



Inspection Report

Bassem and Majd Elkhayat

Property Address:
580 Kearny St
Alpharetta GA 30022



Residential Inspector of America
Inspector: Todd Rymer
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Buford, GA 30519
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Date: 2/10/2020	Time: 01:00:00 PM	Report ID: 021020TR287
Property: 580 Kearny St Alpharetta GA 30022	Customer: Bassem and Majd Elkhayat	Real Estate Professional: Rebecca Nelson Keller Williams (Roswell) Mansell Rd

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5 Year Platinum Roof Leak Warranty 90 Day Structural/Mechanical Warranty

90 Day Mold Warranty 90 Day Main Sewer/Water Line Warranty

Concierge Service for Utility Set up 120 Day Radon Warranty (with test)

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IMPORTANT INFORMATION ABOUT THIS INSPECTION

RIA's home inspections are completed in accordance with the American Society of Home Inspectors Standards of Practice (ASHI), your RIA Inspection Agreement, and other RIA Terms & Conditions that are viewable by clicking [HERE](#) or by requesting an emailed copy. Please be sure that you fully read and understand these items. If an item is not listed in this report as "Inspected", then it is not part of this inspection and you should have the item further evaluated prior to your closing.

INSPECTED: The condition of the item at the time of inspection was evaluated and any necessary comments will be made in this report.

NOT INSPECTED: The item was not inspected for reasons noted in this report. If concerns exist regarding "Not Inspected" items, further evaluation is recommended.

REPAIR/REPLACE: The item is in need of repairs, replacement, further evaluation by a specialist, or is of concern to the inspector.

NOT PRESENT: The item is not present in this home.

In Attendance:

Customer and their agent, Inspector

Approximate age of building:

Over 10 Years

Temperature:

Below 60

Weather:

Cloudy, Light Rain

Inspector:

Todd Rymer

Summary



Customer

Bassem and Majd Elkhayat

Address

580 Kearny St
Alpharetta GA 30022

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This report may contain videos which can be seen by clicking the link on Page 3.

The items listed below are in need of repair, replacement, further evaluation, or are safety issues. All concerns related to items in this summary or throughout this report should be resolved prior to closing. If applicable, RIA can complete a re-inspection of completed repairs, moisture testing on stucco, mold testing, and radon gas testing. Please call our office or click [HERE](#) for more information. If LEFT and RIGHT directions are given in this summary, it is determined by facing the front of the home from the exterior.

1. Exterior

1.0 EXTERIOR SIDING

Inspected, Repair or Replace

-  (1) Lap siding on the house is the wood composite type. It is prone to absorbing moisture at core and deteriorating. This is typically most notable at the lower horizontal edges, vertical gaps and at nail heads. Most all of the wood based sidings were under a lawsuit due to a defect in the manufacturing process. Frequent paint and caulk will help extend the life of the siding.
-  (2) Seal vertical gaps between brick veneer and lap siding around the home. See example photos. This will help prevent any possible water leaks into the wall cavity behind siding.
-  (3) Seal the light fixtures to the brick veneer at front of the home to prevent water entry into the wall cavity and fixture box.

1.1 DOORS

Inspected, Repair or Replace

-  (1) Dead bolt locks on most exterior doors (~ 5 locations) are the type that uses a key to lock on the interior side of the door. This type of lock is no longer to code and is a safety concern due to emergency egress problems - lock could prohibit quick escape from house in case of a fire, etc. Resolve all concerns before closing.

- 🔧 (2) Water damage to door and door frame of the rear upper level deck door. See photos. Have damaged wood repaired/replaced.

1.2 WINDOWS

Inspected, Repair or Replace

- 🔧 Water damage found on the exterior casing and other wood trim on a few windows. This is common for a house of this type and more should be expected in the future. Have damaged wood repaired or replaced as needed. Extent of any water damage or entry into wall cavity under or around window is not visible and is not known. See photos for locations of damaged trim on windows. Contractor should evaluate window trim on house and replace all as needed.

1.3 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Inspected, Repair or Replace

- 🔧 (2) Deck stairs shown in photos have settled. Stair riser height is not equal. Use with caution/resolve any concern prior to closing. Have repaired as required.
- 🔧 (3) No metal flashing could be seen between the rear deck and the rear wall. This was not often enforced or required in older homes, but flashing makes a better seal between the deck and house. Condition of framing between deck and house is not known.
- 🔧 (5) Some deck floor boards and the tops of the deck guardrails are wearing out. See example photo. Some deck boards will require replacing in the near future.

1.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

Inspected, Repair or Replace

- 🔧 (1) The garden area formed by the front wall of the house, and the side walk from the driveway to the front landing, may prohibit quick drainage of run off water. These garden areas often are slow to drain and can cause water entry in the basement.
- 🔧 (2) Minor cracking in driveway. Patch as needed.
- 🔧 (3) Poor drainage/erosion concerns observed on both the right and left sides of the home and near the front entry. See photos. Improvements would be required to improve drainage at these locations. Consult with a landscape professional for solutions/resolve all concerns before closing.

3. Structural Components

3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Inspected, Repair or Replace

- 🔧 (1) It is highly recommended that a de-humidifier be installed in the unfinished locations of the basement to prevent high humidity, which can lead to mold growth.
- 🔧 (3) Signs of a small amount of surface type mold or suspected mold growth is present on the unfinished basement under the stairs. See photos. The underlying cause of mold problems is normally moisture or high humidity. A visual inspection cannot determine the extent of the mold problem or if any health hazards exist. Mold testing is recommended and can be completed if desired. Resolve all mold concerns prior to closing. Please click [HERE](#) for more information on mold testing.

3.1 WALLS (Structural)

Inspected, Repair or Replace

- 🔧 The small, hairline cracks in the foundation walls are not a structural concern, but should be patched to prevent any possible future leak. See example photo.

3.4 ROOF STRUCTURE AND ATTIC

Inspected, Repair or Replace

- 🔧 Open chases in the attic in the areas shown in the photos. Recommend covering the area with ply wood and insulation to prevent cold air from falling into void from the attic.

4. Roofing

4.3 GUTTERS & DOWNSPOUTS

Inspected, Repair or Replace

-  (1) Have owner point out location of the outlets of the buried down spout extensions. They should come to daylight and the ends were not all found.
-  (2) Gutter concerns observed at locations shown in the photos. Have further evaluated by a professional gutter contractor and all repairs/corrections made as required to ensure that the gutter system for the entire home is adequately functional.
-  (3) Downspout at the rear central part of the home as shown in the photo was not connected to associated underground extension. Have corrected as required to ensure this downspout is adequately moving water away from the home.

5. Insulation and Ventilation

5.0 INSULATION IN ATTIC

Inspected, Repair or Replace

-  Weather strip and insulation of some type needed over the attic pull down steps.

Insulation in the attic is missing or is less than normal in several areas. Have more added to bring levels equal to R-30.

5.3 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS

Inspected, Repair or Replace

-  Replace damaged/missing vent exhaust cover at the rear right area of the home as shown in the photo.

6. Heating / Central Air Conditioning

6.0 HEATING EQUIPMENT

Inspected, Repair or Replace

-  Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system is concealed from view, and our inspection is visual and intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct systems since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

Heating equipment generally last around 15-20 years before needing replacement. Gas furnaces for the home may need replacing in the near future due to its age (both furnaces are 1997 models). There is a newer air handler (2019 model) that services the basement.

6.5 GAS/LP FIRELOGS AND FIREPLACES

Inspected, Repair or Replace

-  Have heat resistant caulk applied around the gas pipe where it enters the fire box in the fireplace. This is needed to prevent any hot embers from entering framing behind fireplace.

6.6 COOLING AND AIR HANDLER EQUIPMENT

Inspected, Repair or Replace

-  View of a/c units outside. Outside air temps were too low to safely test the a/c units.

The a/c unit servicing the basement was covered in ice at the time of the inspection. This is indicative of functional concerns. Have further evaluated by a hvac service and have the unit repaired/replaced as required to ensure that there is fully functional a/c unit for the basement. This unit is a 2019 model and likely is under warranty - recommend replacement.

Along with servicing the heating units, hvac tech should check refrigerant levels in the a/c systems to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the systems. Units were not disassembled.

The older a/c unit uses the older R-22 type of refrigerant gas (freon) that is being phased out of production and will likely be expensive and difficult to find in the near future. The newer type of freon does not mix with the older type.

The older a/c unit for the home may need replacing in the near future due to its age. A/c units for the home include 1997 model, a 2015 model and a 2019 model.

7. Electrical System

7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Inspected, Repair or Replace

- Have all terminated wiring in the attic either professionally removed or terminations put inside a covered junction box. At least two locations observed but electrician should further evaluate and resolve all attic wiring hazards as required.

7.4 OUTLETS & LIGHT FIXTURES

Inspected, Repair or Replace

- (1) Hanging light fixture at front entry as shown in the photo could not be made to turn on at the time of the inspection. Ensure this fixture is fully functional prior to closing.
- (2) Secure loose ceiling light located at the ground floor rear right side bedroom as shown in the photo.

7.5 CONDUIT

Inspected, Repair or Replace

- Secure loose conduit for wiring under the garbage disposal as shown in the photo.

7.6 OPERATION OF GFCI & OR AFCI

Inspected, Repair or Replace

- (1) It is recommended that all unfinished basement and laundry room outlets be switched to the gfci protected type. This will make the outlets more safe and bring the wiring closer to modern standards. These were not required in older homes.
- (2) Gfci outlets shown in the photos would not trip when tested. Have replaced with working gfci outlets.
- (3) Gfci outlet at the rear exterior of the home as shown in the photo was not functional. Have replaced with a operable gfci outlet.

7.7 SMOKE DETECTORS

Inspected, Repair or Replace

- Smoke detectors can last 10 years before needing replacement. Due to their apparent age, it is recommended that all smoke detectors in the home be replaced and installed as per manufacturer's recommendations.

7.8 CARBON MONOXIDE DETECTORS

Inspected, Repair or Replace

- Carbon monoxide detectors can last 10 years before needing replacement. Due to their apparent age, it is recommended that all carbon monoxide detectors in the home be replaced and installed per manufacturer's recommendations.

8. Plumbing System

8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace

-  The purpose of the drain line type installation under the rear deck is unclear. Inquire with the owner the purpose of this installation. Depending on purpose of installation have it secured as required. Resolve any further concern prior to closing.

8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Inspected, Repair or Replace

-  Minor drip like leak associated with the plumbing fixtures shown in the photos. Have fixtures repaired or replaced.

8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

Inspected, Repair or Replace

-  Loose toilets at locations shown in the photos. Loose toilets can lead to broken wax sealing which could cause the toilet to leak. Have loose toilet secured to the floor.

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Inspected, Repair or Replace

-  The "T" fitting, (more commonly known as a drip leg or sediment traps) for the basement furnace gas line is installed horizontally. This was permitted when the home was built, however, it does not meet current standards and the gas companies requirements. Hvac tech can evaluate. Gas company may not connect gas for new owner if this is discovered.

8.7 SEWAGE EJECTOR PUMP

Inspected, Repair or Replace

-  Drain pipe under basement bar sink drains directly into a pump installation. This is not a standard practice. Typically there is a container type installation set up under the sink with an associated pump. Have further evaluated by a plumber/resolve all concerns before closing.

9. Interiors

9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Inspected, Repair or Replace

-  Recommend installing a hand rail for the stairs to the upper level.

9.5 WINDOWS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-  (1) The rear fixed window in the master bedroom as shown in the photo was fogged. The seal between the panes of glass has failed allowing moisture to enter between the panes. It is possible that more windows may fog in the future. Have window contractor evaluate all windows and replace all fogged windows as required.
-  (2) Seal between panes of glass in the rectangle shaped transum type window above the front entry has moved out of position and can be seen in between the panes of glass. Seals have not failed and windows do not appear to be fogged. Resolve any concern prior to closing.

9.8 PESTS

Inspected, Repair or Replace

-  Evidence of rodent activity in the attic. A pest control company should be consulted to determine if activity is past or present and to repair all possible entry points to the attic and to the entire home.

1. Exterior

Styles & Materials

Siding Material:

Wood Composite board
Hardcoat Stucco

Decks steps patio sidewalk etc.:

Deck with steps

Exterior Entry Doors:

Wood
Steel
Insulated glass

Driveway:

Concrete

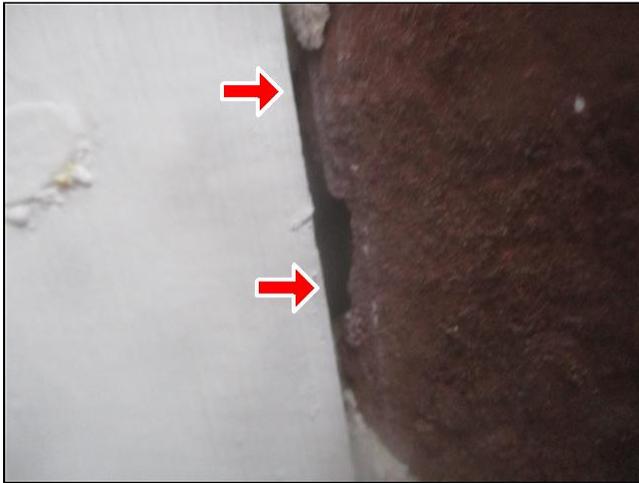
Items

1.0 EXTERIOR SIDING

Comments: Inspected, Repair or Replace

🔧 (1) Lap siding on the house is the wood composite type. It is prone to absorbing moisture at core and deteriorating. This is typically most notable at the lower horizontal edges, vertical gaps and at nail heads. Most all of the wood based sidings were under a lawsuit due to a defect in the manufacturing process. Frequent paint and caulk will help extend the life of the siding.

🔧 (2) Seal vertical gaps between brick veneer and lap siding around the home. See example photos. This will help prevent any possible water leaks into the wall cavity behind siding.



1.0 Item 1(Picture) Seal gap



1.0 Item 2(Picture) Rear left corner

🔧 (3) Seal the light fixtures to the brick veneer at front of the home to prevent water entry into the wall cavity and fixture box.



1.0 Item 3(Picture) Seal gap



1.0 Item 4(Picture)

1.1 DOORS

Comments: Inspected, Repair or Replace

🔧 (1) Dead bolt locks on most exterior doors (~ 5 locations) are the type that uses a key to lock on the interior side of the door. This type of lock is no longer to code and is a safety concern due to emergency egress problems - lock could prohibit quick escape from house in case of a fire, etc. Resolve all concerns before closing.



1.1 Item 1(Picture)

🔧 (2) Water damage to door and door frame of the rear upper level deck door. See photos. Have damaged wood repaired/replaced.



1.1 Item 2(Picture)

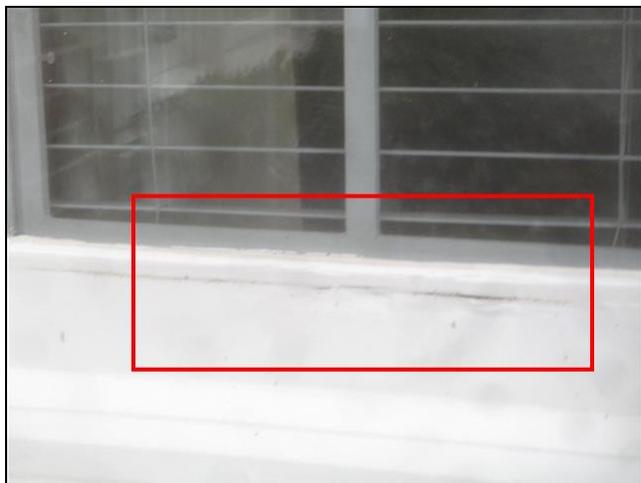


1.1 Item 3(Picture)

1.2 WINDOWS

Comments: Inspected, Repair or Replace

🔧 Water damage found on the exterior casing and other wood trim on a few windows. This is common for a house of this type and more should be expected in the future. Have damaged wood repaired or replaced as needed. Extent of any water damage or entry into wall cavity under or around window is not visible and is not known. See photos for locations of damaged trim on windows. Contractor should evaluate window trim on house and replace all as needed.



1.2 Item 1(Picture) Ground floor window to left of front entry



1.2 Item 2(Picture) Rear master bedroom

1.3 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Comments: Inspected, Repair or Replace

(1) Under side of rear deck is covered with a finish material, so the framing could not be inspected, and the attachment method and presence of flashing could not be verified.



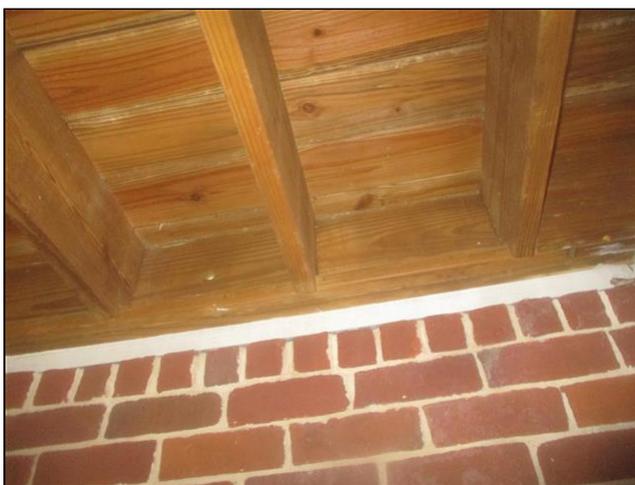
1.3 Item 1(Picture)

🔧 (2) Deck stairs shown in photos have settled. Stair riser height is not equal. Use with caution/resolve any concern prior to closing. Have repaired as required.



1.3 Item 2(Picture)

🔧 (3) No metal flashing could be seen between the rear deck and the rear wall. This was not often enforced or required in older homes, but flashing makes a better seal between the deck and house. Condition of framing between deck and house is not known.



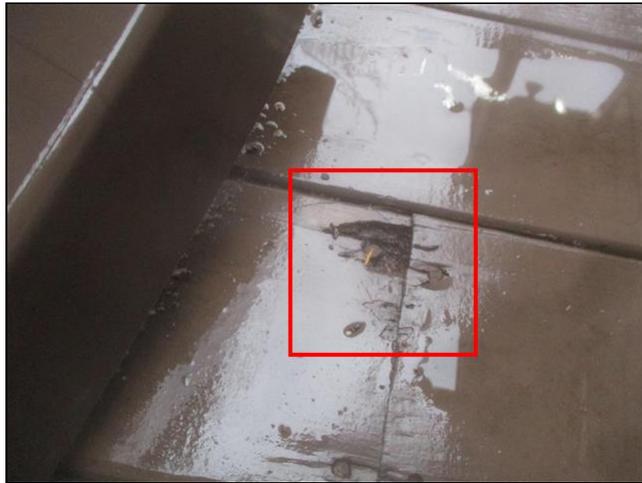
1.3 Item 3(Picture)

(4) Repair minor damage to guard rail associated with the upper level deck as shown in the photo.



1.3 Item 4(Picture)

(5) Some deck floor boards and the tops of the deck guardrails are wearing out. See example photo. Some deck boards will require replacing in the near future.



1.3 Item 5(Picture)

1.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

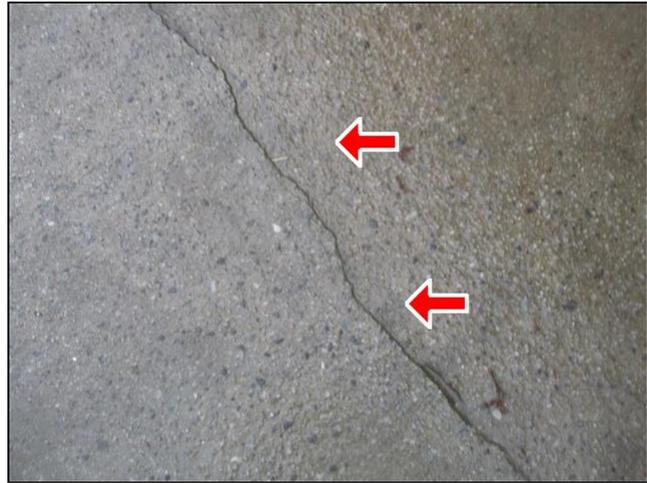
Comments: Inspected, Repair or Replace

(1) The garden area formed by the front wall of the house, and the side walk from the driveway to the front landing, may prohibit quick drainage of run off water. These garden areas often are slow to drain and can cause water entry in the basement.



1.4 Item 1(Picture)

(2) Minor cracking in driveway.
Patch as needed.



1.4 Item 2(Picture)

(3) Poor drainage/erosion concerns observed on both the right and left sides of the home and near the front entry. See photos. Improvements would be required to improve drainage at these locations. Consult with a landscape professional for solutions/resolve all concerns before closing.



1.4 Item 3(Picture) Left side



1.4 Item 4(Picture) Right side



1.4 Item 5(Picture) Ponded water near front entry

1.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected

1.6 EXTERIOR TRIM

Comments: Inspected

1.7 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK

Comments: Inspected

1.8 EXTERIOR ELEVATION PHOTOS

Comments: Inspected

These are photos of the home taken from different angles and are not intended to show any defects.



1.8 Item 1(Picture)



1.8 Item 2(Picture)



1.8 Item 3(Picture)



1.8 Item 4(Picture)

2. Garage

Styles & Materials

Garage Door Type:

Two automatic

Items

2.0 GARAGE CEILINGS

Comments: Inspected

2.1 GARAGE WALLS

Comments: Inspected

The garage inspection was limited due to stored items being in the garage at the time of the inspection.



2.1 Item 1(Picture)



2.1 Item 2(Picture)

2.2 GARAGE FLOOR

Comments: Inspected

2.3 VEHICLE DOOR(S)

Comments: Inspected

2.4 VEHICLE DOOR OPENER (s)

Comments: Inspected

2.5 OCCUPIANT DOOR FROM THE INSIDE OF THE HOME TO THE GARAGE

Comments: Inspected

3. Structural Components

Styles & Materials

Roof Structure:

2 X 6 Rafters

Foundation:

Poured in place concrete slab
Basement

Method Used to Observe Attic:

Walked

Roof-Type:

Gable

Attic info:

Pull Down stairs

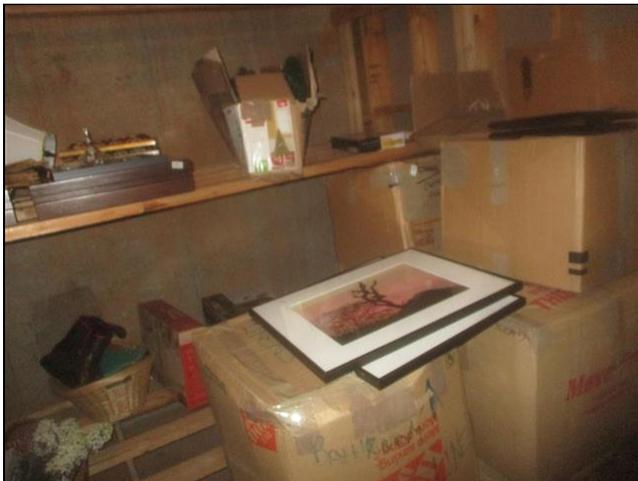
Items

3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected, Repair or Replace

(1) It is highly recommended that a de-humidifier be installed in the unfinished locations of the basement to prevent high humidity, which can lead to mold growth.

(2) Basement is mostly finished limiting visual inspection of the floor, walls and ceiling areas. Not all insulation was removed from between floor joist and along rim joist. Stored items in some locations of the unfinished basement limited visual inspection of the floor and walls.



3.0 Item 1(Picture) Stored items

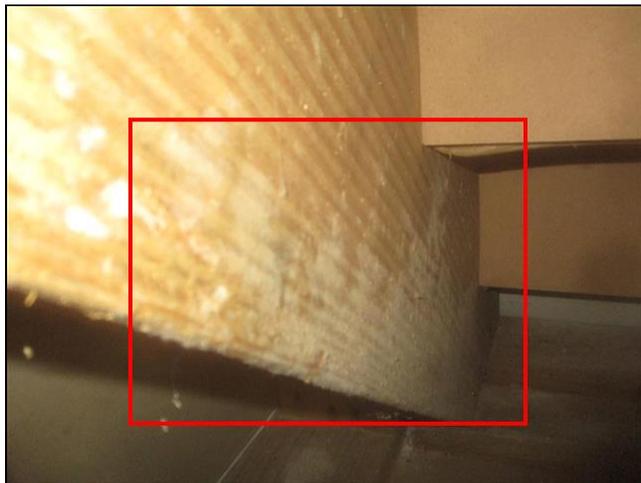


3.0 Item 2(Picture) Stored items



3.0 Item 3(Picture)

👁️ (3) Signs of a small amount of surface type mold or suspected mold growth is present on the unfinished basement under the stairs. See photos. The underlying cause of mold problems is normally moisture or high humidity. A visual inspection cannot determine the extent of the mold problem or if any health hazards exist. Mold testing is recommended and can be completed if desired. Resolve all mold concerns prior to closing. Please click [HERE](#) for more information on mold testing.



3.0 Item 4(Picture)



3.0 Item 5(Picture)



3.0 Item 6(Picture)

3.1 WALLS (Structural)

Comments: Inspected, Repair or Replace

 The small, hairline cracks in the foundation walls are not a structural concern, but should be patched to prevent any possible future leak. See example photo.



3.1 Item 1(Picture)

3.2 FLOORS (Structural)

Comments: Inspected

Cracks in concrete basement floor are not wide enough to be a structural concern and are likely due to settlement. See example photo. Have patched as needed.



3.2 Item 1(Picture)

3.3 CEILINGS (structural)

Comments: Inspected

3.4 ROOF STRUCTURE AND ATTIC

Comments: Inspected, Repair or Replace

🔧 Open chases in the attic in the areas shown in the photos. Recommend covering the area with ply wood and insulation to prevent cold air from falling into void from the attic.



3.4 Item 1(Picture) Left side attic



3.4 Item 2(Picture) Front attic

3.5 WATER ENTRY IN BASEMENT/CRAWL

Comments: Inspected

4. Roofing

Styles & Materials

Roof Covering:

4 tab architectural fiberglass shingles

Viewed Roof Covering From:

Ground

Ladder

Items

4.0 ROOF COVERINGS

Comments: Inspected

Views of roof.



4.0 Item 1(Picture)



4.0 Item 2(Picture)



4.0 Item 3(Picture)

4.1 FLASHINGS

Comments: Inspected

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

4.3 GUTTERS & DOWNSPOUTS

Comments: Inspected, Repair or Replace

🔧 (1) Have owner point out location of the outlets of the buried down spout extensions. They should come to daylight and the ends were not all found.



4.3 Item 1(Picture)



4.3 Item 2(Picture)

🔧 (2) Gutter concerns observed at locations shown in the photos. Have further evaluated by a professional gutter contractor and all repairs/corrections made as required to ensure that the gutter system for the entire home is adequately functional.



4.3 Item 3(Picture) Leaking gutter, above garage



4.3 Item 4(Picture) Leaking gutter, above right side basement egress door



4.3 Item 5(Picture) Secure all loose gutter spikes



4.3 Item 6(Picture) Standing water in gutter to the left of front entry



4.3 Item 7(Picture) Standing water in rear left area gutter system

🔧 (3) Downspout at the rear central part of the home as shown in the photo was not connected to associated underground extension. Have corrected as required to ensure this downspout is adequately moving water away from the home.



4.3 Item 8(Picture)

4.4 WATER ENTRY IN ROOF

Comments: Inspected

5. Insulation and Ventilation

Styles & Materials

Attic Insulation:

Blown
Batt

Roof Ventilation:

Ridge vents
Soffit Vents

Dryer Vent:

Not Visible

Dryer Power Source:

220 Electric

Exhaust Fans:

Fan

Items

5.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

🔧 Weather strip and insulation of some type needed over the attic pull down steps.

Insulation in the attic is missing or is less than normal in several areas. Have more added to bring levels equal to R-30.



5.0 Item 1(Picture) Insulate pull down stairs



5.0 Item 2(Picture) Recommend additional attic insulation

5.1 INSULATION BETWEEN FLOOR JOISTS IN BASEMENT OR CRAWL SPACE

Comments: Inspected

5.2 VENTILATION OF ROOF

Comments: Inspected

5.3 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS

Comments: Inspected, Repair or Replace

 Replace damaged/missing vent exhaust cover at the rear right area of the home as shown in the photo.



5.3 Item 1(Picture)

5.4 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)

Comments: Not Inspected

Radon mitigation system not included with the inspection. Functionality of system is unknown. Inquire with the owner for more information.



5.4 Item 1(Picture)

6. Heating / Central Air Conditioning

Styles & Materials

Heating Equipment Type: Forced Air Heat Pump Forced Air (also provides cool air)	Heating Equipment Age: 1997 2019	Number of Heat Systems (excluding wood): Three
Heat Temp: The main level heat read 101 degrees. The basement heat read 101 degrees. The upper level heat read 100 degrees.	Energy Source: Natural gas Electric	Ductwork: Insulated
Operable Fireplaces: One	Cooling Equipment Type: Central forced Air A/C Heat Pump Forced Air (also provides warm air)	Cooling Equipment Age: 1997 2015 2019
Number of AC Only Units: Three	A/C Temp: Temperature too cool to run the a/c unit(s)	Cooling Equipment Energy Source: Electricity
Basement HVAC: Seperate system		

Items

6.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system is concealed from view, and our inspection is visual and intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct systems since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

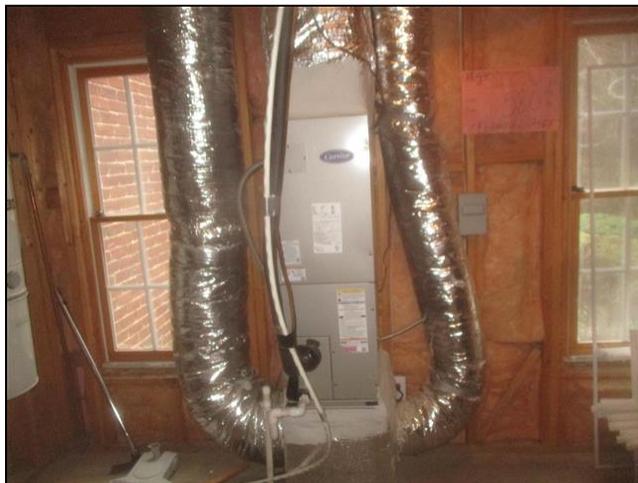
Heating equipment generally last around 15-20 years before needing replacement. Gas furnaces for the home may need replacing in the near future due to its age (both furnaces are 1997 models). The is a newer air handler (2019 model) that services the basement.



6.0 Item 1(Picture) Attic furnace



6.0 Item 2(Picture) Basement furnace



6.0 Item 3(Picture) Basement air handler

6.1 NORMAL OPERATING CONTROLS/ THEROMSTAT

Comments: Inspected

6.2 DISTRIBUTION SYSTEMS

Comments: Inspected

6.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Comments: Inspected

6.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

6.5 GAS/LP FIRELOGS AND FIREPLACES

Comments: Inspected, Repair or Replace

🔧 Have heat resistant caulk applied around the gas pipe where it enters the fire box in the fireplace. This is needed to prevent any hot embers from entering framing behind fireplace.



6.5 Item 1(Picture) Living room fireplace

6.6 COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected, Repair or Replace

📷 View of a/c units outside. Outside air temps were too low to safely test the a/c units.

The a/c unit servicing the basement was covered in ice at the time of the inspection. This is indicative of functional concerns. Have further evaluated by a hvac service and have the unit repaired/replaced as required to ensure that there is fully functional a/c unit for the basement. This unit is a 2019 model and likely is under warranty - recommend replacement.

Along with servicing the heating units, hvac tech should check refrigerant levels in the a/c systems to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the systems. Units were not disassembled.

The older a/c unit uses the older R-22 type of refrigerant gas (freon) that is being phased out of production and will likely be expensive and difficult to find in the near future. The newer type of freon does not mix with the older type.

The older a/c unit for the home may need replacing in the near future due to its age. A/c units for the home include 1997 model, a 2015 model and a 2019 model.



6.6 Item 1(Picture)



6.6 Item 2(Picture) Ice encased a/c unit

6.7 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

7. Electrical System

Styles & Materials

Panel Type: Circuit breakers	Panel capacity: 200 AMP	Wiring Methods: Romex
Main Disconnect Location: Meter	Branch wire 15 and 20 AMP: Copper	Electrical Service Conductors: Below ground

Items

7.0 SERVICE ENTRANCE CONDUCTORS & MAIN DISCONNECT BREAKER

Comments: Inspected

Main electrical disconnect location is at the exterior meter.



7.0 Item 1(Picture)

7.1 SERVICE GROUNDING

Comments: Inspected

7.2 PANEL BOX & SUB-PANEL

Comments: Inspected

View of panel and sub-panel. Panels were inspected for function (not modern code compliance). Building codes and standards have changed over the years.



7.2 Item 1(Picture) Main panel



7.2 Item 2(Picture) Sub panel

7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Comments: Inspected, Repair or Replace

🔧 Have all terminated wiring in the attic either professionally removed or terminations put inside a covered junction box. At least two locations observed but electrician should further evaluate and resolve all attic wiring hazards as required.



7.3 Item 1(Picture) Central attic



7.3 Item 2(Picture) Near attic entry

7.4 OUTLETS & LIGHT FIXTURES

Comments: Inspected, Repair or Replace

🔧 (1) Hanging light fixture at front entry as shown in the photo could not be made to turn on at the time of the inspection. Ensure this fixture is fully functional prior to closing.



7.4 Item 1(Picture)

🔧 (2) Secure loose ceiling light located at the ground floor rear right side bedroom as shown in the photo.



7.4 Item 2(Picture)

7.5 CONDUIT

Comments: Inspected, Repair or Replace

🔧 Secure loose conduit for wiring under the garbage disposal as shown in the photo.



7.5 Item 1(Picture)

7.6 OPERATION OF GFCI & OR AFCI

Comments: Inspected, Repair or Replace

🔧 (1) It is recommended that all unfinished basement and laundry room outlets be switched to the gfci protected type. This will make the outlets more safe and bring the wiring closer to modern standards. These were not required in older homes.

🔧 (2) Gfci outlets shown in the photos would not trip when tested. Have replaced with working gfci outlets.



7.6 Item 1(Picture) Exterior, near front door



7.6 Item 2(Picture) Rear deck

🔧 (3) Gfci outlet at the rear exterior of the home as shown in the photo was not functional. Have replaced with a operable gfci outlet.



7.6 Item 3(Picture)

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

🔧 Smoke detectors can last 10 years before needing replacement. Due to their apparent age, it is recommended that all smoke detectors in the home be replaced and installed as per manufacturer's recommendations.

7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected, Repair or Replace

 Carbon monoxide detectors can last 10 years before needing replacement. Due to their apparent age, it is recommended that all carbon monoxide detectors in the home be replaced and installed per manufacturer's recommendations.

8. Plumbing System

Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Not visible	Plumbing Water Distribution (inside home): Copper
Plumbing Drain Pipe: PVC	Water Heater Capacity: 50 Gallon	Water Heater Age: 2018
Water Heater Location: Basement	Water Heater Power Source: Gas	

Items

8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected, Repair or Replace

🔧 The purpose of the drain line type installation under the rear deck is unclear. Inquire with the owner the purpose of this installation. Depending on purpose of installation have it secured as required. Resolve any further concern prior to closing.



8.0 Item 1(Picture)

8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Comments: Inspected, Repair or Replace

🔧 Minor drip like leak associated with the plumbing fixtures shown in the photos. Have fixtures repaired or replaced.



8.1 Item 1(Picture) Left side exterior spigot



8.1 Item 2(Picture) Upstairs front central bath

8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

Comments: Inspected, Repair or Replace

🔧 Loose toilets at locations shown in the photos. Loose toilets can lead to broken wax sealing which could cause the toilet to leak. Have loose toilet secured to the floor.



8.2 Item 1(Picture) Basement bathroom



8.2 Item 2(Picture) Upstairs shared bathroom

8.3 WATER HEATER

Comments: Inspected

Water heaters generally last 10-12 years before needing replacement. Water heater is a 2018 model.



8.3 Item 1(Picture)

8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

Main water shut off is located in the front basement.



8.4 Item 1(Picture)

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected, Repair or Replace

🔧 The "T" fitting, (more commonly known as a drip leg or sediment traps) for the basement furnace gas line is installed horizontally. This was permitted when the home was built, however, it does not meet current standards and the gas companies requirements. Hvac tech can evaluate. Gas company may not connect gas for new owner if this is discovered.



8.5 Item 1(Picture)

8.6 MAIN FUEL GAS SHUT OFF

Comments: Inspected

Main gas shut off is at the meter.



8.6 Item 1(Picture)

8.7 SEWAGE EJECTOR PUMP

Comments: Inspected, Repair or Replace

🔧 Drain pipe under basement bar sink drains directly into a pump installation. This is not a standard practice. Typically there is a container type installation set up under the sink with an associated pump. Have further evaluated by a plumber/resolve all concerns before closing.



8.7 Item 1(Picture)

9. Interiors

Items

9.0 CEILINGS

Comments: Inspected

9.1 WALLS

Comments: Inspected

9.2 FLOORS

Comments: Inspected

9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected, Repair or Replace

🔧 Recommend installing a hand rail for the stairs to the upper level.



9.3 Item 1(Picture)

9.4 COUNTERS AND INSTALLED CABINETS (REPRESENTATIVE NUMBER)

Comments: Inspected

9.5 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

🔧 (1) The rear fixed window in the master bedroom as shown in the photo was fogged. The seal between the panes of glass has failed allowing moisture to enter between the panes. It is possible that more windows may fog in the future. Have window contractor evaluate all windows and replace all fogged windows as required.



9.5 Item 1(Picture)

🔧 (2) Seal between panes of glass in the rectangle shaped transum type window above the front entry has moved out of position and can be seen in between the panes of glass. Seals have not failed and windows do not appear to be fogged. Resolve any concern prior to closing.



9.5 Item 2(Picture)

9.6 BATHROOMS

Comments: Inspected

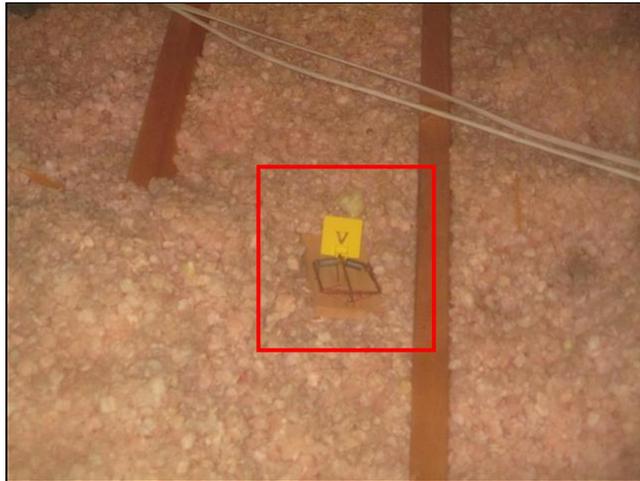
9.7 INTERIOR DOORS

Comments: Inspected

9.8 PESTS

Comments: Inspected, Repair or Replace

🔧 Evidence of rodent activity in the attic. A pest control company should be consulted to determine if activity is past or present and to repair all possible entry points to the attic and to the entire home.



9.8 Item 1(Picture) Rodent trap

10. Built-In Kitchen Appliances

The kitchen appliances were checked for basic function only.

Items

10.0 DISHWASHER

Comments: Inspected

10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected

10.2 VENT HOOD/DOWN DRAFT

Comments: Inspected

10.3 GARBAGE DISPOSAL

Comments: Inspected

10.4 MICROWAVE

Comments: Inspected

10.5 REFRIGERATOR

Comments: Inspected

10.6 ICE MAKER

Comments: Inspected

10.7 RECALLCHEK

Comments: Inspected