



Inspection Report

Benjamin & Taylor Hess

Property Address:
14080 Crabapple Lake Dr
Roswell GA 30076



Residential Inspector of America, Inc

Mike Arnold
3276 Buford Drive, Ste. 104-306
Buford, GA 30519
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Date: 2/8/2020

Property:

14080 Crabapple Lake Dr
Roswell GA 30076

Customer:

Benjamin & Taylor Hess

Real Estate Professional:

Anna Armstrong

All complete RIA home inspections come with these FREE services for home buyers:

5 Year Platinum Roof Leak Warranty

90 Day Structural/Mechanical Warranty

90 Day Mold Warranty

90 Day Main Sewer/Water Line Warranty

Concierge Service for Utility Set up

120 Day Radon Warranty (with test)

And FREE *RecallChek* on appliances for life! Click [HERE](#) to find out more.

REPORT VIDEOS

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IMPORTANT INFORMATION ABOUT THIS INSPECTION

RIA's home inspections are completed in accordance with the American Society of Home Inspectors Standards of Practice (ASHI), your RIA Inspection Agreement, and other RIA Terms & Conditions that are viewable by clicking [HERE](#) or by requesting an emailed copy. Please be sure that you fully read and understand these items. If an item is not listed in this report as "Inspected", then it is not part of this inspection and you should have the item further evaluated prior to your closing.

INSPECTED: The condition of the item at the time of inspection was evaluated and any necessary comments will be made in this report.

NOT INSPECTED: The item was not inspected for reasons noted in this report. If concerns exist regarding "Not Inspected" items, further evaluation is recommended.

REPAIR/REPLACE: The item is in need of repairs, replacement, further evaluation by a specialist, or is of concern to the inspector.

NOT PRESENT: The item is not present in this home.

In Attendance:

Customer and their agent

Approximate age of building:

Over 10 Years

Temperature:

32 Degrees

Weather:

Clear, Snow

Inspector:

Mike Arnold

Table of Contents

Cover Page.....	1
Intro Page	2
Table of Contents.....	3
Summary.....	4
1 Exterior.....	8
2 Garage	13
3 Structural Components	14
4 Roofing.....	15
5 Insulation and Ventilation	19
6 Heating / Central Air Conditioning.....	20
7 Electrical System	26
8 Plumbing System.....	29
9 Interiors	32
10 Built-In Kitchen Appliances	36

Summary

All complete RIA home inspections come with these **FREE** services to protect your investment: **5 Year Platinum Roof Leak Warranty, 90 Day Structural and Mechanical Warranty, 90 Day Mold Warranty, 90 Day Main Sewer and Water Line Warranty, 120 Radon Warranty (with test), Concierge Service, and RecallChek** on appliances for life. Click [HERE](#) to find out more. Applies to home buyers only.

RIA's home inspections are completed in accordance with the ASHI Standards of Practice, your RIA Inspection Agreement, and other RIA Terms & Conditions. Click [HERE](#) to view.

This report may contain videos which can be seen by clicking the link on Page 3.

The items listed below are in need of repair, replacement, further evaluation, or are safety issues. All concerns related to items in this summary or throughout this report should be resolved prior to closing. If applicable, RIA can complete a re-inspection of completed repairs, moisture testing on stucco, mold testing, and radon gas testing. Please call our office or click [HERE](#) for more information. If LEFT and RIGHT directions are given in this summary, it is determined by facing the front of the home from the exterior.

1. Exterior

1.0 EXTERIOR SIDING

Inspected, Repair or Replace



(1) Seal condensate drain to siding on right side of house near HVAC equipment.



(2) Most all composite wood based siding made from the early 1980's through the mid 1990's were under a lawsuit due defects in the manufacturing process. The particle board wood core is prone to absorption of moisture causing swelling and damage at the core. The lap siding on this house is that type. Frequent caulking and paint will help extend the life and is the required maintenance for this type of material. It should be expected that some of the siding will need replacement in the future. Buyer should resolve all concerns prior to closing.

1.1 DOORS

Inspected, Repair or Replace



(1) The exterior egress door that leads out of the garage on the right side of house is stuck and would not open. Damage near the top hinge is apparent as the door does not sit flush with frame. Recommend repair.



(2) Weather strip does not fit correctly around the rear deck egress door(s). Adjust or replace to prevent drafts.



(3) Recommend replacement of the deteriorated weather stripping and the garage entry into the house door.

1.3 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Inspected, Repair or Replace



(1) Several guard rails on rear deck are a little loose and need additional bracing and/or fasteners to reduce the amount of movement on the rails. See photo(s) for location(s).

1.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

Inspected, Repair or Replace



(1) Lower / move vegetation away from siding at grade level around house for termite abatement and to keep moisture retention away from siding. See photo.



(2) There are a few cracks in driveway / sidewalk with slight deflection and at or less than a 1/4 inch in width. A small amount of crumbling was observed in several places. Patch and repair as needed.

1.6 EXTERIOR TRIM

Inspected, Repair or Replace



Recommend repair of the small area of chimney trim rot. See photo for location.

2. Garage

2.4 VEHICLE DOOR OPENER (s)

Inspected, Repair or Replace



The right garage door was found non functioning upon testing. Recommend a garage door company diagnose and repair.

4. Roofing

4.0 ROOF COVERINGS

Inspected, Repair or Replace



Remove leaf debris off roof covering above the back porch. See photo.

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace



(1) Rust has developed on the cap on the top of the chimney and other metal vents atop roof. They will soon need to be replaced, but it does not appear to be leaking now. A rust inhibitive paint may salvage the caps if repaired soon.



(2) Recommend to remove satellite dish if not in use and use roof tar at fastener entry into roof decking. If kept, sealant will need to be maintained where dish attaches to the roof.

4.3 GUTTERS & DOWNSPOUTS

Inspected, Repair or Replace



(1) Gutters shown in photo(s) on the front side of house need more slope towards the down spout to ensure adequate roof drainage. They are holding water.



(3) Recommend to add extension to the downspout at the back left corner. It is best to have water draining away from house foundation and deck area.

5. Insulation and Ventilation

5.0 INSULATION IN ATTIC

Inspected, Repair or Replace



(1) Weather strip and insulation of some type needed over the attic pull down steps.



(2) Spread out insulation evenly over any voids in attic as seen in photo. The open chase is ok as it has batt insulation around the wall area.

5.3 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)

Inspected, Repair or Replace



Too cool in attic for power vent to run by the attached thermostat.

6. Heating / Central Air Conditioning

6.0 HEATING EQUIPMENT



Inspected, Repair or Replace



Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers on furnaces are not cracked and the included air handler equipment is safe to operate and functioning properly. Much of internal parts of the hvac system is concealed from view, and our inspection is mostly visual. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

6.6 COOLING AND AIR HANDLER EQUIPMENT


Inspected, Repair or Replace

-  (1) Have the condensate drain line for the a/c unit extended out and away from the home.
-  (2) After repairs, and along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency.

7. Electrical System




7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Inspected, Repair or Replace

-  Cover needed on the open junction box in the cabinet above the cook top area. Covers are used to control sparking.


7.4 OUTLETS & LIGHT FIXTURES

Inspected, Repair or Replace

-  (1) There is no power to exterior electrical outlet at one back porch receptacle. Recommend electrician diagnose and repair.
-  (2) Add missing face plate to wall outlet at the breakfast bar.
-  (3) Change out light bulb in the upstairs left hall ceiling fixture.



7.6 OPERATION OF GFCI & OR AFCI

Inspected

-  It is recommended that all exterior outlets be switched to the gfci protected type. This will make the outlets more safe and bring the wiring closer to modern standards. These were not required in older homes.


7.7 SMOKE DETECTORS

Inspected, Repair or Replace

-  (1) Smoke detectors can last 10 years before needing replacement. Most smoke detectors in this house work, but it is recommended that they be replaced.
-  (2) Replace missing smoke detector at the garage ceiling.

7.8 CARBON MONOXIDE DETECTORS




Inspected, Repair or Replace

-  No carbon monoxide detectors found in home. It is recommended that one be installed according to the manufacturer's instructions. If one is present, owner should point out location. These were not required in older homes.

8. Plumbing System


8.2 TUBS, SINKS, TOILETS & SHOWER STALLS

Inspected, Repair or Replace

-  (1) Secure the loose toilet to the floor in the main floor hall bath. Loose toilets can lead to broken wax seals between toilet and drain pipe that can leak on the floor.
-  (2) Touch up grouting needed between tile back splash and the master bath tub. Water can enter into the tile and get into wall.
-  (3) Attach plunger pull rod to stopper under sink for proper functioning at the right master sink.

8.3 WATER HEATER


Inspected, Repair or Replace

-  Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age. Unit is from 2005.

9. Interiors


9.0 CEILINGS

Inspected, Repair or Replace

-  Water stains found on ceiling from past leaks. Stains were not wet at time of inspection, but conditions could change and leaks could become active again. Exact cause of the stain is not clear and it cannot be confirmed that the leak that caused the stain has been repaired. Before stains are sealed and painted over, buyer should resolve all concerns prior to closing. See photo(s).


9.1 WALLS

Inspected, Repair or Replace

-  Drywall repair needed in the living room. Normal house settling has cause cracking at the wall transition. This is not a structural concern. See photo(s)



9.2 FLOORS

Inspected, Repair or Replace

-  There is puncture damage to wood flooring inside the master bedroom. Recommend replacement of section, or some type of fill repair.




9.4 COUNTERS AND INSTALLED CABINETS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-  (1) Several kitchen cabinet doors are a little loose and need to be tightened at the hinge.
-  (2) Recommend covering the open area at kitchen sink cabinet floor. See photo.


9.5 WINDOWS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-  (1) Replace the cracked glass at the front door atrium window. See photo.
-  (2) There is internal damage inside frame at one window at the back left bedroom. Recommend repair or replacement.
-  (3) Most house windows are hard to open. One would not open in the front left room. Have all windows open and close.

9.7 INTERIOR DOORS

Inspected, Repair or Replace

-  Adjust interior door in photo so that it will close and latch.

1. Exterior

These are photos of the home taken from different angles and are not intended to show any defects.



Styles & Materials

Siding Material:

- Cement-Fiber
- Brick veneer
- Hardboard Lap

Items

1.0 EXTERIOR SIDING

Comments: Inspected, Repair or Replace

- 🔧 (1) Seal condensate drain to siding on right side of house near HVAC equipment.

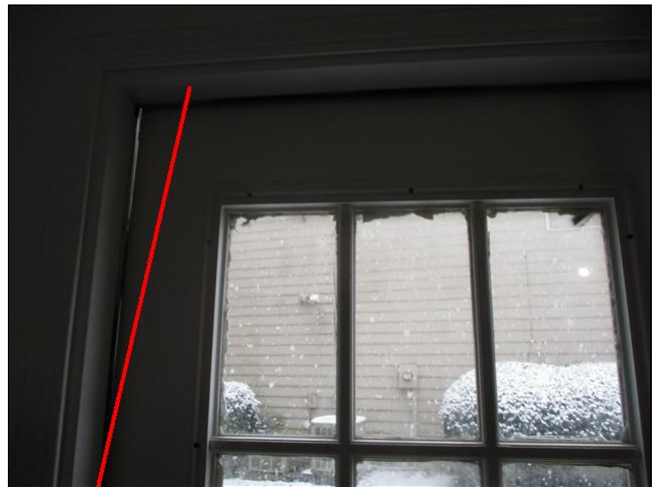
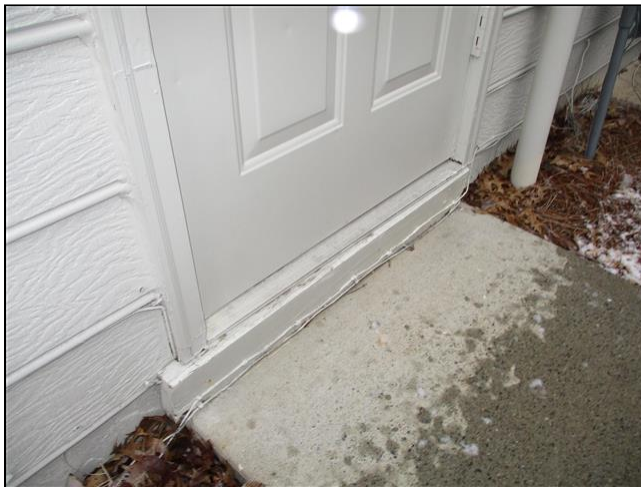


- 🔧 (2) Most all composite wood based siding made from the early 1980's through the mid 1990's were under a lawsuit due defects in the manufacturing process. The particle board wood core is prone to absorption of moisture causing swelling and damage at the core. The lap siding on this house is that type. Frequent caulking and paint will help extend the life and is the required maintenance for this type of material. It should be expected that some of the siding will need replacement in the future. Buyer should resolve all concerns prior to closing.

1.1 DOORS

Comments: Inspected, Repair or Replace

- 🔧 (1) The exterior egress door that leads out of the garage on the right side of house is stuck and would not open. Damage near the top hinge is apparent as the door does not sit flush with frame. Recommend repair.



loose threshold repair is also needed

🔧 (2) Weather strip does not fit correctly around the rear deck egress door(s). Adjust or replace to prevent drafts.



🔧 (3) Recommend replacement of the deteriorated weather stripping and the garage entry into the house door.



1.2 WINDOWS

Comments: Inspected

1.3 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS

Comments: Inspected, Repair or Replace

- 🔧 (1) Several guard rails on rear deck are a little loose and need additional bracing and/or fasteners to reduce the amount of movement on the rails. See photo(s) for location(s).



- (2) Limited visual of framing under deck due to low clearance of deck and perimeter fencing. Framing was observed from the edge.

1.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS

Comments: Inspected, Repair or Replace

- 🔧 (1) Lower / move vegetation away from siding at grade level around house for termite abatement and to keep moisture retention away from siding. See photo.



🔧 (2) There are a few cracks in driveway / sidewalk with slight deflection and at or less than a 1/4 inch in width. A small amount of crumbling was observed in several places. Patch and repair as needed.



1.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected

1.6 EXTERIOR TRIM

Comments: Inspected, Repair or Replace

🔧 Recommend repair of the small area of chimney trim rot. See photo for location.



1.7 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK

Comments: Inspected

2. Garage

Items

2.0 GARAGE CEILINGS

Comments: Inspected

2.1 GARAGE WALLS

Comments: Inspected

2.2 GARAGE FLOOR

Comments: Inspected

Cracks in garage floor are not wide enough to be considered a structural concern and are due to normal settlement and shrinkage of the concrete.



2.3 VEHICLE DOOR(s)

Comments: Inspected

2.4 VEHICLE DOOR OPENER (s)

Comments: Inspected, Repair or Replace

🔧 The right garage door was found non functioning upon testing. Recommend a garage door company diagnose and repair.



2.5 OCCUPIANT DOOR FROM THE INSIDE OF THE HOME TO THE GARAGE

Comments: Inspected

3. Structural Components

Styles & Materials

Foundation: Poured in place concrete slab	Roof Structure: 2x4 engineered wood trusses 24" on center Lateral bracing OSB Sheathing	Method Used to Observe Attic: From walk boards
Floor Structure: Slab Not visible	Wall Structure: Not visible	Ceiling Structure: Not visible

Items

3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected

3.1 WALLS (Structural)

Comments: Inspected

3.2 FLOORS (Structural)

Comments: Inspected

3.3 CEILINGS (structural)

Comments: Inspected

3.4 ROOF STRUCTURE AND ATTIC

Comments: Inspected

Views of attic framing and insulation. Attic space entered and inspected from the closest locations possible.





4. Roofing

Views of Roof:





Styles & Materials

Roof Covering:

4 tab architectural fiberglass shingles

Viewed Roof Covering From:

Ground

Binoculars

Items

4.0 ROOF COVERINGS

Comments: Inspected, Repair or Replace

🔧 Remove leaf debris off roof covering above the back porch. See photo.



4.1 FLASHINGS

Comments: Inspected

4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected, Repair or Replace

🔧 (1) Rust has developed on the cap on the top of the chimney and other metal vents atop roof. They will soon need to be replaced, but it does not appear to be leaking now. A rust inhibitive paint may salvage the caps if repaired soon.



🔧 (2) Recommend to remove satellite dish if not in use and use roof tar at fastener entry into roof decking. If kept, sealant will need to be maintained where dish attaches to the roof.



(3) Boot flashing around plumbing vents on the roof are ok now, but these last about 5-7 years before needing replacement. They crack and split and allow rain water to leak into attic. Check roof decking periodically for leaking into the inside the attic.



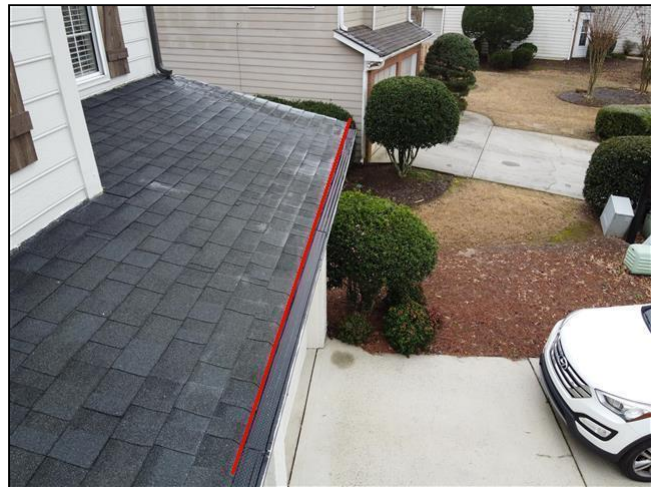
4.3 GUTTERS & DOWNSPOUTS

Comments: Inspected, Repair or Replace

- 🔧 (1) Gutters shown in photo(s) on the front side of house need more slope towards the down spout to ensure adequate roof drainage. They are holding water.



- (2) Most house gutters have guards with the exception of several on the front. Recommend to added guards to remainder.



- 🔧 (3) Recommend to add extension to the downspout at the back left corner. It is best to have water draining away from house foundation and deck area.



4.4 WATER ENTRY IN ROOF

Comments: Inspected

5. Insulation and Ventilation

Styles & Materials

Attic Insulation:

Blown
Batt
Fiberglass
R-19 or better

Roof Ventilation:

Gable vents
Soffit Vents
Passive

Items

5.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

🔧 (1) Weather strip and insulation of some type needed over the attic pull down steps.



🔧 (2) Spread out insulation evenly over any voids in attic as seen in photo. The open chase is ok as it has batt insulation around the wall area.



5.1 VENTILATION OF ROOF

Comments: Inspected

5.2 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS

Comments: Inspected

5.3 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)

Comments: Inspected, Repair or Replace

🔧 Too cool in attic for power vent to run by the attached thermostat.



6. Heating / Central Air Conditioning

Styles & Materials

Heating Equipment Type:

Forced Air
Heat Pump Forced Air (also provides cool air)

Heating Equipment Age:

2014

Heat Temp:

The main level heat read 117 degrees.
The upper level heat read 100 degrees.

Number of Heat Systems (excluding wood):

Two

Energy Source:

Natural gas
Electric

Operable Fireplaces:

One

Cooling Equipment Type:

Central forced Air A/C
Heat Pump Forced Air (also provides warm air)

Cooling Equipment Age:

2013
2015

Number of AC Only Units:

Two

A/C Temp:

Outside air temperatures were too cold to fully test the a/c.

Cooling Equipment Energy Source:

Electricity

Items

6.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

🔧 Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers on furnaces are not cracked and the included air handler equipment is safe to operate and functioning properly. Much of internal parts of the hvac system is concealed from view, and our inspection is mostly visual. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.



GOODMAN MANUFACTURING COMPANY
 5151 SAN FELIPE ST., SUITE 500
 HOUSTON, TEXAS 77056

CERTIFIED AS A FORCED AIR FURNACE CAT1
 EQUIPPED FOR USE WITH NATURAL GAS AT ALTITUDES FROM 0 TO
 INSTALLATION ONLY IN BUILDING CONSTRUCTED ON SITE
 CERTIFIE COMME UN GENERATEUR D'AIR CHAUD CIRCULATION FOR
 EQUIPE POUR USAGE AVEC LE GAZ NATUREL AUX ALTITUDES DE 0 A
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 NO. DE MODELE
 SERIAL NO. 1404297084
 NO. DE SERIE

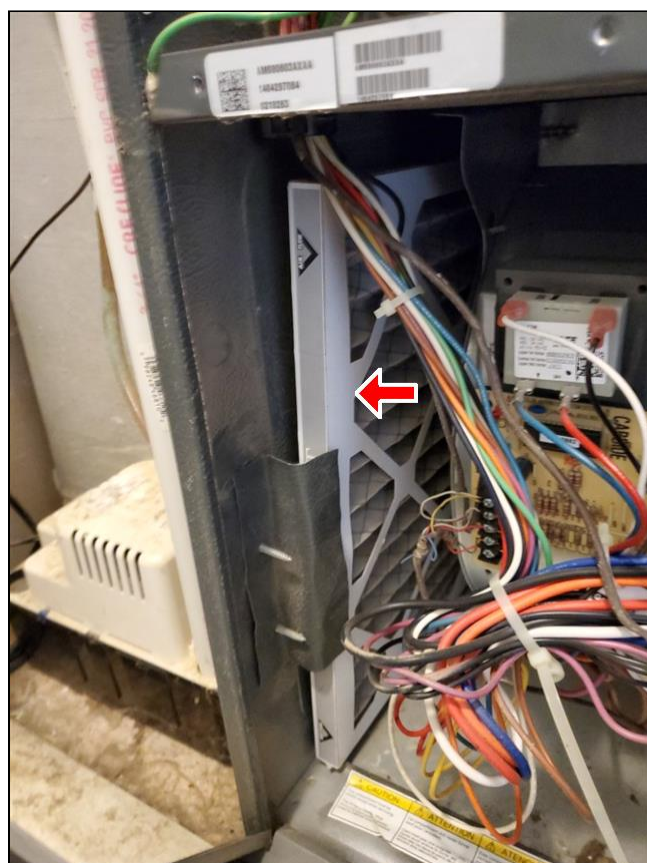
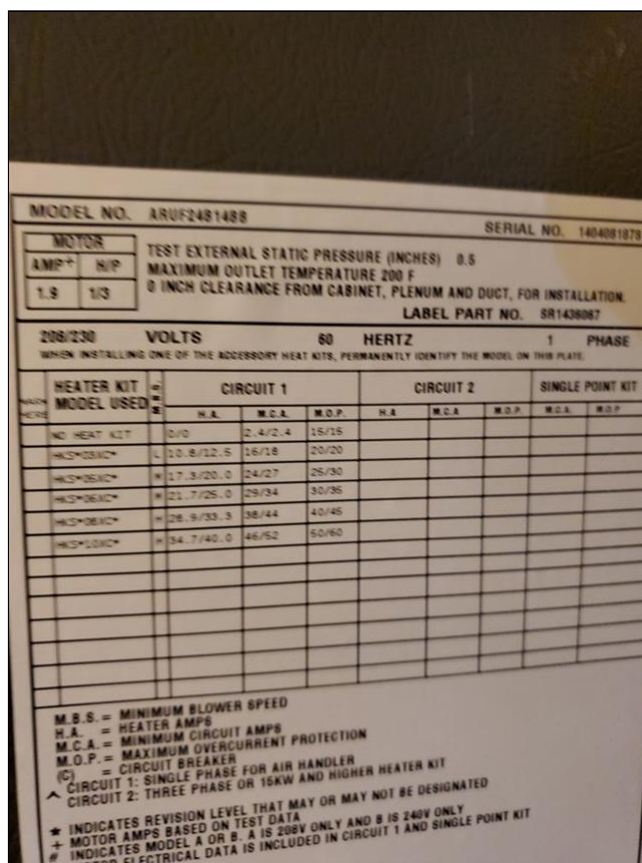
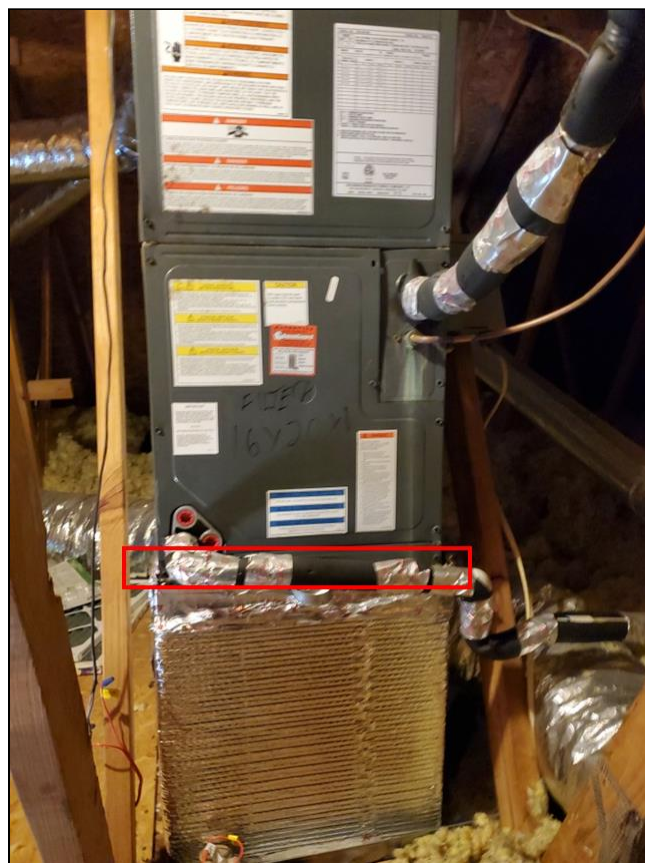
POWER SUPPLY 115 VOLTS 1 PHASE 60 HERTZ
 CARACTERISTIQUES ELECTRONIQUES

HEATING INPUT (BTU/Hr) (CHAUDE (BTU/Hr))	NAT. GAS	L.P. GAS
60,000	60,000	60,000
48,000	48,000	48,000
20-50	20-50	20-50

LESS THAN 12 AMP
 MOINS DE 12 AMP

SHOWN MAX. OUTLET TEMP. (°F) 150
 TEMPERATURE MAX. DE L'AIR A LA SORTIE
 LIMIT SET (°F) 150
 REGLAGE DE LIMITEUR
 BLOWER (IN.)
 SOUFFLEUR (PO.)





6.1 NORMAL OPERATING CONTROLS/ THEROMSTAT

Comments: Inspected

6.2 DISTRIBUTION SYSTEMS

Comments: Inspected

6.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Comments: Inspected

6.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

6.5 GAS/LP FIRELOGS AND FIREPLACES

Comments: Inspected

6.6 COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected, Repair or Replace

- 🔧 (1) Have the condensate drain line for the a/c unit extended out and away from the home.



- 🔧 (2) After repairs, and along with servicing the heating unit(s), hvac tech should check refrigerant levels in the a/c system to ensure that the systems are working at peak efficiency.



6.7 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

7. Electrical System

Styles & Materials

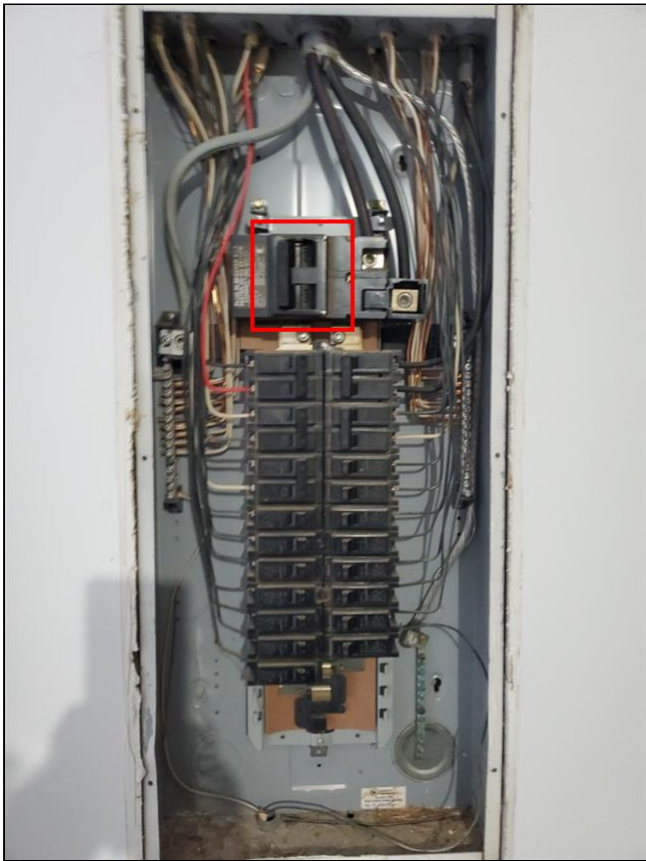
Panel Type: Circuit breakers	Panel capacity: 150 AMP	Wiring Methods: Non Metallic Sheath Cable
Main Disconnect Location: Panel Box	Branch wire 15 and 20 AMP: Copper	Electrical Service Conductors: Below ground Aluminum

Items

7.0 SERVICE ENTRANCE CONDUCTORS & MAIN DISCONNECT BREAKER

Comments: Inspected

Main electrical disconnect location.



7.1 SERVICE GROUNDING

Comments: Inspected

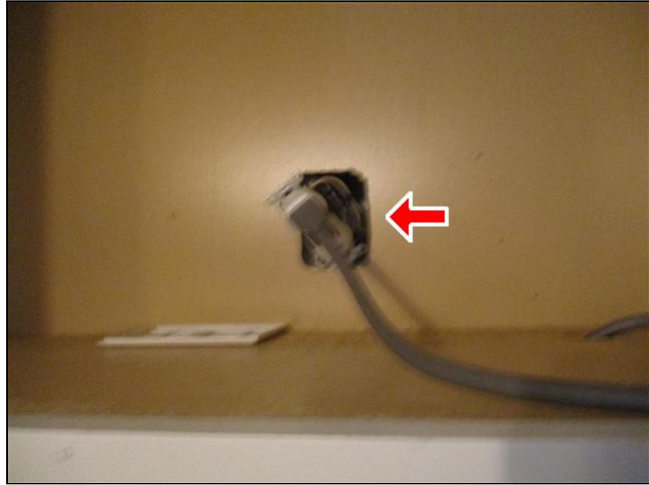
7.2 PANEL BOX & SUB-PANEL

Comments: Inspected

7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Comments: Inspected, Repair or Replace

🔧 Cover needed on the open junction box in the cabinet above the cook top area. Covers are used to control sparking.



7.4 OUTLETS & LIGHT FIXTURES

Comments: Inspected, Repair or Replace

🔧 (1) There is no power to exterior electrical outlet at one back porch receptacle. Recommend electrician diagnose and repair.



🔧 (2) Add missing face plate to wall outlet at the breakfast bar.



🔧 (3) Change out light bulb in the upstairs left hall ceiling fixture.



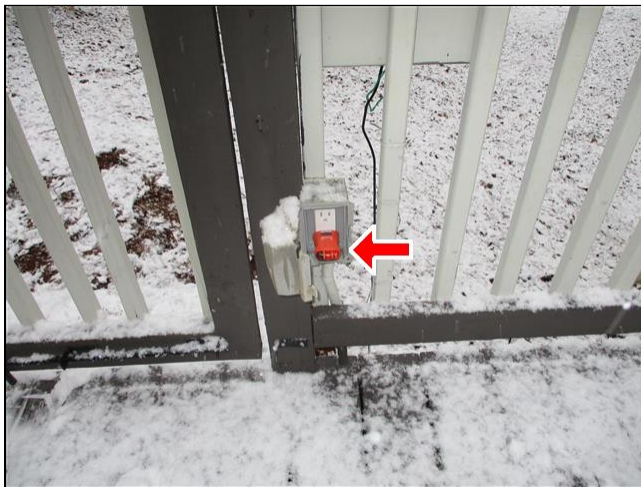
7.5 CONDUIT

Comments: Inspected

7.6 OPERATION OF GFCI & OR AFCI

Comments: Inspected

🔧 It is recommended that all exterior outlets be switched to the gfci protected type. This will make the outlets more safe and bring the wiring closer to modern standards. These were not required in older homes.



the cover on the non gfci outlet is damaged also

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

🔧 (1) Smoke detectors can last 10 years before needing replacement. Most smoke detectors in this house work, but it is recommended that they be replaced.

🔧 (2) Replace missing smoke detector at the garage ceiling.



7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected, Repair or Replace

🔧 No carbon monoxide detectors found in home. It is recommended that one be installed according to the manufacturer's instructions. If one is present, owner should point out location. These were not required in older homes.

8. Plumbing System

Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Copper Not visible	Plumbing Water Distribution (inside home): Copper
Plumbing Drain Pipe: PVC	Water Heater Capacity: 40 Gallon	Water Heater Age: 2005
Water Heater Location: Main level hall closet	Water Heater Power Source: Gas	

Items

8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

Comments: Inspected

Exterior hose bibbs are shutoff for winter and not tested.



8.2 TUBS, SINKS, TOILETS & SHOWER STALLS

Comments: Inspected, Repair or Replace

🔧 (1) Secure the loose toilet to the floor in the main floor hall bath. Loose toilets can lead to broken wax seals between toilet and drain pipe that can leak on the floor.



🔧 (2) Touch up grouting needed between tile back splash and the master bath tub. Water can enter into the tile and get into wall.



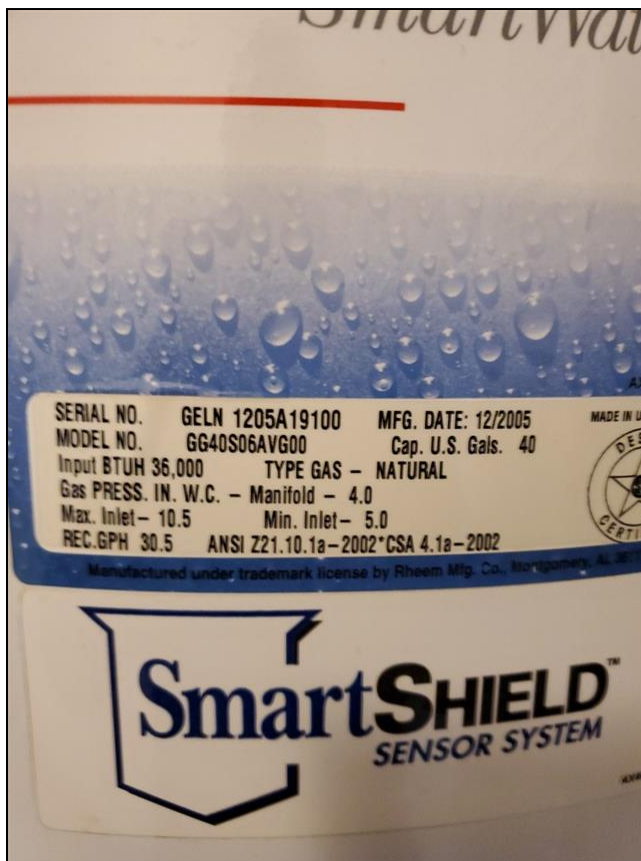
- 🔧 (3) Attach plunger pull rod to stopper under sink for proper functioning at the right master sink.



8.3 WATER HEATER

Comments: Inspected, Repair or Replace

- 🔧 Water heaters generally last about 10-12 years before needing replacement. Current water heater works and makes hot water but will likely need replacement in the near future due to its age. Unit is from 2005.



8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

The main water shut off is located by the water heater.



house water pressure is optimal

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

8.6 MAIN FUEL GAS SHUT OFF

Comments: Inspected

Main gas shut off is at the meter.



9. Interiors

Items

9.0 CEILINGS

Comments: Inspected, Repair or Replace

🔧 Water stains found on ceiling from past leaks. Stains were not wet at time of inspection, but conditions could change and leaks could become active again. Exact cause of the stain is not clear and it cannot be confirmed that the leak that caused the stain has been repaired. Before stains are sealed and painted over, buyer should resolve all concerns prior to closing. See photo(s).

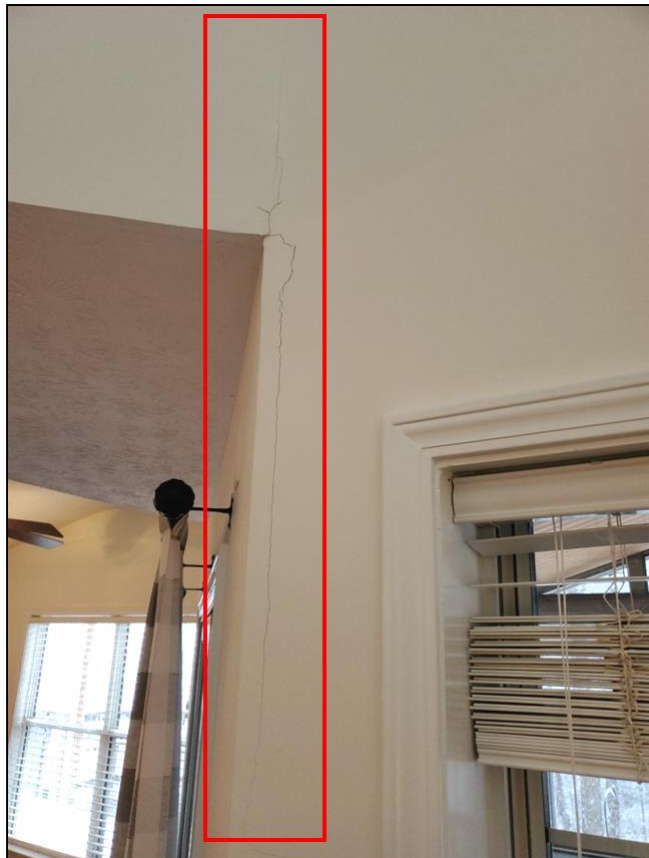


above master shower

9.1 WALLS

Comments: Inspected, Repair or Replace

🔧 Drywall repair needed in the living room. Normal house settling has cause cracking at the wall transition. This is not a structural concern. See photo(s)



9.2 FLOORS

Comments: Inspected, Repair or Replace

🔧 There is puncture damage to wood flooring inside the master bedroom. Recommend replacement of section, or some type of fill repair.



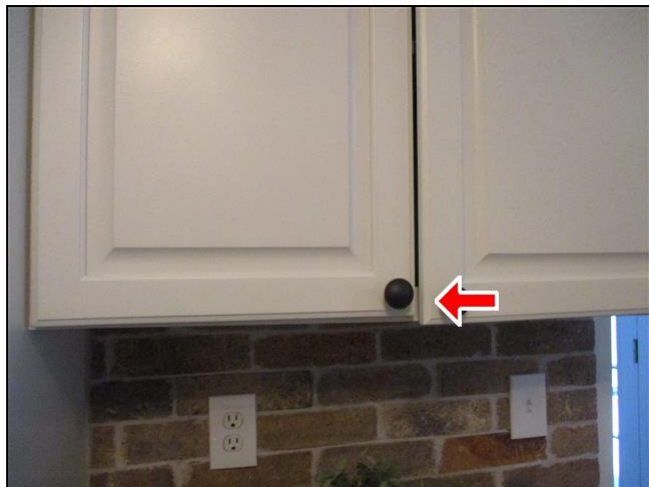
9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

9.4 COUNTERS AND INSTALLED CABINETS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

🔧 (1) Several kitchen cabinet doors are a little loose and need to be tightened at the hinge.



also one above the stove

🔧 (2) Recommend covering the open area at kitchen sink cabinet floor. See photo.



stored items will get pushed into void

9.5 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

🔧 (1) Replace the cracked glass at the front door atrium window. See photo.



🔧 (2) There is internal damage inside frame at one window at the back left bedroom. Recommend repair or replacement.



🔧 (3) Most house windows are hard to open. One would not open in the front left room. Have all windows open and close.



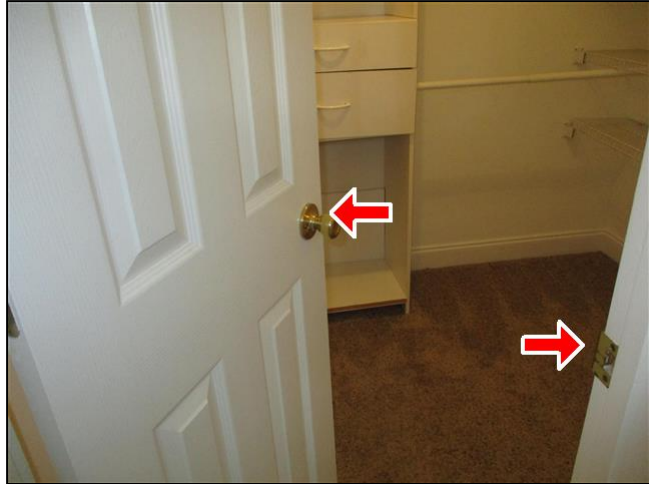
9.6 BATHROOMS

Comments: Inspected

9.7 INTERIOR DOORS

Comments: Inspected, Repair or Replace

🔧 Adjust interior door in photo so that it will close and latch.



master closet

9.8 PESTS

Comments: Inspected

10. Built-In Kitchen Appliances

The kitchen appliances were checked for basic function only.

Items

10.0 DISHWASHER

Comments: Inspected

10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected

10.2 VENT HOOD/DOWN DRAFT

Comments: Inspected

10.3 GARBAGE DISPOSAL

Comments: Inspected

10.4 MICROWAVE

Comments: Inspected