



## HOME INSPECTION

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01/13/20

5477 Woodsong Trail  
Dunwoody, GA 30338

We love your home.



*Prepared with care for*  
Pablo Hernandez

*Property address*  
5477 Woodsong Trail  
Dunwoody, GA 30338

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**Location of WATER Shut-Off Valve**

Crawl Space



**Location of GAS Shut-Off Valve**

Left side of the house by the meter.



**Location of ELECTRICAL Panels**

Laundry Room

**Number of HVAC AIR FILTERS**

1

**Sizes(s) of HVAC AIR FILTERS**

16x25x4

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## OBJECTIVES AND SCOPE

This document is a home inspection report designed to assist a buyer, seller or homeowner to evaluate the condition of a home, as well as its immediate surrounding areas, at a specific date and time. Scope is based on industry standards of practice and state requirements of home inspectors, which may be different from the scope and definitions allowed by model real estate contracts for purchases and addendums.

The inspector conducts an evaluation of the home and permanently-installed, readily-accessible systems and components. All components that are not inspected should be fully evaluated and tested as needed by qualified specialist prior to closing.

### **The inspection is limited in scope.**

The inspection is not intended to be an exhaustive evaluation of a home, systems or components. The inspector does not disassemble equipment, dismantle items, move furnishings or stored items, lift floor coverings, open walls, or disturb items which belong to the occupant(s). The inspector may not specifically address every component in the home, e.g., numerous items such as windows, electrical outlets and light fixtures may be randomly selected and evaluated. The inspector does not evaluate items that are inaccessible, concealed or underground. Therefore, the home or property may have issues that cannot be discovered by the inspector. For more information, please refer to Limitations and Exclusions in our Inspection Services Agreement.

### **The inspection addresses visible and apparent conditions which exist at the date and time of the inspection.**

The inspector endeavors to identify and accurately report on visible issues which affect the construction, general maintenance, and overall safety of the home and its immediate surrounding areas. Conditions may change, perhaps dramatically, between the date and time of the inspection and the date and time of settlement and/or move-in.

### **The inspection report reflects observations and opinions of the inspector.**

Subsequent inspections or evaluations performed by other parties may yield different, and in some cases, contradictory findings. There can be several reasons for discrepancies in findings, including the interval between inspections, differences in the objectives or scope of each inspection, and background, training, and subjective opinions and experiences of the individuals performing an inspection.

### **The inspection does not eliminate all risks involved in a real estate transaction.**

The inspection does not anticipate subsequent events or changes in performance of the home due to changes in use or occupancy. We recommend that you obtain information which is available about the home and property, including seller's disclosures, previous inspection reports, engineering reports, building permits, remodeling permits, and reports delivered for or by municipal inspection departments, lenders, relocation companies, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have occurred.

### **The inspection is not a code inspection.**

The inspection may address issues which refer to a particular code but the inspector does not conduct a code compliance inspection or code safety inspection, and does not verify compliance with manufacturer's installation instructions for any system or component. We are not authorized to regulate or enforce code compliance, and must instead operate under the reasonable presumption that the home is compliant with all code requirements. Please contact the relevant government authority or original equipment manufacturer for information related to construction, addition or remodeling permits, energy efficiency ratings, or other issues relating to code compliance.

## GENERAL INFORMATION

### CLIENT

Name Pablo Hernandez

### AGENT/REALTOR®

Name Rocky Seaman  
 E-mail Rocky.Seaman@coldwellbankeratlanta.com

### INSPECTOR

Name Mark Hill  
 E-mail MHill@usinspect.com

### INSPECTION DETAILS

Property type	Single Family
Year built	1969
Approximate square feet	2502
Inspection date	01/13/20
Inspection start time	1:21PM
Temperature (F)	60
Weather (today)	Rain
Weather (yesterday)	Overcast
Direction in which home faces	Northwest
Parties present at start of inspection	Buyer Buyer's Realtor Other
Occupied	Occupied
Wired security system installed	Yes

Directions referred to in this report (i.e. left side, rear, etc.) assume you are facing the home from the front. Please note that this inspection does not include any research on the property's permit history.

Each of our inspectors is a Certified Real Estate Thermographer, having completed rigorous training developed by a Level III Certified Thermographer consisting of 8 hours in the classroom, 8 hours in the field, a proctored exam, and continuing education. Our training is approved for continuing education credits by ASHI and NACHI, the nation's largest professional inspector associations.

The infrared scan does not replace any portion of a traditional home inspection. Rather, it complements and provides a more thorough inspection of the property. Additionally, infrared increases confidence in the property's condition, reduces guesswork, and provides a more accurate diagnosis when problems are found.

### INFORMATION

The trees around the home generally require regular maintenance to address their overall health and dead or dying branches. Falling branches can be a risk for serious injury and/or property damage. Trim or remove them as needed. If in doubt hire a qualified arborist for an evaluation.

A video drain line inspection can reveal hidden problems, including issues in the main drain that connects to the municipal sewer. Consider a video drain line inspection to determine if there are additional concerns that can't be detected within the scope of a home inspection.

# CONNECT

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## DEFINITION OF TERMS

	Acceptable	<i>Performs intended function.</i>
	Not Present	<i>Does not exist in home or on property.</i>
	Not Inspected	<i>Inaccessible, seasonal impediment, etc.</i>
	Maintenance	<i>Requires maintenance or proactive measures to ensure proper function; corrective action is required to prevent deterioration or the need for more serious repairs in the near future.</i>
	Repair	<i>Excessively worn, non-functioning, or missing part of a system; corrective action generally is required to ensure proper operation and/or to improve system reliability or condition.</i>
	Safety Issue	<i>Violation of established safety standards.</i>
	Major Concern	<i>Structurally unsound, unsafe, and/or inoperative; likely to require significant expense.</i>
	Infrared	<i>Includes photo captured with infrared camera.</i>

**SUMMARY**

**EXTERIOR**

- Driveway
- Walks
- Patio
- Fence
- Retaining Wall
- Siding
- Trim
- Chimney
- Doors
- Stairs/Steps
- Stoop
- Porch
- Deck/Balcony
- Garage Vehicle Door
- Garage Vehicle Door Opener
- Carport

**ROOF**

- Covering
- Flashing
- Skylight

**STRUCTURE**

- Foundation
- Beams
- Piers/Posts
- Floor
- Wall
- Roof
- Roof Sheathing
- Attic Access
- Crawl Space Access

**WATER CONTROL**

- Gutter/Downspout
- Drain
- Grading
- Window Well
- Sump Pump

**INSULATION AND VENTILATION**

- Attic Insulation
- Basement Insulation
- Crawl Space Insulation
- Ventilation
- Humidity Control

**INTERIOR**

- Floors
- Walls
- Ceilings
- Stairs/Steps
- Cabinets
- Countertops
- Doors
- Windows
- Fireplace
- Fireplace Damper
- Fireplace Doors/Screens
- Fuel-burning Appliances

**ELECTRICAL**

- Service
- Panel
- Sub-Panel
- Branch Circuits
- Grounding/Bonding
- Receptacles
- Switches
- Fixtures
- Smoke Detectors
- CO Detectors

**HVAC**

- Heating System
- Cooling System
- Distribution
- Humidifier
- Thermostat

**PLUMBING**

- Service
- Main Shut-off
- Supply Pipes
- Drain, Waste, Vents
- Toilet
- Tub/Shower
- Sink
- Water Heater
- Whirlpool Tub
- Hose Faucet
- Fire Suppression System

**FUEL SERVICES**

- Tanks
- Meter

**APPLIANCES**

- Range/Oven
- Oven
- Microwave
- Cooktop
- Garbage Disposal
- Dishwasher
- Refrigerator/Freezer
- Ventilation System
- Washer
- Dryer

**ENVIRONMENTAL**

- Other

SUMMARY OF ISSUES

**SAFETY ISSUE**

Page

**Exterior - Driveway**

- 01 The driveway has cracked and settled/heaved. Cracks may permit moisture to enter, which may cause further damage. Uneven walking surfaces may cause someone to trip and fall. **Location:** Front. *Repair and seal the driveway.* [16](#)

**Exterior - Walks**

- 02 The walk has cracked and settled/heaved. Cracks may permit moisture to enter and cause further damage. Uneven walking surfaces may cause someone to trip and fall. **Location:** Front. *Repair and seal the walk.* [17](#)

**Exterior - Doors**

- 03 There is a double-keyed deadbolt lock at the door. This is a safety concern if the key is damaged or missing during an emergency. **Location:** Rear exterior. *Replace the door hardware with a single key locking mechanism.* [18](#)

**Exterior - Stairs/Steps**

- 04 The handrail does not have a "graspable" profile, which may prevent a firm grip. This is contrary to accepted practices. This is a safety concern. **Location:** Rear. *Repair or replace the handrail.* [19](#)

**Exterior - Deck/Balcony**

- 05 The posts are 6x4. Current code requires 6X6 posts. **Location:** Rear. *Replace the posts with 6X6 posts as needed.* [20](#)
- 06 The beams are attached to the sides of the posts. This can effect the integrity of the structure. **Location:** Rear. *Install posts under the beams.* [20](#)
- 07 The balusters are installed with a ladder effect. This is a safety issue.. **Location:** Rear. *Install horizontal balusters.* [21](#)

**Interior - Stairs/Steps**

- 08 The handrail does not have a return back to the wall. This is a safety concern. **Location:** Front. *Add a handrail return back to the wall.* [29](#)

**Interior - Windows**

- 09 The window is painted/stuck shut. This affects proper function. **Location:** Kitchen, family room. *Remove the paint or repair the window as needed for proper operation.* [30](#)

**Interior - Fireplace**

- 10 There are deteriorated mortar joints inside the fireplace. This is a fire and safety hazard. **Location:** Family Room. *Repair the mortar joints.* [31](#)

**Interior - Fireplace Damper**

- 11 The fireplace has an operable damper without a clamp that prevents the damper from closing completely. This is a safety concern. **Location:** Family Room. *Install a damper clamp.* [31](#)

**Electrical - Service**

- 12 The entrance cable is in contact with tree limbs. This is a safety hazard. **Location:** Front. *Hire a contractor to remove the tree limbs.* [33](#)

**Electrical - Panel**

- 13 The electrical panel requires more than 6 breakers to turn off all the power to the home, which is contrary to accepted practice. This is a safety hazard. **Location:** Laundry Room. *Hire an electrician to evaluate the panel and to make required repairs.* [34](#)
- 14 The electrical panel is not labeled or is only partially labeled. All panels must be completely labeled correctly to indicate which circuits the breakers or fuses serve. **Location:** Laundry Room. *Label the panel.* [34](#)

**Electrical - Receptacles**

- 15 There is a standard receptacle installed in a location that currently mandates a GFCI device. While this may not have been required at installation, it is a safety concern. **Location:** Half bathroom, kitchen, exterior. *Hire an electrician to replace the receptacle.* [35](#)
- 16 There is an opening between the cover plate and the wall . This is a shock hazard. **Location:** Hall bathroom, master bathroom. *Hire an electrician to evaluate and repair as necessary.* [36](#)

**SUMMARY OF ISSUES**

**Electrical - Fixtures**

- 17 The light bulb is exposed. This is a safety concern. **Location:** Hall closet, front left bedroom closet. *Repair or replace the fixture.* [38](#)

**Electrical - Smoke Detectors**

- 18 Smoke detectors are missing. There should be at least one functional smoke detector on each level of the house. Some jurisdictions require a detector within 15 feet of or inside each bedroom. This is a safety hazard. **Location:** First floor hall, all bedrooms. *Install smoke detectors as needed to comply with local requirements.* [38](#)
- 19 The smoke detectors are 10+ years old and beyond their life expectancy. This is a safety hazard. **Location:** Upstairs hall. *Replace the smoke detectors.* [38](#)

**Electrical - CO Detectors**

- 20 Carbon monoxide detectors are missing. The home has fuel burning appliances or components which may emit CO in their exhaust gases, or an attached garage with door(s) connected to the living space. This is a safety hazard. **Location:** Multiple Locations. *Install carbon monoxide detectors as needed.* [38](#)

**Plumbing - Water Heater**

- 21 The water heater's Temperature Pressure Relief Valve (TPRV) extension pipe is routed upwards, which may prevent the valve from opening. This is a safety hazard. **Location:** Crawl Space. *Hire a plumber to replace the TPRV extension pipe.* [44](#)
- 22 The water heater lacks an expansion tank or valve. This is a safety hazard. **Location:** Crawl Space. *Hire a plumber to install a tank or valve.* [44](#)

**Plumbing - Hose Faucet**

- 23 The hose faucet is missing an anti-siphon device, which is designed to prevent contaminated water from entering house's potable water supply. This is a safety concern. **Location:** Multiple Locations. *Install an anti-siphon device.* [45](#)

**Environmental - Other**

- 24 There is evidence of rodent activity within the home. This is a health and safety concern. **Location:** Attic. *Hire a specialist for an evaluation and to make required repairs.* [50](#)

**REPAIR**

**Exterior - Siding**

- 25 There is loose siding. This permits moisture to enter. There may be hidden damage behind the siding. **Location:** Right side, rear. *Repair or replace the siding and repair any damage which may be revealed.* [17](#)

**Exterior - Doors**

- 26 The door does not fit and seal properly within frame. This permits energy loss and moisture intrusion. **Location:** Front. *Repair or replace the door.* [18](#)

**Exterior - Stoop**

- 27 The mortar joints are deteriorated. This permits water penetration into the structure and may lead to further damage. **Location:** Front. *Repair the mortar joints.* [19](#)

**Structure - Foundation**

- 28 There is a significant crack in the foundation that exhibits displacement. This means that the two sides of the crack are not in the same plane and that the foundation has settled unevenly. **Location:** Crawl space floor. *Hire a contractor for an evaluation and to provide repairs as needed.* [24](#)

**Structure - Attic Access**

- 29 The seal or insulation at the attic access is inadequate. This permits energy loss and permits moisture to enter the attic. **Location:** Main Home. *Repair or replace the seal and add insulation as needed.* [25](#)

**Structure - Crawl Space Access**

- 30 There is efflorescence in the crawl space. These white crystalline deposits indicate moisture penetration. This is conducive to mold formation and damage. **Location:** Main Home. *Hire a contractor for an evaluation and to make repairs or upgrades as needed.* [25](#)

## SUMMARY OF ISSUES

### **Water Control - Gutter/Downspout**

- 31 The downspout extension is missing. Downspout extensions are required to carry away roof run-off water from the foundation. **Location:** Front. *Install downspout extensions as needed.* [27](#)

### **Insulation and Ventilation - Attic Insulation**

- 32 The level of attic insulation is considered inadequate by today's standards. **Location:** Multiple Locations. *Install additional insulation in accordance with local guidelines.* [28](#)

### **Interior - Doors**

- 33 The door does not fit properly within frame. It is binding and/or has large gaps. This affects its function. **Location:** Right front bedroom, master bathroom. *Adjust or replace the door.* [30](#)

### **Electrical - Fixtures**

- 34 The exterior lamp bases are not sealed to the siding. This can allow for water penetration. **Location:** Front door, rear door, shed, garage. *Seal around the bases.* [37](#)

### **Plumbing - Service**

- 35 The water pressure is too high. Pressure higher than 80 psi may cause pipes, valves, and faucets to fail prematurely. **Location:** Crawl Space. *Hire a plumber to evaluate the water system and to make required repairs.* [43](#)

### **Plumbing - Tub/Shower**

- 36 The tub/shower stopper is damaged or missing. This affects proper function. **Location:** Master Bathroom. *Replace the stopper.* [43](#)

### **Appliances - Washer**

- 37 The washing machine does not have a drip pan. Washers above finished areas should be installed on a draining catch pan to prevent water damage if the appliance leaks. **Location:** Laundry Room. *Install a draining drip pan.* [49](#)

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**PUNCHLIST**

PHOTOS



## INFRARED SCAN PHOTOS

US Inspect utilizes infrared thermography during home inspections. Our inspectors use infrared cameras to scan walls, ceilings, and floors; infrared cameras identify small variances in temperature which could indicate a roof leak, plumbing leak, exterior moisture intrusion, or an electrical concern. **The images on this page show our inspector performing the infrared scan. Any actual defects discovered during this part of the inspection will appear in the Issues section(s) of your report.**



**EXTERIOR**

**LOTS AND GROUNDS**

Driveway	Concrete
Walks	Concrete, Gravel
Patio	Concrete
	Open
Fence	Wood, Chain Link
Retaining Wall	Landscaping Timbers
	Rear and right sides

**EXTERIOR**

Siding	Wood
Chimney	Brick
Doors	Wood
Stoop	Brick
Deck/Balcony	Wood
Garage Vehicle Door	Metal
	Overhead Sectional

**LIMITATIONS**

Retaining Wall	Retaining walls are visually inspected for deterioration, leaning or other signs of failure. Portions of the structural components are below grade and therefore cannot be inspected. Determination of the adequacy of a retaining wall is outside the scope of a home inspection absent any signs of failure.
Chimney	Visibility and accessibility of the chimney interior is limited. No determination of the interior condition, lining, or its ability to function safely and properly can be made. Consult a chimney specialist for a comprehensive evaluation prior to closing as needed.

**INFORMATION**

- ☀️ Siding requires periodic maintenance, including cleaning. Add finish (paint or stain) to areas which may become unprotected due to erosion by weather.
  - ☀️ All window and door penetrations, siding terminations and trim intersections should be sealed on a routine basis to help prevent water penetration.
  - ☀️ For homes with garage overhead door openers, test the safety return periodically to ensure proper working order. To test the door opener, place a 2x4 block flat on the floor and close the door; the door should reverse within 2 seconds without damaging the door.
- The driveway has minor cracks with no differential movement. Seal the cracks to prevent water intrusion.
- Wood trim is subject to deterioration and requires periodic maintenance, including cleaning. Keep trim material sealed with paint or stain to protect it from moisture penetration. Repair and caulk gaps prior to recoating.
- Wood decks, even if constructed of pressure-treated wood framing, require periodic maintenance. Wood decks generally need preservative applications regularly. If water does not bead on the deck, treat the deck with products that protect the wood from UV rays and water absorption.

EXTERIOR

PHOTOS

Exterior - Chimney



COMMENTS

Exterior - Driveway

-  Issue The driveway has cracked and settled/heaved. Cracks may permit moisture to enter, which may cause further damage. Uneven walking surfaces may cause someone to trip and fall.
- Location Front
- Action *Repair and seal the driveway.*



## EXTERIOR

### Exterior - Walks

-  Issue The walk has cracked and settled/heaved. Cracks may permit moisture to enter and cause further damage. Uneven walking surfaces may cause someone to trip and fall.
- Location Front
- Action *Repair and seal the walk.*



### Exterior - Siding

-  Issue There is loose siding. This permits moisture to enter. There may be hidden damage behind the siding.
- Location Right side, rear
- Action *Repair or replace the siding and repair any damage which may be revealed.*



## EXTERIOR

### Exterior - Doors

 Issue There is a double-keyed deadbolt lock at the door. This is a safety concern if the key is damaged or missing during an emergency.

Location Rear exterior

Action *Replace the door hardware with a single key locking mechanism.*



 Issue The door does not fit and seal properly within frame. This permits energy loss and moisture intrusion.

Location Front

Action *Repair or replace the door.*



**EXTERIOR**

**Exterior - Stairs/Steps**

 Issue The handrail does not have a "graspable" profile, which may prevent a firm grip. This is contrary to accepted practices. This is a safety concern.

Location Rear

Action *Repair or replace the handrail.*



**Exterior - Stoop**

 Issue The mortar joints are deteriorated. This permits water penetration into the structure and may lead to further damage.

Location Front

Action *Repair the mortar joints.*



EXTERIOR

Exterior - Deck/Balcony

- Issue The posts are 6x4. Current code requires 6X6 posts.
- Location Rear
- Action *Replace the posts with 6X6 posts as needed.*



- Issue The beams are attached to the sides of the posts. This can effect the integrity of the structure.
- Location Rear
- Action *Install posts under the beams.*



## EXTERIOR

- 🔍 Issue The balusters are installed with a ladder effect. This is a safety issue..  
Location Rear  
Action *Install horizontal balusters.*



## ROOF

### COVERING

Location	Main Structure
Material	Fiberglass Architectural Shingle
Age (Years)	1
Estimated Useful Life When New (Years)	25 to 35
Inspection Method	Viewed from ground with binoculars
What prevents walking the entire roof?	Rain

### INFORMATION

Estimated remaining life of roofing is subjective and depends on numerous criteria, which vary by roof and may include the following variables:

- i) direction and exposure to the sun, i.e., the more directly the roof is exposed to the sun, the shorter the roof's life, e.g., south-facing slope generally wears out faster than a north-facing slope;
- ii) slope of the roof, i.e., the higher the slope, the faster water drains off, e.g., higher- sloped roofs generally last longer than lower-sloped roofs;
- iii) color of the roof, i.e., lighter roofs are cooler and generally last longer; color may affect the temperature of the roof surface by as much as 10F to 20F;
- iv) weight of the roof covering, i.e., heavier shingles typically last longer than lighter shingles;
- v) quality of the sheathing, i.e., type and thickness of materials used; and
- vi) attic ventilation, i.e., proper attic ventilation helps to control temperature of the roof during hot weather and is essential to reduce moisture-related sheathing damage.

Estimates of age and remaining life are based on an inspector's experience, as well as numerous assumptions and variables, including the aforementioned variables. Therefore, inspector estimates should be considered a general guide.

Please note that roof leaks often are due to flashing or valley failures. If there are roofing leaks, inspect the flashings or valleys before assuming that damaged or deteriorated roofing material is the cause of the water penetration.

## PHOTOS

### Roof - Covering



**STRUCTURE**

**FOUNDATION**

Foundation	Crawl Space
Beams	Wood
Piers and Posts	CMU (Cinderblock)
Floor	Conventional Framing
Walls	Dimensional Lumber
Roof	Wood Framing
Roof Sheathing	Conventional Framing
	Dimensional lumber
	Plywood

**ATTIC**

Access Location	Hall
Access Type	Pull-down stairs
% Visibility	70
Inspection Method	Entered

**CRAWL SPACE**

Access Location	Rear exterior
Access Type	Hatch
% Visibility	70
Inspection Method	Entered

**PHOTOS**

View from Attic Access Entry



View from Crawl Space Access Entry



STRUCTURE

Structure - Attic



Structure - Crawl Space



COMMENTS

Structure - Foundation

- X** Issue There is a significant crack in the foundation that exhibits displacement. This means that the two sides of the crack are not in the same plane and that the foundation has settled unevenly.
- Location Crawl space floor
- Action *Hire a contractor for an evaluation and to provide repairs as needed.*



## STRUCTURE

### Structure - Attic Access

-  Issue The seal or insulation at the attic access is inadequate. This permits energy loss and permits moisture to enter the attic.
- Location Main Home
- Action *Repair or replace the seal and add insulation as needed.*



### Structure - Crawl Space Access

-  Issue There is efflorescence in the crawl space. These white crystalline deposits indicate moisture penetration. This is conducive to mold formation and damage.
- Location Main Home
- Action *Hire a contractor for an evaluation and to make repairs or upgrades as needed.*



## WATER CONTROL

### ROOF DRAINAGE

Gutters and Downspouts	Aluminum Conventional
------------------------	--------------------------

### STRUCTURAL DRAINAGE

Exterior Drain	Surface
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### LOT DRAINAGE

Grading	Neutral
---------	---------

### LIMITATIONS

Drain	Drain(s) discharge into an underground drainage system. The condition of underground portions of the drainage system cannot be inspected.
-------	---

### INFORMATION

The overwhelming majority of water penetration problems is caused by surface water that is not managed properly. Grading which slopes towards the foundation of the home permits water to accumulate at the foundation; poor maintenance of gutter and downspout systems also contributes to water accumulation problems.

Grading around the home should be maintained so that surface water does not accumulate close to the foundation. Grading should slope away from the home at a rate of approximately 1" per 1' for at least 6'.

In order to divert water away from the foundation, soil must be dense and slope away from the foundation. In situations in which regrading is not a reasonable option, an interior hydrostatic pressure relief system with a sump pump may be required.

Keep gutters and downspouts clean and free of debris or obstructions. Gutters which hold water tend to sag, overflow, and may cause water penetration to occur through below grade foundation walls. Homes near trees require more frequent gutter and downspout cleaning to ensure continued proper functionality. Roof gutters should be installed with adequate slope towards the downspouts to allow for proper draining of the gutters. Downspouts should deposit roof water away from the walls of the house with splash blocks or downspout extensions. The grades in the areas where the water is being deposited must slope away from the walls and properly divert water from the house.

WATER CONTROL

COMMENTS

Water Control - Gutter/Downspout

 Issue The downspout extension is missing. Downspout extensions are required to carry away roof run-off water from the foundation.

Location Front

Action *Install downspout extensions as needed.*



## INSULATION AND VENTILATION

### INSULATION

Attic Insulation  
Approximate Depth "                      Fiberglass Loose  
7

### VENTILATION

Ventilation                                      Fan, Ridge Vent, Roof Vent, Bathroom Fan  
Humidity Control                              Manual Crawl Space Vents

### INFORMATION

Ventilation is critically important in any property that has an unconditioned attic area. During summer or humid months, inadequate attic ventilation can lead to roof degradation because of high temperatures or moisture. During winter or colder months, inadequate attic ventilation can lead to condensation, mold or mildew development, sheathing problems and indoor air quality problems.

Ice dam leaks occur in winter if a roof system is not properly ventilated and/or insulated. The situation usually occurs when outside temperatures are below freezing and the attic temperature is above freezing with snow on the roof. As snow melts, it runs down the roof, and then refreezes at the colder eaves, forming an ice dam, which backs up under the roof covering near the eaves. The general remedy to ice damming is to improve attic ventilation and/or insulation, the objectives of which are to provide proper air flow and to keep the attic and roof sheathing as cool as possible.

## COMMENTS

### Insulation and Ventilation - Attic Insulation

-  Issue      The level of attic insulation is considered inadequate by today's standards.  
Location Multiple Locations  
Action      *Install additional insulation in accordance with local guidelines.*



**INTERIOR**

**INTERIOR**

Floors	Carpeting, Wood, Ceramic Tile
Walls	Drywall, Paneling
Ceilings	Drywall
Stairs/Steps	Conventional
Windows	Double Hung Wood

**FIREPLACE**

Location	Family Room
Type	Built-In
Materials	Masonry

**INFORMATION**

Insulated glass is comprised of two panes of glass with dry air or inert gas sealed between the panes. If a seal fails, air and moisture penetrate between the panes and, as temperatures vary, moisture vapors between the panes of glass turn to liquid and stain the inside of the glass. In most cases, staining is visible; however, it may be difficult to identify the impact of a seal failure in its early stages. Reflection of light also make failures difficult, or impossible, to identify. Although failed seals may incrementally impair insulating qualities of the glass, aesthetics generally is a more important concern. To resolve failed insulated glass seals, insulated glass units or the entire sash must be replaced. If there are any windows with failed insulated glass seals, carefully examine all other similar types of windows.

Clean and service fireplaces annually. The flue pipe and chimney also should be cleaned and examined regularly.

**COMMENTS**

**Interior - Stairs/Steps**

-  Issue The handrail does not have a return back to the wall. This is a safety concern.
- Location Front
- Action *Add a handrail return back to the wall.*



## INTERIOR

### Interior - Doors

-  Issue The door does not fit properly within frame. It is binding and/or has large gaps. This affects its function.
- Location Right front bedroom, master bathroom
- Action *Adjust or replace the door.*



### Interior - Windows

-  Issue The window is painted/stuck shut. This affects proper function.
- Location Kitchen, family room
- Action *Remove the paint or repair the window as needed for proper operation.*



**INTERIOR****Interior - Fireplace**

- 🔧 Issue There are deteriorated mortar joints inside the fireplace. This is a fire and safety hazard.  
Location Family Room  
Action *Repair the mortar joints.*

**Interior - Fireplace Damper**

- 🔧 Issue The fireplace has an operable damper without a clamp that prevents the damper from closing completely. This is a safety concern.  
Location Family Room  
Action *Install a damper clamp.*



**ELECTRICAL****SERVICE**

Source	Overhead
Conductor	Aluminum
Disconnect	Circuit breaker
Disconnect Location	
Incoming Amperage	200
Meter Amperage	200
Grounding/Bonding	Unable to Determine

**PANEL**

Main	Circuit Breaker
Location	Laundry Room
Amperage	200
Voltage	120/240

**DISTRIBUTION**

Wiring Type(s)	Non-metallic Sheathed Cable (Romex)
Wiring Material(s)	Copper

**OTHER**

Smoke Detectors	Present
Carbon Monoxide Detectors	Present

**INFORMATION**

The age of batteries in smoke detectors and carbon monoxide detectors is not evident; therefore, we recommend installation of new batteries upon occupancy of the home.

Please note that the function of photo-electrically controlled lights, motion detector devices, and those controlled by timers is beyond the scope of a home inspection.

ELECTRICAL

PHOTOS

Electrical - Service



Electrical Panel 1



COMMENTS

Electrical - Service

- Issue The entrance cable is in contact with tree limbs. This is a safety hazard.
- Location Front
- Action Hire a contractor to remove the tree limbs.



## ELECTRICAL

### Electrical - Panel

 Issue The electrical panel requires more than 6 breakers to turn off all the power to the home, which is contrary to accepted practice. This is a safety hazard.

Location Laundry Room

Action *Hire an electrician to evaluate the panel and to make required repairs.*



 Issue The electrical panel is not labeled or is only partially labeled. All panels must be completely labeled correctly to indicate which circuits the breakers or fuses serve.

Location Laundry Room

Action *Label the panel.*



## ELECTRICAL

### Electrical - Receptacles

 **Issue** There is a standard receptacle installed in a location that currently mandates a GFCI device. While this may not have been required at installation, it is a safety concern.

**Location** Half bathroom, kitchen, exterior

**Action** Hire an electrician to replace the receptacle.



**ELECTRICAL**

- ⚡ Issue There is an opening between the cover plate and the wall . This is a shock hazard.
- Location Hall bathroom, master bathroom
- Action Hire an electrician to evaluate and repair as necessary.



**ELECTRICAL**

Electrical - Fixtures

- X** Issue The exterior lamp bases are not sealed to the siding. This can allow for water penetration.
- Location Front door, rear door, shed, garage
- Action Seal around the bases.



**ELECTRICAL**

- ⚡ Issue The light bulb is exposed. This is a safety concern.  
Location Hall closet, front left bedroom closet  
Action *Repair or replace the fixture.*



**Electrical - Smoke Detectors**

- ⚡ Issue Smoke detectors are missing. There should be at least one functional smoke detector on each level of the house. Some jurisdictions require a detector within 15 feet of or inside each bedroom. This is a safety hazard.  
Location First floor hall, all bedrooms  
Action *Install smoke detectors as needed to comply with local requirements.*
- ⚡ Issue The smoke detectors are 10+ years old and beyond their life expectancy. This is a safety hazard.  
Location Upstairs hall  
Action *Replace the smoke detectors.*



**Electrical - CO Detectors**

- ⚡ Issue Carbon monoxide detectors are missing. The home has fuel burning appliances or components which may emit CO in their exhaust gases, or an attached garage with door(s) connected to the living space. This is a safety hazard.  
Location Multiple Locations  
Action *Install carbon monoxide detectors as needed.*

**HEATING AND COOLING**

**HEATING SYSTEM**

Heating System	Crawl Space
Type and Energy Source	Furnace, Natural Gas
Age (Years)	10
Estimated Useful Life When New (Years)	20 to 25

**COOLING SYSTEM**

Cooling System	Left Side Exterior
Type and Energy Source	Central Split, Electric
Age (Years)	6
Estimated Useful Life When New (Years)	10 to 15
Manufacturer	Lennox

**DISTRIBUTION**

Distribution	Ductwork
Is there a heat source in all living spaces?	Yes

**LIMITATIONS**

Heating System	Comprehensive evaluation of the heat exchanger is specifically excluded from this inspection due to visibility and design limitations of forced-air furnaces. Comprehensive evaluation can only be obtained by dismantling or specialized testing, which is beyond the scope of this home inspection.
Cooling System	The outside temperature is too cold to operate the cooling system. Most manufacturers caution that running the AC when it is below 65F can damage the system. Therefore, the cooling system is only inspected visually.
Thermostat	The inspector tests thermostat in manual mode only. Internet-capable, automatic and timed features are not tested.

**PHOTOS**

Heating System 1



Cooling System 1



HEATING AND COOLING

HVAC - Cooling System 1 Data Tag



**PLUMBING**

**SUPPLY AND PIPES**

Service Source	Public, Private Well
Service Pipe	Unable to Determine
Water Pressure (psi)	90
Main Shut-off Location	Crawl Space
Interior Supply Piping	Copper
Waste System	Private - Traditional Septic System
Drain/Waste/Vent Materials	Cast Iron

**WATER HEATER**

Location	Crawl Space
Type	Conventional Tank, Electric
Age (Years)	17
Estimated Useful Life When New (Years)	10 to 15
Capacity (Gallons)	47
Manufacturer	Rheem

**LIMITATIONS**

The inspector does not operate or test shut-off valves.

The inspector does not fill sinks, bathtubs, or showers to test the function of overflow drains.

Drain, Waste, Vents  
 The inspection of on-site waste systems is very limited. We check the system for the presence of alarms on the septic pump tanks, which are evaluated by pushing the test button. The drain field is visually inspected for obvious signs of failure such as sewage breakout. Compliance with local regulations or system adequacy is beyond the scope of this inspection. We strongly encourage you to obtain a complete inspection by a qualified septic contractor prior to closing.

**INFORMATION**

Visible, accessible portions of supply and drain lines are inspected; however, most supply and drain lines are not visible and, therefore, can't be visually inspected.

Check drainage at all plumbing fixtures and associated appliances during pre-settlement walk-through. Recommended hot water temperature is approximately 120 °F or lower.

The water heater is past the end of its estimated useful life. We recommend establishing a budget to replace the water heater.

The water heater is past its expected life.

PLUMBING

PHOTOS

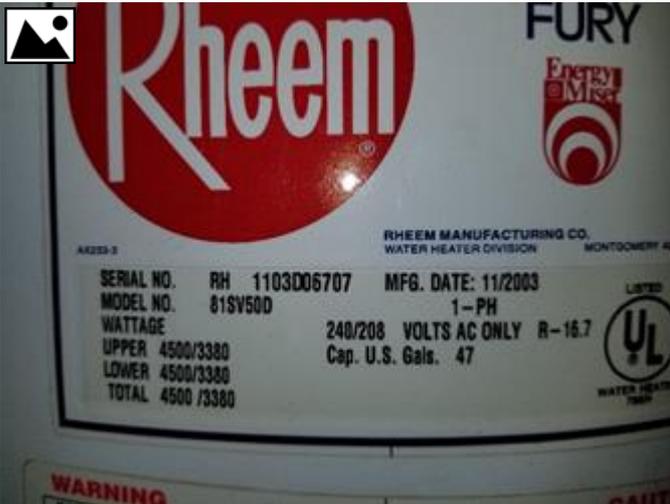
Shut-off Valve



Water Heater



Plumbing - Water Heater 1 Data Tag



**PLUMBING****COMMENTS****Plumbing - Service**

- X** Issue The water pressure is too high. Pressure higher than 80 psi may cause pipes, valves, and faucets to fail prematurely.
- Location Crawl Space
- Action *Hire a plumber to evaluate the water system and to make required repairs.*

**Plumbing - Tub/Shower**

- X** Issue The tub/shower stopper is damaged or missing. This affects proper function.
- Location Master Bathroom
- Action *Replace the stopper.*



## PLUMBING

### Plumbing - Water Heater

-  Issue The water heater's Temperature Pressure Relief Valve (TPRV) extension pipe is routed upwards, which may prevent the valve from opening. This is a safety hazard.
- Location Crawl Space
- Action *Hire a plumber to replace the TPRV extension pipe.*



-  Issue The water heater lacks an expansion tank or valve. This is a safety hazard.
- Location Crawl Space
- Action *Hire a plumber to install a tank or valve.*



**PLUMBING****Plumbing - Hose Faucet**

 **Issue** The hose faucet is missing an anti-siphon device, which is designed to prevent contaminated water from entering house's potable water supply. This is a safety concern.

**Location** Multiple Locations

**Action** *Install an anti-siphon device.*



FUEL SERVICES

FUEL SERVICES

Meter

Left Side

PHOTOS

Fuel Services - Meter



Shut-off Valve



## APPLIANCES

### KITCHEN

Range/Oven 1	Built-In Electric
Oven 1	Electric
Dishwasher 1	Built-In
Ventilation System 1	Recirculating

### INFORMATION

Clean dryer vents at regular intervals. Ductwork should be rigid material and as short and straight as possible. If ductwork extensions are required, sections should be taped together as opposed to connected with screws to ensure that lint does not collect on any screw points. If clothing requires an unusually long time to dry, or if airflow is weak at the exhaust end of the duct, the vent may be clogged. Dryer fires are not uncommon and dryer vent restriction is one cause of dryer fires.

The exhaust fan is a recirculating type, i.e., the fan does not vent to the exterior. Clean the filter at regular intervals.

## PHOTOS

Appliances - Range/Oven



Appliances - Dishwasher



APPLIANCES

Appliances - Oven



Appliances - Refrigerator/Freezer



Appliances - Washer



Appliances - Dryer



APPLIANCES

COMMENTS

Appliances - Washer

- X** Issue The washing machine does not have a drip pan. Washers above finished areas should be installed on a draining catch pan to prevent water damage if the appliance leaks.
- Location Laundry Room
- Action *Install a draining drip pan.*



ENVIRONMENTAL

**OTHER**  
Type

COMMENTS

Environmental - Other

- Issue There is evidence of rodent activity within the home. This is a health and safety concern.
- Location Attic
- Action *Hire a specialist for an evaluation and to make required repairs.*



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SEASONAL MAINTENANCE CHECKLIST

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• WINTER •  
 Maintenance Checklist

*Laughter is the sun that drives winter from the human face.*  
 - Victor Hugo -

**INTERIOR**

- Remove and store your window screens
- Reverse ceiling fans to direct heat downward
- Check attic vents for bird and squirrel nests
- Hire a professional to inspect/clean wood stoves
- Stock your home with a current fire extinguisher

**INSULATION AND VENTILATION**

- Open and clean your attic louvers and vents
- Check your attic for proper insulation
- Clean your dryer vent

**ELECTRICAL SYSTEMS**

- Check your wiring and cables for wear and damage
- Test and reset your GFCI and AFCI outlets/breakers

**HVAC**

- Change your filters
- Hire an HVAC contractor to service your system
- Remove window AC units or install winter covers
- Vacuum radiators, baseboards and air registers

**PLUMBING**

- Check your toilets for leaks inside the tanks
- Check all fixtures for leaks
- Check tile joints, grout and caulking
- Remove and store hoses and winterize spigots



• WINTER •  
 Maintenance Checklist

**EXTERIOR**

- Replace screen doors with winter storm doors
- Repair missing caulk around windows and doors
- Weatherstrip doors that lead to the exterior

**ROOF**

- Check your roof for damage or missing shingles
- Check underside of your roof for stains and leaks
- Trim branches and trees away from the roof

**STRUCTURE**

- Check your chimney for cracks and leaks
- Get your chimney cleaned before the first burn
- Check your foundation walls for cracks
- Check your crawl space for moisture

**WATER CONTROL**

- Clean your gutters and window wells
- Extend downspouts away from your foundation
- Make sure grading flows water away

**WASTE DISPOSAL**

- Get your septic tank cleaned (every other year)

**FUEL SERVICES**

- Check your gas/oil tank for odors and leaks

**PROPERTY**

- Store or cover your patio furniture
- Stock your garage with a shovel and salt
- Test your snow removal equipment

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**LIFE EXPECTANCIES OF RESIDENTIAL SYSTEMS AND COMPONENTS**

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**EXTERIOR**

**ROOF COVERING**

Fiberglass/asphalt 3-tab	16-20
Fiberglass architectural	25-35
Cedar shake/shingle	10-30
Slate	50+
Synthetic slate	NA
Metal standing/seams	50-80
Clay/concrete tiles	50-80+
Single ply modified bitumen	16-20
EPDM/TPO/PVC	20-24

*Affected by installation procedures, exposure, and regular recoating. Coverings facing south wear more quickly. Slate affected by hardness and quarry source. Cedar affected by wood quality and maintenance. Tin roofs will remain functional if recoated every 3-5 years.*

**SIDING AND VENEER**

Cement composite	50+
Vinyl	35+
Aluminum	50+
Hardboard/composite	20-30
Stucco, brick, veneers	Lifetime

*Affected by finish, exposure to sun, and maintenance. Repoint masonry as required.*

**GUTTER/DOWNSPOUT**

Aluminum	30+
Galvanized	15-25
Copper	50-80
Plastic (PVC)	15-25

*Affected by slope and maintenance.*

**DECK**

Wood	15-25
Composite materials	25-35

*Affected by moisture, climate and maintenance.*

**HVAC**

**HEATING SYSTEM**

Hot air furnace (oil/gas)	15-25
Boiler	35-50
Heat pump	10-15
Electric baseboard	15-25
In-floor radiant (electric)	15-25

*Regular service and cleaning is essential for all systems (except for radiant); critical for oil-fired systems.*

**COOLING SYSTEM**

Central split-system	10-15
Heat pump	10-15
Evaporative cooler	10-15

*Regular service and cleaning is essential.*

**OTHER COMPONENTS**

Circulator pump	20-30
Circulator fan	15-20
Fuel tank (interior)	50-80+
Fuel tank (exterior)	30-50
Expansion tank (bladder)	15-25
Humidifier	7-10

**WELL**

Submersible pump	15-20
Above ground pump	15-20
Steel pressure tank	15-25

**SEPTIC**

Steel tank	15-20
Concrete tank	30-50
Leach field	30-50

*Septic system performance and lifespan are dependent on regular and qualified maintenance; this is especially true of "engineered" on-site treatment systems. Improper use, improper parking of vehicles, and inappropriate plantings will negatively affect a septic system.*

**PLUMBING**

*Affected by water quality and quality of installation. Fixtures may require new cartridges and seals; toilets may require new internal parts.*

Water Service (Public)	
Lead	75-10
Galvanized steel	40-60
Copper	75+
Plastic	NA
Interior Water Pipes	
Galvanized steel	40-60
Copper	75+
Plastic	NA

Drainage Line	
Galvanized steel	40-60
Copper	50-75
Cast iron	60-90
ABS/PVC	30-50+

Water Heater	
Tank water heater	10-15
Tankless water heater	15-20
In-boiler domestic coil	15-20

*Tankless water heaters generally require servicing every other year.*

Fixtures	
Builder's grade	15-20
Higher quality	
Faucet, fixture	30-50
Sink, toilet, tub	Lifetime

**ELECTRICAL**

Service entrance cable	25-40
Sheathing condition affected by exposure/sun.	
Circuit breaker/fuse panel	Lifetime
Wiring (modern Romex)	Lifetime
Wiring (armored/cloth)	60-80
Wiring (knob and tube)	75-90

*Affected by use, modifications, and adjacent activity.*

**APPLIANCES**

Refrigerator	15-20
Dishwasher	7-12
Range/cooktop	12-20
Garbage disposal	7-12
Microwave oven	7-12
Washer	7-12
Dryer	10-15

**INTERIOR**

Ceramic Tile	
Mud-set, cement board	Lifetime
Mastic (adhesive)	15-25
Plaster wall/ceiling	Lifetime
Drywall wall/ceiling	Lifetime

Flooring	
Wood (solid)	Lifetime
Wood (engineered)	50+
Laminate	15-25
Sheetgoods (linoleum)	10-15
Granite/marble	100+
Carpet	7-12

**WINDOWS**

Wood	50-80+
Vinyl	25+
Aluminum/steel	35-50+

*Functionality of wood and metal windows affected by regular maintenance. Quality of vinyl products varies substantially. Insulated glass likely will require replacement.*



*In three words, I can sum up everything I've learned about life: It goes on.*  
 - Robert Frost -

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