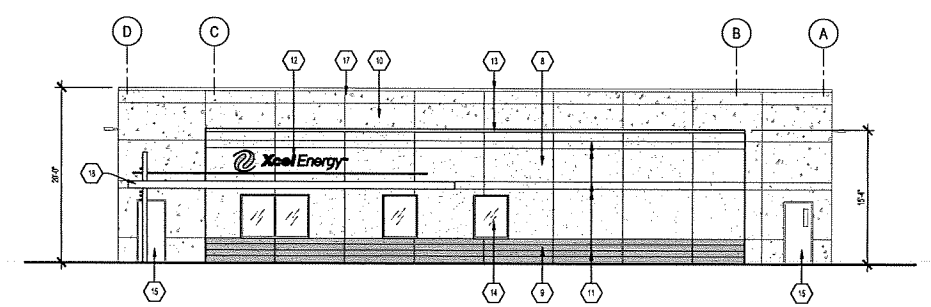
1D WEST EXTERIOR ELEVATION
A101 1/8" = 1'-0"



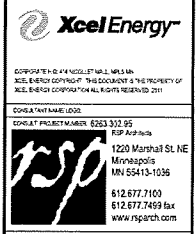
5D SOUTH EXTERIOR ELEVATION
A101 1/8" = 1'-0"



1E EAST EXTERIOR ELEVATION
A101 1/8" = 1'-0"



5E NORTH EXTERIOR ELEVATION
A101 1/8" = 1'-0"



IRONWOOD SERVICE CENTER
IRONWOOD, MICHIGAN

NOT FOR CONSTRUCTION

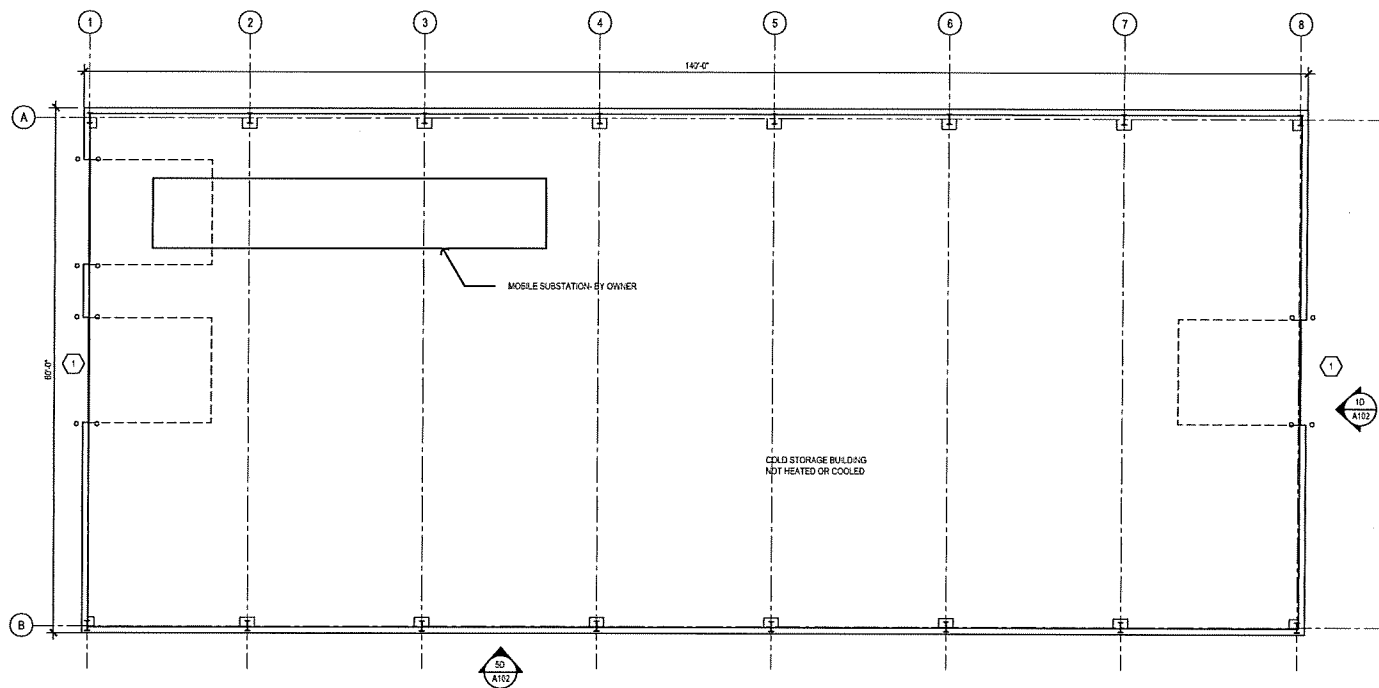
IRONWOOD PROJECT
626330295
CITY SUBMITTAL
6.24.2015
DATE PREPARED: 6/24/2015

REV	DATE	DESCRIPTION	DRAWN

FIRST FLOOR PLAN & EXTERIOR ELEVATIONS

SHEET NUMBER

A101



KEY NOTES

1

12'-0" WIDE X 14'-0" TALL OR SECTIONAL DOOR (W/ 12" DIA ROLLERS)
PER DOOR, DOOR AND ROLLERS PAINTED BRONZE.

2

METAL PANEL Siding

3

STANDING SEAM METAL ROOF.

4

EXPOSED CONCRETE

5

SKYLIGHT.

6

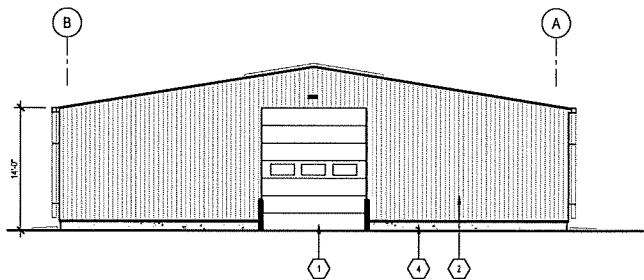
GUTTER.

7

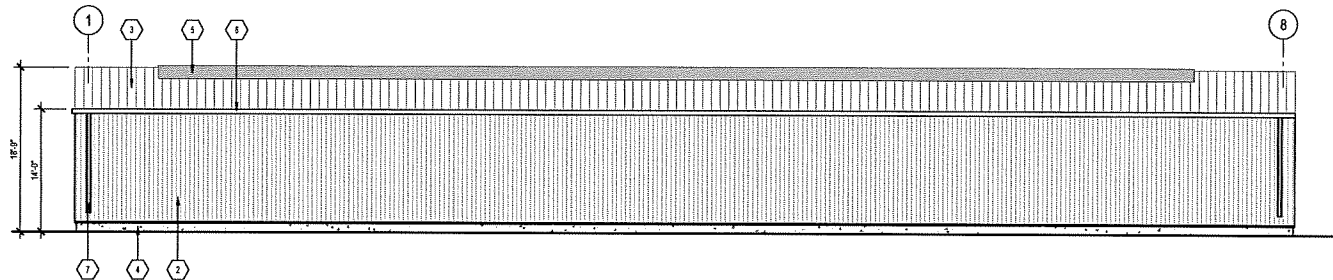
DOWNSPOUT.

GENERAL NOTES1. BUILDING SQUARE FOOTAGE:
8,400 S.F.

2C FIRST FLOOR PLAN
A102 1/8" = 1'-0"



1D EXTERIOR ELEVATION
A102 1/8" = 1'-0"



5D EXTERIOR ELEVATION
A102 1/8" = 1'-0"

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 1220 Marshall St. NE
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CONSULTING NAME: 6263 332 95
CONSULTING PROJECT NUMBER: RSP Projects

IRONWOOD SERVICE CENTER
IRONWOOD, MICHIGAN

NOT FOR CONSTRUCTION

FILE NUMBER PROJECT	6263330295
USE	CITY SUBMITTAL
ISSUE DATE	6/24/2015
DATE OF FILE NAME	IRONWOOD

REV	DATE	DESCRIPTION	DATE

FIRST FLOOR PLAN & EXTERIOR
ELEVATIONS- STORAGE BUILDING

A102



CITY SUBMITTAL
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PROJECT NO.: 6263.330.192
DESIGNER: AM
RSP PROJECT MGR: GS

6-24-15

A