



Home Inspection  
for  
Craig and Jennifer Sloan Wudi  
4315 Orleans Court  
Alpharetta, GA 30004



Inspected By:

**John Miller**

**Home and Stucco Inspections, Inc.**

# HOME INSPECTION REPORT

HOME AND STUCCO INSPECTIONS, INC.

Peachtree Corners, Georgia 30092  
Phone:(770)246-9448 Fax:(770)242-5979

## Brief Description of the Subject Structure

This two-story wood framed structure is a single-family residence, constructed in the year circa 2012. It has a two-car attached garage; an asphalt shingle and metal roof; brick, stone and fiber-cement cladding; and a concrete slab foundation. The front of the home faces East.

Address of Subject Property:

4315 Orleans Court  
Alpharetta, GA 30004

Copy to:

Joy Bowman

Inspected for:

Craig and Jennifer Sloan Wudi

Inspected by:

John Miller  
Home and Stucco Inspections, Inc.

Fee	\$450.00
Paid	<b>\$450.00</b>
Check #	1175
Dated	01/15/2020
Billed Date	N/A

Inspection Date	01/15/2020
Time Started	1:00 PM
Weather	Overcast
Temperature	65 degrees
Recent Weather	Rain in the last 24 hrs. – week

**Scope of Inspection:** Per your request, the subject property; i.e., the grounds, exterior surfaces visible from ground, garage, carport, structure, attic, basement, crawl space, electrical system, heating system, air conditioning system, plumbing, fireplace, built-in appliances have been visually inspected if present, and major installed systems and components are described. This report, intended to provide you with a better understanding of the condition of the property, reflects our observations and opinions at the time of the inspection and no warranty is expressed or implied. If this inspection report is received and/or used by the Client, the conditions of this Scope of Inspection are agreed to by the Client. This inspection and resultant report is conducted and prepared in accordance with the applicable laws of the State of Georgia and the Inspection Standards of the American Society of Home Inspectors. The inspector is not required to: walk on roof; activate utilities; activate systems or equipment that are shut down; report on or evaluate systems or components life expectancy, adequacy, efficiency, or cause of the need to repair; observe items or areas if concealed or not readily accessible; evaluate suitability for any specialized use or conformance to any previous or present regulatory requirements or building codes; or evaluate the present or future market value or marketability of the property. Unless specifically agreed upon and reported on, no inspection or evaluation was made concerning any environmental conditions, soil or geological conditions, recreational facilities, outbuildings, alarms, communication systems, pools, spas, irrigation systems, sewage disposal systems; the presence or absence of pests, wood destroying organisms, mold, fungi, or possible hazardous materials or conditions. **In the event that Home and Stucco Inspections, Inc. or its inspectors are found liable for any errors or omissions, the total value of all claims per subject property are limited to the amount of the inspection fee paid.**

**\*\*SUMMARY // DEFECTS PAGES \*\***

All references assume you are facing the home from the street.

**MAJOR CONCERNS**

(ITEMS THAT HAVE FAILED OR HAVE POTENTIAL OF FAILING SOON)

1. Active moisture stains were present on the siding, horizontal trim and paneling on the ceiling located below the left side of the roof above the covered patio on the back of the home (see photos). The roof flashing is torn behind the vertical trim on the right side of the chimney chase located above the left, front corner of the covered patio on the back of the home, which is allowing moisture entry under the shingles during rains (see photo). A licensed roofer should remove the shingles on the left side of the roof above the covered patio to allow for evaluation of the roof flashing, roof decking and rafters and repair as needed. An extension should also be installed on the downspout located above the left, front corner of the covered patio roof on the back of the home to help divert water away from chimney chase (see photo).
2. Active moisture stains were present on the stone cladding below the roof termination located above the right, front corner of the formal dining room (see photo). Swelling and moisture stains were also present on the wainscoting located around the outlet in the right, front corner of the formal dining room (see photo). A licensed roofer should evaluate and install counter and kick-out flashing on the exterior of the stone cladding located along the roofline above this roof termination to help prevent water from draining between the gutter and the stone cladding during rains. The inside of the gutter and downspout located above the left wall of the garage should be cleaned and this area monitored in the future during rains.
3. The shingles located at the bottom of the roof valley outside the right wall of the front, center bedroom are raised and have been sealed with roofing tar (see photo), unsealed toe board nail holes were present in the shingles above some of the gutters around the perimeter of the home (see photo for example) and several exposed nail heads were present in the upper rows of shingles on the roof located above the covered patio on the back of the home (see photo for example). A licensed roofer should evaluate and replace the damaged shingles outside the right wall of the front, center bedroom and seal all toe board nail holes and exposed nail heads in the shingles as needed to help reduce the risk of future leaks.
4. The interior sill is swollen below the left side of the upper, right window in the left wall of the family room (see photo). Please consult with the homeowner about previous moisture entry in this area. A qualified contractor should evaluate the exterior of this window and the flashing above this window and repair as needed to prevent future water entry.
5. The header flashing is damaged at the upper corners of several windows in the siding portion of the home, which is a source of water entry behind the siding during rains (see photos for examples). A qualified contractor should evaluate the flashing above all windows in the siding portion of the home and seal/replace as needed.
6. A licensed plumber or qualified contractor should correct the slow drain inside the shower stall in the master bathroom.
7. A licensed plumber or qualified contractor should secure the loose sink faucet and adjust the drain-stop inside the sink in the right, upstairs bedroom bathroom.
8. Water leaks out from the bottom of the tub faucet in the right, upstairs bedroom bathroom when the showerhead is engaged (see photo). A licensed plumber or qualified contractor should evaluate this faucet and repair as needed.
9. The thermo seal appears to have failed inside the upper piece of glass in the lower, left window in the left wall of the family room (the glass is fogged and the window is labeled). A qualified contractor should evaluate and replace as needed.

## ITEMS NOT OPERATED/OPERATING

1. Did not evaluate the security system in the home. Please consult with the homeowner about the operation.
2. A licensed electrician or qualified contractor should replace the defective light switch located on the right side of the hallway leading to the laundry room (see photo).
3. The bulb appears to be burned-out in the exterior light fixture located above the garage door and in the light fixture in the upper attic – ensure these fixtures are operable.
4. The shut-off valve on the waterline for one of the exterior water spigots was turned-off inside the cabinet below the sink in the center bathroom in the upper level of the home prior to the start of the inspection (see photo). Please consult with the homeowner about the operation of this valve.

## POTENTIAL SAFETY/HEALTH HAZARDS

1. Creosote build-up was present on the inside of the fireplace flue. The inside of this flue should be cleaned prior to use and as part of routine maintenance.
2. The inside of the dryer vent should be cleaned prior to use and as part of routine maintenance.
3. Replace the batteries in the smoke and carbon monoxide detectors on a yearly basis.
4. The smoke detector located on the ceiling in front of the pull-down stairs to the attic should be replaced with a combination smoke/carbon monoxide detector (required at the time of construction).
5. The filters inside the hvac return vents located in the ceilings of the home should be replaced prior to closing and as part of routine maintenance (i.e. every three months).
6. A licensed electrician or qualified contractor should repair the open ground at the upper outlet in the right wall of the upstairs loft/media room (labeled).

## DEFERRED COST ITEMS

ITEMS THAT HAVE REACHED OR ARE REACHING THEIR NORMAL LIFE EXPECTANCY OR SHOW INDICATIONS THAT THEY MAY REQUIRE REPAIR OR REPLACEMENT ANYTIME **WITHIN THE NEXT FIVE (5) YEARS.**

- Water Heater (8 yrs.)

## ADDITIONAL COMMENTS

1. Trim all tree limbs and bushes away from the exterior of the home and shingles as part of routine maintenance.
2. The sod/soil along the swale on the right side of the home and along the swale around the back of the home was very soft and saturated at the time of the inspection (see photos). Standing water was also present inside the left, front corner of the fence on the left side of the home at the time of the inspection (see photo). A qualified landscaping contractor should evaluate these areas to suggest the proper repair.
3. A licensed roofer should install kick-out flashing at the roof termination located above the gutter on the right and left sides of the chimney chase to prevent water from draining between the gutter and the siding during rains (see photo) – (Ref.: Mfr's installation instructions for HardiePlank Lap Siding).
4. Note: Counter flashing rather than step flashing was installed along the rooflines on the home (see photo for example).

5. Caulking is needed around the perimeter of the second floor windows on the front of the home, along the sides of the gable returns on the front of the home and along the vertical trim at all brick transitions on the home (see photos).
6. Updated caulking is needed around the venthood attached to the siding located above the rear wall of the breakfast area.
7. A qualified contractor should seal the construction gap under the soffit located below the right side of the gable on the front porch roof to help prevent future insect/rodent entry (see photo).
8. Updated paint is needed on the decorative beams located along the gables on the front of the home (see photo for example).
9. A qualified contractor should seal the cracked brick below the left side of the windows in the front, center bedroom to help prevent future moisture entry (see photo).
10. A qualified contractor should secure the displaced, lower piece of siding on the right side of the chimney chase located above the left, front corner of the roof above the covered patio on the back of the home (see photo).
11. Moisture damage was present at the vertical trim midway-down the right side of the chimney chase (see photo). A qualified contractor should evaluate and replace the damaged wood as needed.
12. The insides of the gutters, downspouts and buried downspout extensions should be cleaned to prevent gutter overflow and water accumulation along the foundation.
13. Re-install the extensions on the bottom of the downspouts on the front of the home.
14. The end cap on the gutter is damaged above the right corner of the front porch – replace as needed.
15. The a/c condensate drainlines terminate along the foundation in front of the fence on the right side of the home (see photo). Recommend installing extensions on these drainlines to help divert water away from the foundation. The insides of these drainlines should also be cleaned by a licensed hvac contractor to ensure proper waterflow.
16. Please consult with the homeowner about the buried/exposed, orange wiring running along the foundation around the rear portion of the home (see photo for example) – remove as needed.
17. Note: Several scratches were present on the inside of the glass in the front door, which is cosmetic in nature.
18. Correct the slow drain at the sink in the half bath.
19. Secure the loose knobs on the French doors in the right wall of the formal living room.
20. The ceiling fan in the family room should be balanced.
21. The door from the garage to the home binds on the frame when opened/closed – adjust as needed.
22. Caulking is needed along the corners of the tile above and along the sides of the tub in the center bathroom located in the upper level of the home.
23. Additional insulation is needed around the refrigerant return line exiting each a/c evaporator coil in the attic to prevent condensation from dripping into the furnaces during the operation of the a/c units (see photo).
24. Install the missing weather-stripping around the door to the walk-in attic located in the right wall of the upstairs loft/media room.

- 25. Re-distribute the blown-in insulation in the floor of the upper attic to provide consistent coverage which will help increase efficiency (see photo for example).
- 26. Recommend installing an insulated boot or cover above the pull-down stairs to the attic to help increase efficiency in the home.

Items listed in this report may have inadvertently been left off the Summary/Defects Page(s). Client should read the **entire** report.

## PICTURES



Active moisture stains were present on the siding, horizontal trim and paneling on the ceiling located below the left side of the roof above the covered patio on the back of the home.



Active moisture stains were present on the siding and horizontal trim on the ceiling located below the left side of the roof above the covered patio on the back of the home.



The roof flashing is torn behind the vertical trim on the right side of the chimney chase located above the left, front corner of the covered patio on the back of the home, which is allowing moisture entry under the shingles during rains.



Active moisture stains were present on the stone cladding below the roof termination located above the right, front corner of the formal dining room.



Swelling and moisture stains were present on the wainscoting located around the outlet in the right, front corner of the formal dining room.



The shingles located at the bottom of the roof valley outside the right wall of the front, center bedroom are raised and have been sealed with roofing tar.



Unsealed toe board nail holes were present in the shingles above some of the gutters around the perimeter of the home.



Several exposed nail heads were present in the upper rows of shingles on the roof located above the covered patio on the back of the home.



The interior sill is swollen below the left side of the upper, right window in the left wall of the family room (. . .)



The header flashing is damaged at the upper corners of several windows in the siding portion of the home, which is a source of water entry behind the siding during rains.



The header flashing is damaged at the upper corners of several windows in the siding portion of the home, which is a source of water entry behind the siding during rains.

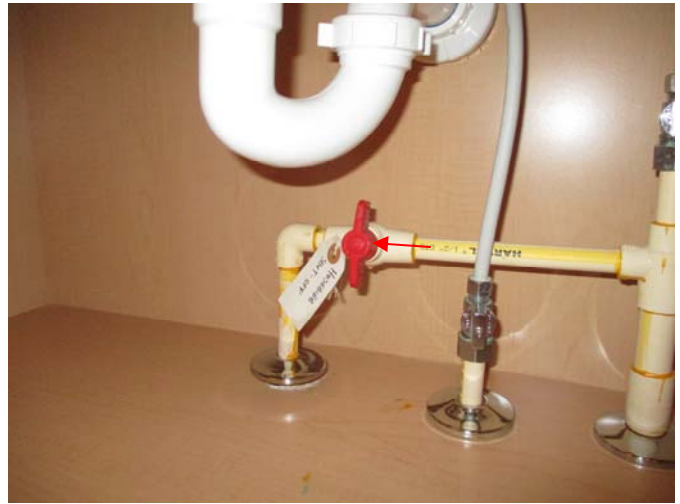


Water leaks out from the bottom of the tub faucet in the right, upstairs bedroom bathroom when the showerhead is engaged.





A licensed electrician or qualified contractor should replace the defective light switch located on the right side of the hallway leading to the laundry room.



The shut-off valve on the waterline for one of the exterior water spigots was turned-off inside the cabinet below the sink in the center bathroom in the upper level of the home prior to the start of the inspection.



The sod/soil along the swale on the right side of the home was very soft and saturated at the time of the inspection.



The sod/soil along the swale around the back of the home was very soft and saturated at the time of the inspection.



Standing water was present inside the left, front corner of the fence on the left side of the home at the time of the inspection.



A licensed roofer should install kick-out flashing at the roof termination located above the gutter on the right and left sides of the chimney chase to prevent water from draining between the gutter and the siding during rains.



Counter flashing rather than step flashing was installed along the rooflines on the home.



Caulking is needed around the perimeter of the second floor windows on the front of the home.



Caulking is needed along the sides of the gable returns on the front of the home.



Caulking is needed along the vertical trim at all brick transitions on the home.



Caulking is needed along the vertical trim at all brick transitions on the home.



A qualified contractor should seal the construction gap under the soffit located below the right side of the gable on the front porch roof to help prevent future insect/rodent entry.



Updated paint is needed on the decorative beams located along the gables on the front of the home.



A qualified contractor should seal the cracked brick below the left side of the windows in the front, center bedroom to help prevent future moisture entry.



A qualified contractor should secure the displaced, lower piece of siding on the right side of the chimney chase located above the left, front corner of the roof above the covered patio on the back of the home.



Moisture damage was present at the vertical trim midway-down the right side of the chimney chase.



The a/c condensate drainlines terminate along the foundation in front of the fence on the right side of the home.



Please consult with the homeowner about the buried/exposed, orange wiring running along the foundation around the rear portion of the home.



Additional insulation is needed around the refrigerant return line exiting each a/c evaporator coil in the attic to prevent condensation from dripping into the furnaces during the operation of the a/c units.



Re-distribute the blown-in insulation in the floor of the upper attic to provide consistent coverage which will help increase efficiency.



The shut-off valve on the main waterline is located above the left side of the water heater in the garage.

**John Miller**, Inspector  
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Registered & Certified by SBCCI, One and Two-Family Dwelling Inspector, #4741  
ICC Residential Combination Inspector #5188792-R5  
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