



Inspection Report

Brett Pancoast

Property Address:
520 Waterview Trail
Alpharetta GA 30022



Champia Real Estate Inspections, LLC

Alan Way
ASHI 266718
4015 Wetherburn Way
Building A, Suite 200
Peachtree Corners, GA 30092
770-655-5012
alan@champia.com

Table of Contents

[Cover Page.....1](#)
[Table of Contents.....2](#)
[Intro Page.....3](#)
[General Summary.....4](#)
[2 Grounds.....9](#)
[3 Exterior.....11](#)
[4 Attic / Roof.....16](#)
[5 Garage / Carport.....22](#)
[6 Interiors.....24](#)
[7 Kitchen.....29](#)
[8 Plumbing System.....32](#)
[9 Electrical System.....40](#)
[10 Heating / Air Conditioning.....49](#)
[11 Foundation.....58](#)
[Back Page.....60](#)

Date: 3/3/2020	Time: 09:02 AM	Report ID: 40838
Property: 520 Waterview Trail Alpharetta GA 30022	Customer: Brett Pancoast	Real Estate Professional: Sherri Godwin Atlanta Communities (Atlanta) InTown Peachtree Rd

All completed Champia Real Estate Inspections come with the following [FREE](#) services:

- 5 year Platinum Roof Leak Warranty
- 90 Day Structure/Mechanical Warranty
- 90 Day Mold Warranty
- 90 Day Main Sewer/Water Line Warranty
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- Concierge Service for Utility Set up
- RecallChek on appliances for life!

Additionally, this home now qualifies for purchase of our 18 month Home Warranty priced at the typical 12 month home warranty price. Champia Real Estate Inspections is providing you with 6 additional months of warranty for free. That's 18 months of coverage for the price of 12 months. This warranty is backed by RWA, a national warranty provider. Click [HERE](#) for more details.

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Attention required (AR) = The item, component or unit is not functioning as intended, missing or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Standards of Practice:

ASHI American Society of Home Inspectors

In Attendance:

Customer and their agent

Type of building:

Single Family (2 story)

Temperature:

Below 60 (F) = 15.5 (C)

Weather:

Cloudy, Light Rain

General Summary



CHAMPIA
REAL ESTATE INSPECTIONS

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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

2. Grounds

2.2 DECKS, SUN ROOM

Attention required

(1) **Handrail is not graspable at deck stairs** (see pictures for examples). NOTE: Handrails should be graspable per current construction standards. Recommend a qualified contractor assess condition of all stair handrails and make repairs as needed.

(2) Missing flashing noted between siding and first deck board at rear deck. Monitor and make repairs as needed.

3. Exterior

3.1 WALL CLADDING

Attention required

(1) **Masonry veneer was not installed per the specifications of the masonry veneer manufacturing association.** See their information at the link below.

<http://ncma-br.org/pdfs/masterlibrary/MVMA%20Installation%20Guide%205th%20Edition%201st%20Printing.pdf>

(2) **Contact of cladding with roof noted.** NOTE: A distance of at least 1" to 2" is recommended between cladding and roof to avoid moisture damage. Recommend that a qualified contractor assess siding at roof and make repair as needed.

(3) **Damage noted at cladding boards.** See pictures for examples. NOTE: Damage to siding material or finish could allow pest or moisture entry into wall. Recommend a qualified siding contractor assess all of the siding and make repairs needed.

3.3 SOFFITS AND FASCIAS

Attention required

Damage/decay noted at numerous facias and/or soffits. Recommend that a qualified contractor assess damage and make repairs as needed.

3.4 DOORS (exterior)

Attention required

Rot present on door and/or frame. (See pictures for examples) Recommend a qualified contractor assess all doors for similar damage and make repairs as needed.

3.5 WINDOWS (exterior)

Attention required

(1) **Missing screens noted.** Recommend that screens be replaced.

(2) **Window frame and/or sashes are damaged.** (See pictures for examples) Recommend a qualified contractor assess all windows for similar damage and make repairs as needed.

4. Attic / Roof

4.1 ROOF COVERINGS

Attention required

Signs of shingle damage (slipped shingle above garage) was noted on roof. (See pictures for examples) Recommend a qualified roofing contractor assess all of the roof for similar damage and make repairs as needed to prevent moisture entry into home.

4.3 ROOF DRAINAGE SYSTEMS

Attention required

Gutter is not secure to roof. Recommend a qualified contractor assess gutter and make repairs as needed

4.5 ATTIC ACCESS

Attention required

Hollow core attic door to attic. This door is not a thermal barrier to attic. Recommend a qualified contractor assess door and make repairs as needed to improve thermal envelope.

4.7 INSULATION IN ATTIC

Attention required

Missing/thin insulation noted in the attic. (Especially at tray ceiling). Also note that there is partial boards across floor of attic. Do not step on these boards. They will not support your weight. NOTE: 13" of blown-in fiberglass are recommended (can vary by manufacturer) to achieve R30 ceiling insulation. Recommend to amend as necessary to improve thermal envelope.

4.9 ANIMAL AND INSECT ACTIVITY IN THE ATTIC

Attention required

Signs of animal or insect activity noted in the attic (droppings, tracks, traps, tracks). Recommend to consult with a qualified pest and wildlife exclusion contractor.

5. Garage / Carport

5.5 GARAGE DOOR OPERATION (report whether or not doors will reverse when met with resistance)

Attention required

Garage door did not reverse when met with resistance. (See pictures for locations) Recommend a qualified garage door contractor adjust door opener to reverse per manufacturers recommendations to prevent injury or possible damage to door or property.

6. Interiors

6.4 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Attention required

Handrails are not continuous. . NOTE: Currently accepted construction standards recommend that handrails should be continuous so that ones hand should never leave the handrail while climbing the stairs. The stair rail should also return to the wall to reduce possibility of clothing being caught on handrail. See pictures for examples. Recommend that all stair rails are assessed by a qualified contractor for these conditions and repairs be made as needed.

6.5 DOORS (representative number)

Attention required

Door is not latching or locking when closed. Adjust as necessary.

6.6 WINDOWS (representative number)

Attention required

Hardware missing or damaged. Monitor and repair as needed

6.7 FIREPLACES (heating devices, flues, vents)

Attention required

Second-floor gas fireplace in master bedroom did not light at time of inspection. Recommend a qualified contractor assess gas fireplace and make repairs as needed.

7. Kitchen

7.5 FOOD WASTE DISPOSAL

Attention required

Excessive noise and vibration noted in disposal under kitchen sink. Recommend a qualified contractor assess disposal and make repairs as needed.

7.8 COUNTER TOPS

Attention required

Gaps noted at counter. Seal/repair as necessary to avoid moisture entry.

8. Plumbing System

8.4 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Attention required

Main septic pipe drain is exposed in front of house. Recommend pipe be protected from frost.

8.6 BATHROOMS

Attention required

- (1) Corrugated pipe noted. drain. NOTE: Drain pipes should be constructed from smooth materials. Recommend replacement.
- (2) Cracked grout noted at master bathroom shower walls. Recommend to install an approved flexible sealant to prevent moisture entry.
- (3) Spa tub is operational. Pump is protected electrically by GFCI in toilet area. Could not locate a ground lug on pump possibly because outer housing is plastic.

9. Electrical System**9.2 SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS****Attention required**

- (1) Electrical panels located in basement.
- (2) 200 amp Square D Electrical panel located in basement.

Improper wiring noted with two neutral wires observed under one terminal screw in bus bar. NOTE: Currently accepted construction practices recommends that only one neutral wire per terminal screw at bus bar to ensure circuit can be isolated to work on and to prevent overheating at terminal due to loose connection. Recommend a qualified electrical contractor estimate and make repairs as needed.

- (3) Square D 125 amp electrical electrical subpanel.

9.4 CONNECTED DEVICES AND FIXTURES (observed from a representative number of ceiling fans, lighting fixtures and switches)**Attention required**

Missing sealant between light fixture and wall. Recommend light fixture base be sealed to wall to prevent moisture from entering into wall.

9.6 GFCI (Ground Fault Circuit Interrupters)**Attention required**

Ground Fault Circuit Interrupt (GFCI) outlet, breaker, or switch did not trip with test device it did trip with test button. Recommend that a licensed electrician assess condition of all GFCI devices and make repairs as needed. NOTE: GFCI devices are installed where electrical circuits may accidentally come into contact with water. Currently accepted construction practices recommend that GFCI devices be located at the exterior of home, kitchens, bathrooms, spa tubs, laundry rooms, and garages.

11. Foundation**11.1 WALLS****Attention required**

Crack was noted in the Foundation wall (No matching crack was found on interior surfaces.) Moisture penetration was noted at time of inspection. See picture for example. Recommend that a qualified foundation repair contractor assess foundation and make repair as needed

Home inspectors are not required to report on the following: Life expectancy of any component or system; the causes of the need for a repair; the methods, materials, and costs of corrections; The suitability of the property for any specialized use; compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; the market value of the property or its marketability; the advisability or inadvisability of purchase of the property; any component or system that was not observed; the presence or absence of pests such as wood damaging organisms, rodents, or insects; or cosmetic items, underground items, or items not permanently installed. **Home inspectors are not required to:** Offer warranties or guarantees of any kind; calculate the strength, adequacy, or efficiency of any system or component; enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; operate any system or component that is shut down or otherwise inoperable; operate any system or component

that does not respond to normal operating controls; disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to: mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; determine the effectiveness of any system installed to control or remove suspected hazardous substances; predict future condition, including but not limited to failure of components. Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Alan Way

2. Grounds

Orientation: Description of exterior locations from facing front.

Styles & Materials

Attached features:

- Deck with steps
- Walkway
- Driveway
- Covered porch

Driveway:

Concrete

Walkways:

Concrete

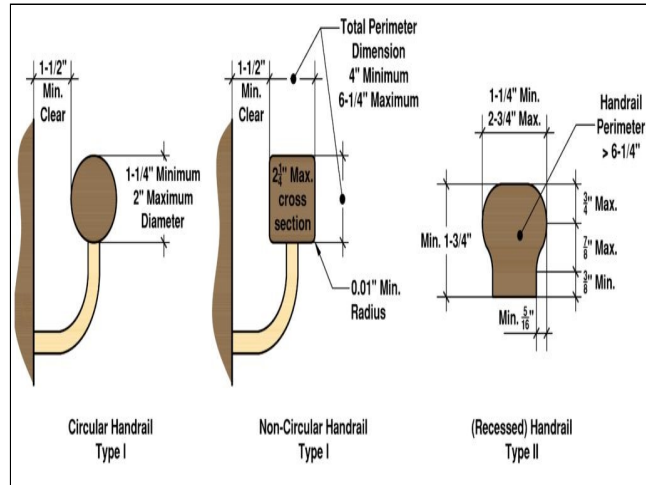
		IN	NI	NP	AR
2.1	STOOPS, STEPS, AREAWAYS, PORCHES	•			
2.2	DECKS, SUN ROOM				•
2.3	VEGETATION (with respect to their effect on the condition of the building)	•			
2.4	DRIVEWAY, WALKWAYS, PATIOS	•			
2.5	GRADING, DRAINING (with respect to their effect on the condition of the building)	•			
2.6	RETAINING WALLS	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

Comments:

2.2 (1) **Handrail is not graspable at deck stairs** (see pictures for examples). NOTE: Handrails should be graspable per current construction standards. Recommend a qualified contractor assess condition of all stair handrails and make repairs as needed.



2.2

2.2

2.2 (2) Missing flashing noted between siding and first deck board at rear deck. Monitor and make repairs as needed.



2.2

GROUNDS

The inspector shall inspect: Attached and adjacent decks, balconies, stoops, steps, porches, and their associated flashings and railings. Vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. Adjacent and entryway walkways, patios and driveways. **The inspector is NOT required to inspect:** Fences, boundary walls, and similar structures. Geological and soil conditions. Recreational facilities. Seawalls, break-walls, and docks. Erosion control and earth stabilization measures.

3. Exterior

Orientation: Description of exterior locations from facing front.

Styles & Materials

Siding material:

- Fiber composite
- Adhered stone veneer
- Stucco Hardcoat

Exterior entry doors:

Steel

Trim soffit facia:

Wood

		IN	NI	NP	AR
3.1	WALL CLADDING				•
3.2	FLASHING AND TRIM	•			
3.3	SOFFITS AND FASCIAS				•
3.4	DOORS (exterior)				•
3.5	WINDOWS (exterior)				•
3.6	VENTS	•			

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IN NI NP AR

Comments:

3.1 (1) Masonry veneer was not installed per the specifications of the masonry veneer manufacturing association.

See their information at the link below.

<http://ncma-br.org/pdfs/masterlibrary/MVMA%20Installation%20Guide%205th%20Edition%201st%20Printing.pdf>



3.1

3.1 (2) **Contact of cladding with roof noted.** NOTE: A distance of at least 1" to 2" is recommended between cladding and roof to avoid moisture damage. Recommend that a qualified contractor assess siding at roof and make repair as needed.



3.1

3.1

3.1 (3) **Damage noted at cladding boards.** See pictures for examples. NOTE: Damage to siding material or finish could allow pest or moisture entry into wall. Recommend a qualified siding contractor assess all of the siding and make repairs needed.



3.1 Above front porch

3.3 **Damage/decay noted at numerous facias and/or soffits.** Recommend that a qualified contractor assess damage and make repairs as needed.



3.3

3.4 **Rot present on door and/or frame.** (See pictures for examples) Recommend a qualified contractor assess all doors for similar damage and make repairs as needed.



3.4 Basement door at rear of home

3.5 (1) **Missing screens noted.** Recommend that screens be replaced.



3.5

3.5 (2) **Window frame and/or sashes are damaged.** (See pictures for examples) Recommend a qualified contractor assess all windows for similar damage and make repairs as needed.



3.5

EXTERIOR

The inspector shall inspect: Wall coverings, flashing, and trim, exterior doors, eaves, soffits, and fascias where accessible from the ground level. **The inspector shall describe:** Wall coverings. **The inspector is NOT required to inspect:** Screening, shutters, awnings, and similar seasonal accessories. Outbuildings other than garages and carports.

4. Attic / Roof

Orientation: Description of roof locations from facing front.

Styles & Materials

Roof covering: Architectural	Viewed roof covering from: Ground Binoculars	Method used to observe attic: Walked
Attic info: Stairs	Roof structure: Stick-built rafters	Roof decking: OSB sheathing

		IN	NI	NP	AR
4.1	ROOF COVERINGS				•
4.2	FLASHINGS	•			
4.3	ROOF DRAINAGE SYSTEMS				•
4.4	SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS	•			
4.5	ATTIC ACCESS				•
4.6	ROOF STRUCTURE AND ATTIC	•			
4.7	INSULATION IN ATTIC				•
4.8	VENTILATION OF ATTIC	•			
4.9	ANIMAL AND INSECT ACTIVITY IN THE ATTIC				•

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

Comments:

4.1 Signs of shingle damage (slipped shingle above garage) was noted on roof. (See pictures for examples)

Recommend a qualified roofing contractor assess all of the roof for similar damage and make repairs as needed to prevent moisture entry into home.



4.1

4.3 Gutter is not secure to roof. Recommend a qualified contractor assess gutter and make repairs as needed



4.3

4.5 Hollow core attic door to attic. This door is not a thermal barrier to attic. Recommend a qualified contractor assess door and make repairs as needed to improve thermal envelope.



4.5

4.7 Missing/thin insulation noted in the attic. (Especially at tray ceiling). Also note that there is partial boards across floor of attic. Do not step on these boards. They will not support your weight. NOTE: 13" of blown-in fiberglass are recommended (can vary by manufacturer) to achieve R30 ceiling insulation. Recommend to amend as necessary to improve thermal envelope.



4.7

4.7

4.9 Signs of animal or insect activity noted in the attic (droppings, tracks, traps, tracks). Recommend to consult with a qualified pest and wildlife exclusion contractor.



4.9

ROOF / ATTIC

The inspector shall inspect: Roofing materials, roof drainage systems. Flashing, skylights, chimneys and roof penetrations. Insulation and ventilation of attics. **The inspector shall describe:** Methods used to inspect the roofing. Roofing materials, insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. **The inspector is NOT required to disturb insulation. The inspector is NOT required to inspect:** Antennae, interiors of vent systems. Flues and chimneys that are not readily accessible. Other installed accessories. **The inspector is NOT required to traverse:** Attic load-bearing components that are concealed by insulation or by other materials.

5. Garage / Carport

Orientation: Description of garage locations from facing garage entry.

Styles & Materials

Garage door type:

Two automatic

		IN	NI	NP	AR
5.0	OCCUPANT DOOR FROM GARAGE TO INSIDE HOME	•			
5.1	GARAGE CEILINGS	•			
5.2	GARAGE WALLS	•			
5.3	GARAGE FLOOR	•			
5.4	GARAGE DOORS	•			
5.5	GARAGE DOOR OPERATION (report whether or not doors will reverse when met with resistance)				•
5.6	FIRE SAFETY	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

Comments:

5.5 Garage door did not reverse when met with resistance. (See pictures for locations) Recommend a qualified garage door contractor adjust door opener to reverse per manufacturers recommendations to prevent injury or possible damage to door or property.



5.5

GARAGE

The inspector shall inspect: Garage vehicle doors and garage vehicle door operators.

6. Interiors

Orientation: Description of interior locations from facing entry from front or specific room entry.

Styles & Materials

Ceiling materials:

Gypsum Board

Wall material:

Gypsum Board
Tile

Floor covering(s):

Carpet
Hardwood T&G
Tile

Window types:

Wood
Double-hung

Types of fireplaces:

Gas/LP logs vented

Operable fireplaces:

Two

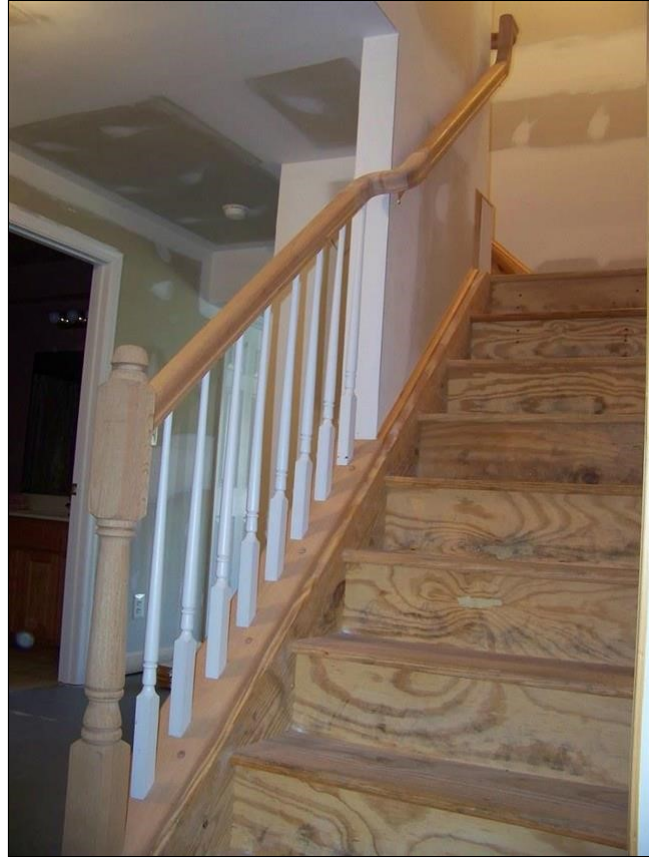
		IN	NI	NP	AR
6.1	CEILINGS	•			
6.2	WALLS	•			
6.3	FLOORS	•			
6.4	STEPS, STAIRWAYS, BALCONIES AND RAILINGS				•
6.5	DOORS (representative number)				•
6.6	WINDOWS (representative number)				•
6.7	FIREPLACES (heating devices, flues, vents)				•

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

Comments:

6.4 Handrails are not continuous. . NOTE: Currently accepted construction standards recommend that handrails should be continuous so that ones hand should never leave the handrail while climbing the stairs. The stair rail should also return to the wall to reduce possibility of clothing being caught on handrail. See pictures for examples. Recommend that all stair rails are assessed by a qualified contractor for these conditions and repairs be made as needed.



6.4

6.4 Example

6.5 Door is not latching or locking when closed. Adjust as necessary.



6.5 Kitchen pantry

6.6 Hardware missing or damaged. Monitor and repair as needed



6.6 Second floor right rear corner bedroom

6.7 Second-floor gas fireplace in master bedroom did not light at time of inspection. Recommend a qualified contractor assess gas fireplace and make repairs as needed.



6.7

INTERIORS

The inspector shall inspect: Walls, ceilings, and floors, steps, stairways, and railings. A representative number of installed cabinets, a representative number of doors and windows. Fuel-burning fireplaces, stoves, and fireplace inserts, fuel-burning accessories installed in fireplaces, chimneys and vent systems. **The inspector is NOT required to describe:** Systems and components of fuel-burning fireplaces. **The inspector is NOT required to inspect:** Paint, wallpaper, and other finish treatments, floor coverings, window treatments, coatings. Hermetic seals between panes of window glass, central vacuum systems, recreational facilities. Inspect interiors of fireplace vent systems, flues, and chimneys that are not readily accessible, fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and fireplace surrounds, combustion air components and to determine their adequacy. Heat distribution assists (gravity fed and fan assisted), fuel-burning fireplaces and appliances located outside the inspected structures. **The inspector is NOT required to determine:** Draft characteristics of fireplaces. **The inspector is NOT required to move:** Furniture, appliances, fireplace inserts, stoves or firebox contents.

7. Kitchen

Orientation: Description of kitchen locations from facing front or particular appliance/feature.

Styles & Materials

Cabinetry:

Wood

Countertops:

Granite

		IN	NI	NP	AR
7.1	DISHWASHER	•			
7.2	FAUCETS, DRAINS	•			
7.3	RANGES, OVENS, COOKTOPS	•			
7.4	VENTILATION	•			
7.5	FOOD WASTE DISPOSAL				•
7.6	MICROWAVE COOKING EQUIPMENT	•			
7.7	CABINETS	•			
7.8	COUNTER TOPS				•

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

Comments:

7.5 Excessive noise and vibration noted in disposal under kitchen sink. Recommend a qualified contractor assess disposal and make repairs as needed.



7.5

7.8 Gaps noted at counter. Seal/repair as necessary to avoid moisture entry.



7.8



7.8



7.8

KITCHEN

The inspector shall inspect: Installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. Kitchen exhaust systems. **The inspector is NOT required to inspect:** Installed and free-standing kitchen appliances not listed previously. Appliance thermostats including their calibration, adequacy of heating elements, self-cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. **The inspector is NOT required to operate, or confirm the operation:** Of every control and feature of an inspected appliance.

8. Plumbing System

Orientation: Description of interior locations from facing front or specific room entry; as practical.

Styles & Materials

<p>Natural gas shut-off location: Left</p>	<p>Main water shut-off location: Basement, front</p>	<p>Plumbing water supply (into home): CPVC</p>
<p>Plumbing water distribution (inside home): CPVC</p>	<p>Plumbing waste drain materials: PVC</p>	<p>Water heater power source: Gas (quick recovery)</p>
<p>Water heater capacity: 50 gallon</p>	<p>Water heater brand: STATE</p>	<p>Water heater location: Basement</p>
<p>Water heater age: New, current year</p>		

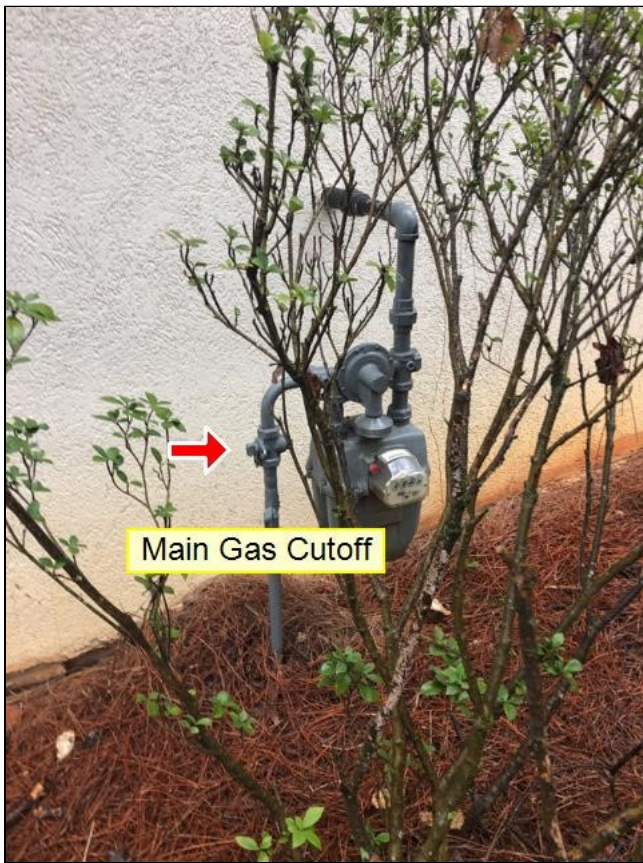
		IN	NI	NP	AR
8.1	FUEL DISTRIBUTION SYSTEM	•			
8.2	PLUMBING WATER SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES	•			
8.3	HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS	•			
8.4	PLUMBING DRAIN, WASTE AND VENT SYSTEMS				•
8.5	LAUNDRY	•			
8.6	BATHROOMS				•
8.7	BATHROOM CABINETS	•			
8.8	BATHROOM VENTS	•			
8.9	EJECTOR / SUMP PUMPS	•			

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IN NI NP AR

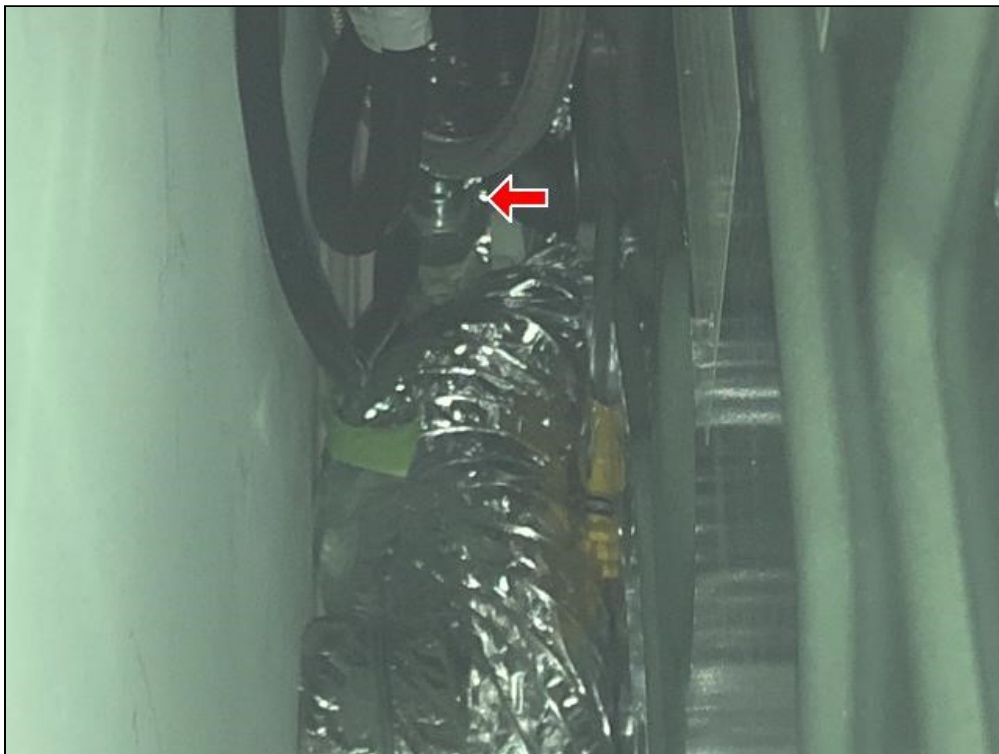
Comments:

8.1 (1) Gas Main Shutoff locate on left side of house.



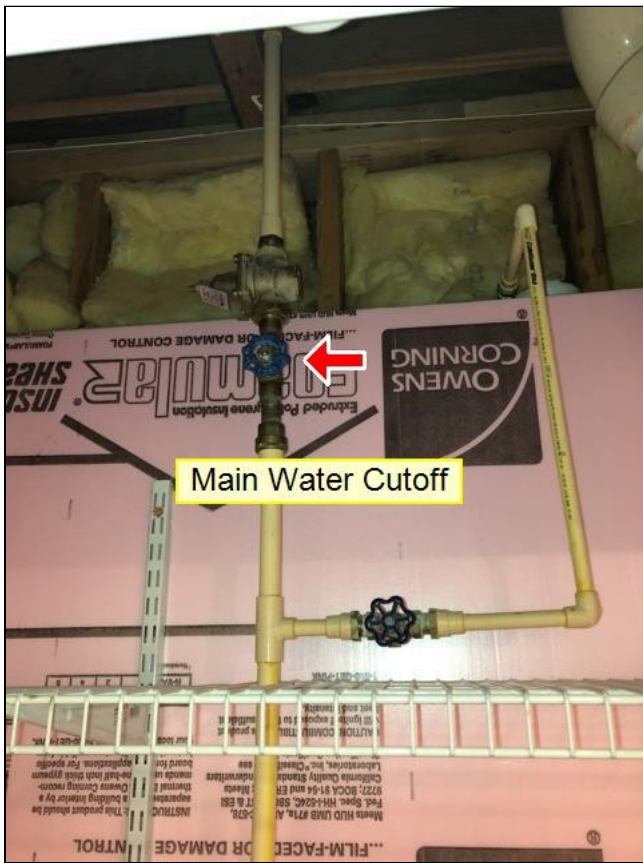
8.1

8.1 (2) Missing gas cap at unused gas line behind dryer. Recommend cap be installed for safety.



8.1 Laundry

8.2 Location of water main shutoff located in front of basement in closet.



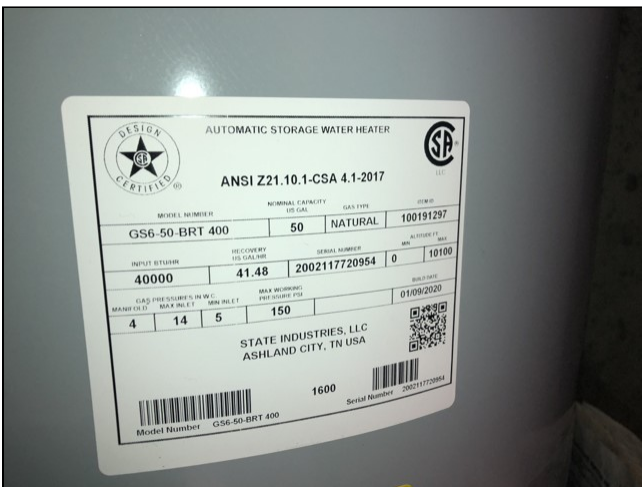
8.2

8.3 State gas hot water tank GS6 -50-BRT 400.
 Serial number 2002117720954.
 50 gallon capacity.
 40,000 BTUs per hour.
 Manufactured in 2020.



8.3

8.3



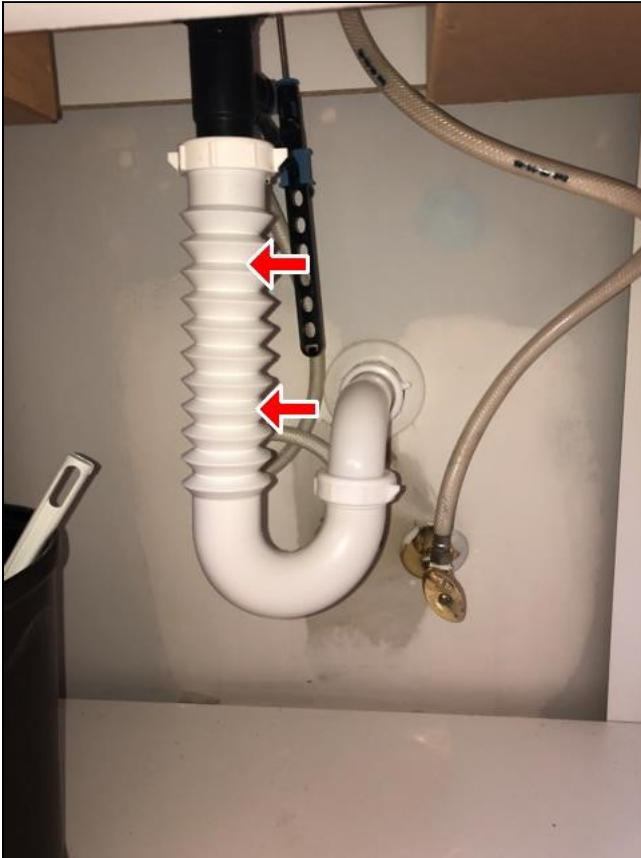
8.3

8.4 **Main septic pipe drain is exposed in front of house.** Recommend pipe be protected from frost.



8.4

8.6 (1) Corrugated pipe noted. drain. NOTE: Drain pipes should be constructed from smooth materials. Recommend replacement.



8.6 First floor half bath

8.6 (2) Cracked grout noted at master bathroom shower walls. Recommend to install an approved flexible sealant to prevent moisture entry.



8.6



8.6



8.6

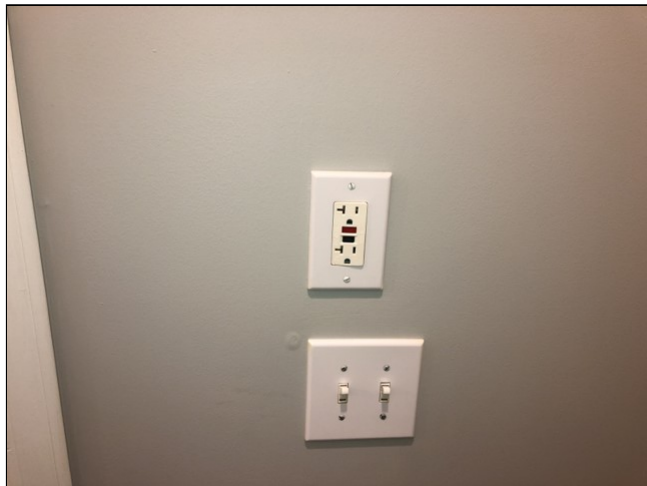


8.6

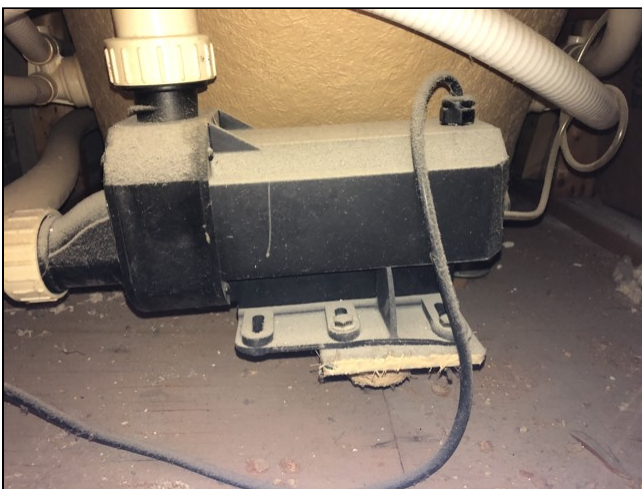
8.6 (3) Spa tub is operational. Pump is protected electrically by GFCI in toilet area. Could not locate a ground lug on pump possibly because outer housing is plastic.



8.6



8.6 GFCI protecting Spa tub



8.6 Spa pump motor

8.9 Sump pump in basement was operational at time of inspection



8.9

PLUMBING

The inspector shall inspect: Interior water supply and distribution systems including fixtures and faucets. Interior drain, waste, and vent systems including fixtures, water heating equipment and hot water supply systems, vent systems, flues, and chimneys. Fuel storage and fuel distribution systems. Sewage ejectors, sump pumps, and related piping. Clothes dryer, laundry, bathroom and similar exhaust systems. **The inspector shall describe:** Interior water supply. Drain, waste, and vent piping materials. Water heating equipment, including energy source(s). Location of main water and fuel shut-off valves. **The inspector is NOT required to inspect:** Clothes washing machine connections. Interiors of vent systems, flues, and chimneys that are not readily accessible. Wells, well pumps, and water storage related equipment, water conditioning systems. Solar, geothermal, and other renewable energy water heating systems. Manual and automatic fire extinguishing and sprinkler systems. Landscape irrigation systems. Septic and other sewage disposal systems. **The inspector is NOT required to determine:** Whether water supply and sewage disposal are public or private. Water quality. The adequacy of combustion air components. Measure water supply flow and pressure, well water quantity. Fill shower pans and fixtures to test for leaks.

9. Electrical System

Orientation: Description of electrical components from front or facing from room entrance; as applicable.

Styles & Materials

Electrical service conductors: Below ground	Location of main disconnect: At meter	Location panel (main and sub-panels): Basement, unfinished
Panel capacity: 200 AMP	Branch wire 15 and 20 AMP: Copper	Wiring methods: Romex

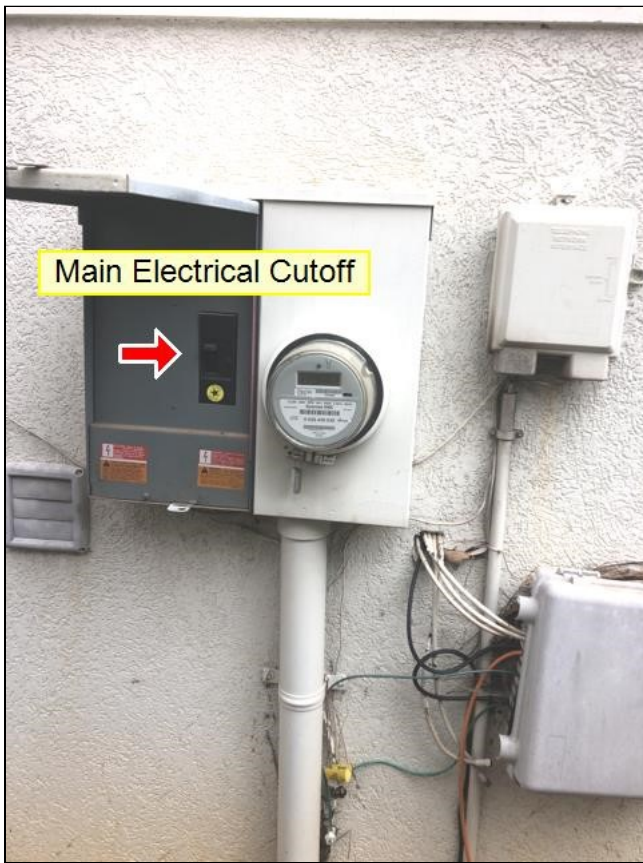
		IN	NI	NP	AR
9.1	SERVICE ENTRANCE CONDUCTORS	•			
9.2	SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS				•
9.3	BRANCH WIRING	•			
9.4	CONNECTED DEVICES AND FIXTURES (observed from a representative number of ceiling fans, lighting fixtures and switches)				•
9.5	RECEPTACLES (observed from a representative number of receptacles)	•			
9.6	GFCI (Ground Fault Circuit Interrupters)				•
9.7	AFCI (Arc Fault Circuit Interrupters)			•	
9.8	SMOKE DETECTORS	•			
9.9	CARBON MONOXIDE DETECTORS			•	

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

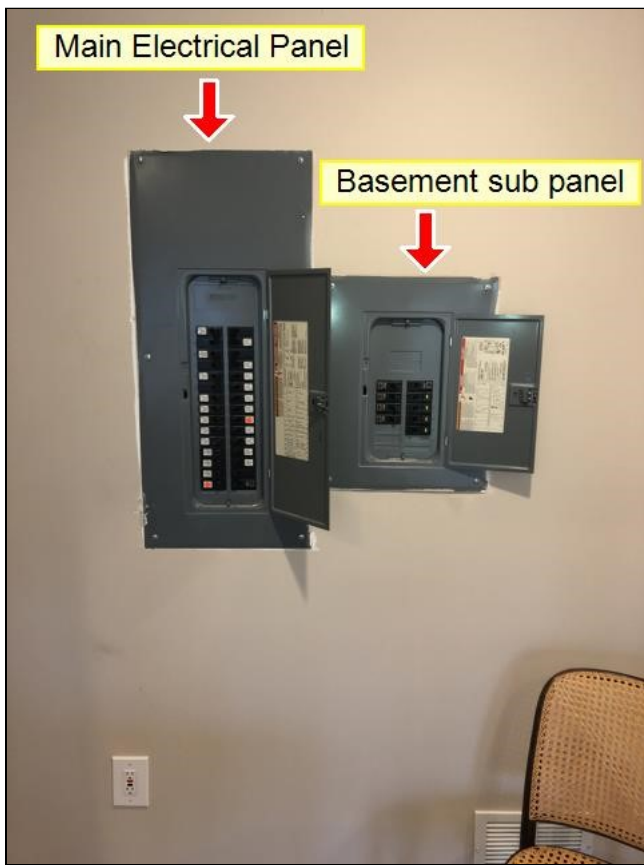
Comments:

9.1 200 amp electrical disconnect located at meter on left side of house with below ground service.



9.1

9.2 (1) Electrical panels located in basement.



9.2

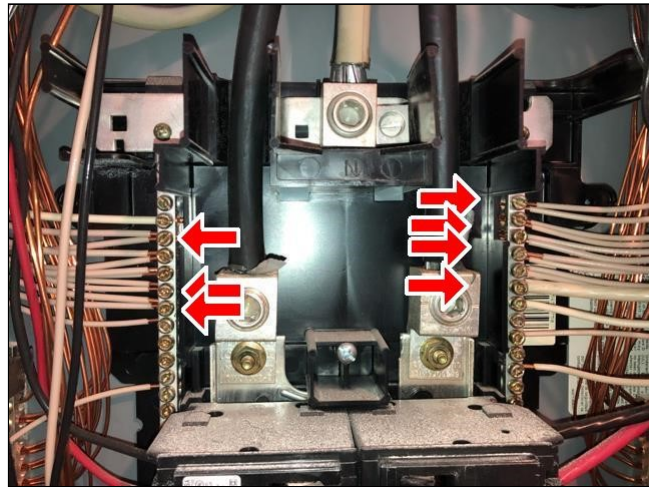
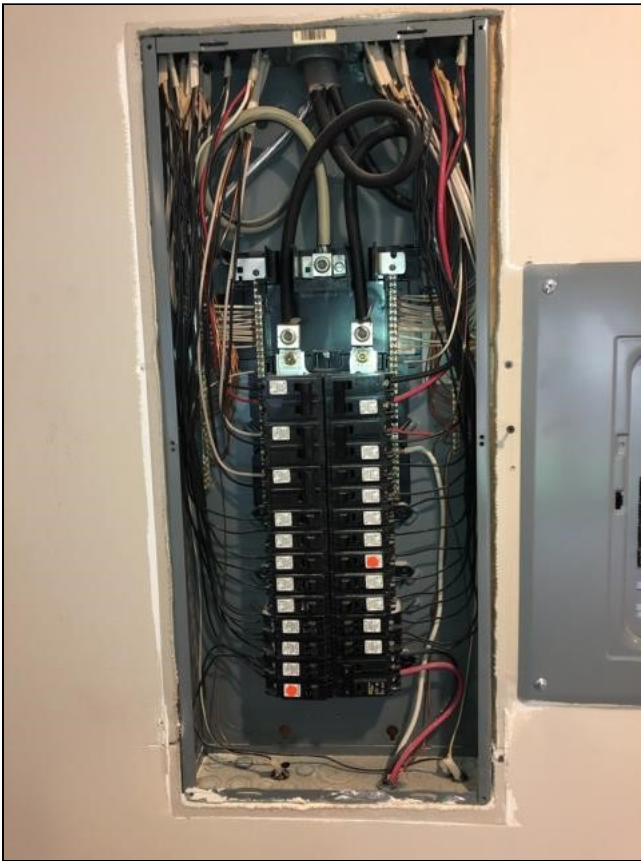
9.2 (2) 200 amp Square D Electrical panel located in basement.

Improper wiring noted with two neutral wires observed under one terminal screw in bus bar. NOTE: Currently accepted construction practices recommends that only one neutral wire per terminal screw at bus bar to ensure circuit can be isolated to work on and to prevent overheating at terminal due to loose connection. Recommend a qualified electrical contractor estimate and make repairs as needed.



9.2

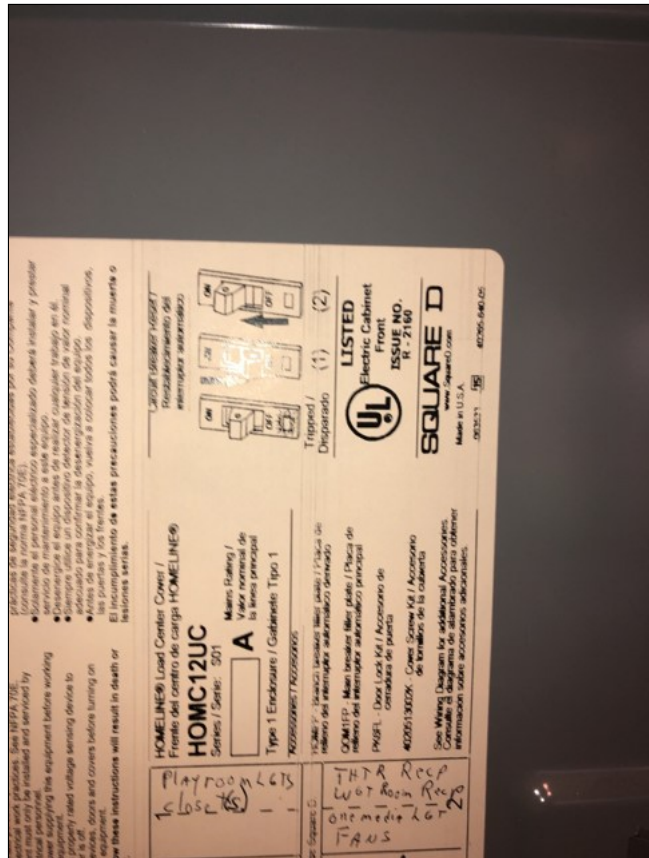
9.2



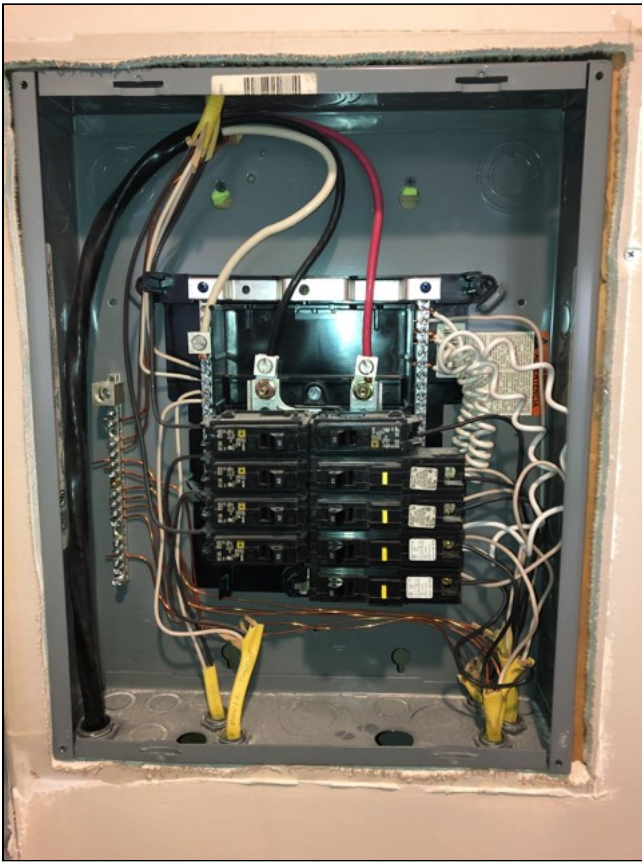
9.2 Improper wiring

9.2

9.2 (3) Square D 125 amp electrical electrical subpanel.



9.2



9.2

9.4 Missing sealant between light fixture and wall. Recommend light fixture base be sealed to wall to prevent moisture from entering into wall.



9.4 Back Deck

9.6 Ground Fault Circuit Interrupt (GFCI) outlet, breaker, or switch did not trip with test device it did trip with test button. Recommend that a licensed electrician assess condition of all GFCI devices and make repairs as needed. NOTE: GFCI devices are installed where electrical circuits may accidentally come into contact with water. Currently accepted construction practices recommend that GFCI devices be located at the exterior of home, kitchens, bathrooms, spa tubs, laundry rooms, and garages.



9.6 First floor half bath



9.6

9.9 Missing carbon monoxide detector noted. NOTE: Currently accepted construction practices recommend that CO alarms should be installed in a central location outside each sleeping area and on every level of the home and in other locations where required by applicable laws, codes or standards. For the best protection, interconnect all CO alarms throughout the home. When one sounds, they all sound. Test per manufacturers guidelines.



9.9

ELECTRICAL

The inspector shall inspect: Service drop, service entrance conductors, cables, and raceways. Service equipment and main disconnects. Service grounding. Interior components of service panels and subpanels. Conductors, overcurrent protection devices. A representative number of installed lighting fixtures, switches and receptacles. Ground fault circuit interrupters and arc fault circuit interrupters. **The inspector shall describe:** Amperage rating of the service. Location of main disconnect(s) and subpanels. Presence or absence of smoke alarms and carbon monoxide alarms. The predominant branch circuit wiring method. **The inspector is NOT required to inspect:** Remote control devices, test smoke and carbon monoxide alarms, security systems, other signaling and warning devices. Low voltage wiring systems and components. Ancillary wiring systems and components not a part of the primary electrical power distribution system. Solar, geothermal, wind and other renewable energy systems. **The inspector is NOT required to measure:** amperage, voltage and impedance. **The inspector is NOT required to determine:** Age and type of smoke alarms and carbon monoxide alarms.

10. Heating / Air Conditioning

Orientation: Description of applicancies at specific locations or serving specific locations; as applicable.

Styles & Materials

1st floor heat system brand:
LENNOX

1st floor type / tonnage / BTU/hr.:
60,000 BTU/hr.

2nd floor heat system brand:
TRANE

2nd floor type / tonnage / BTU/hr.:
60,000 BTU/hr.

1st floor air conditioner brand:
LENNOX
RUN-TRU (Trane)

1st floor type / tonnage:
2 1/2 ton

2nd floor air conditioner brand:
TRANE

2nd floor type / tonnage:
2 1/2 ton

		IN	NI	NP	AR
10.1	COOLING AND AIR HANDLER EQUIPMENT	•			
10.2	HEATING EQUIPMENT	•			
10.3	NORMAL OPERATING CONTROLS	•			
10.4	AUTOMATIC SAFETY CONTROLS	•			
10.5	DISTRIBUTION SYSTEMS (fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

Comments:

10.1 (1) AC condensers located on left side of house.

Cooling system not tested. When overnight temperatures are below 60 F cooling/air conditioning systems are not tested to avoid damage to the AC condenser. Recommend to consult with a licensed HVAC contractor for evaluation and establish a regular maintenance schedule.



10.1

10.1 (2) Run-Tru (Trane) AC condenser
Model number A4AC4030A1000AA.

Serial number 19501L72BF.

2 1/2 ton unit.

Manufactured in 2019. The system is 1 years old. NOTE: The typical life expectancy of AC or heat pump unit is 10-12 years. Recommend annual service to maintain AC or heat pump unit and to make repairs as needed.



10.1

10.1



10.1

10.1 (3) 2ns floor Trane AC condenser

Model number 4TTR6030J1000AA.

Serial number 16213BEH5F.

2 1/2 ton unit.

Manufactured 2016. The system is 4 years old. NOTE: The typical life expectancy of AC unit is 10-12 years. Recommend annual service to maintain AC unit and to make repairs as needed.



10.1

10.1



10.1

10.2 (1) Run-Tru furnace for first and second floor located in basement.

Model number A801X060BM3SABA.

Serial number 19512ROMJG.

60,000 BTUs per hour.

Manufactured in 2019. The system is 1 years old. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend annual service to maintain furnace and to make repairs as needed.

Filter size is 16 x 20 x 1. Filter was clean at time of inspection.



10.2

10.2



10.2

10.2 (2) Trane furnace for second floor located in attic.

Model number do you D1B060 A9H31 BC.

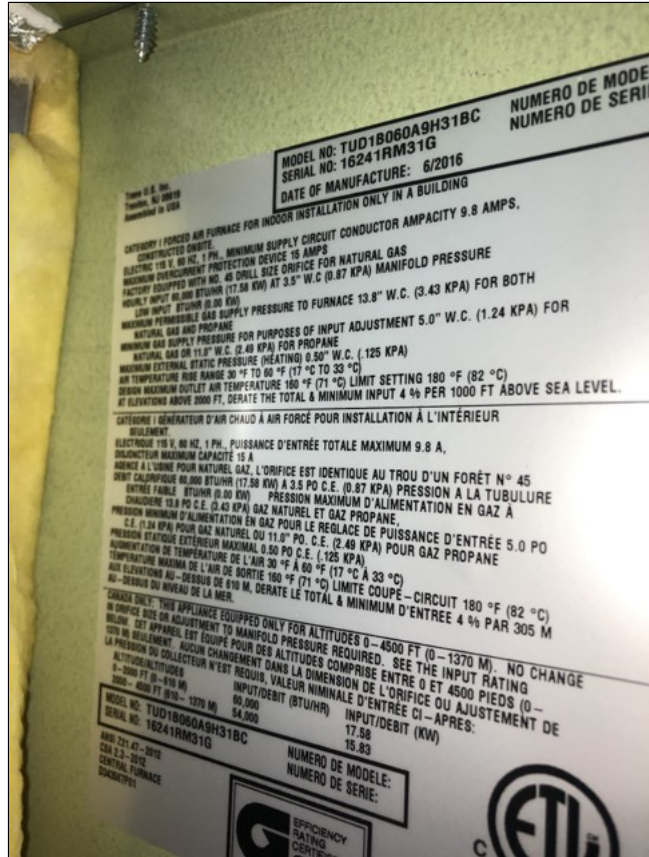
Serial number 16 241RM31G.

60,000 BTUs per hour

manufactured in 2016. The system is 4 years old. NOTE: The typical life expectancy of furnaces is 15 - 20 years.

Recommend annual service to maintain furnace and to make repairs as needed.

filter size is 16 x 25 x 1 filter was clean at time of inspection.



10.2

10.2



10.2

HEATING / COOLING

The inspector shall open: readily openable access panels. **The inspector shall inspect:** Installed heating equipment. Central and permanently installed cooling equipment, vent systems, flues, and chimneys, distribution systems. **The inspector shall describe:** Heating systems, cooling systems and their energy source(s). **The inspector is NOT required to inspect:** Interiors of vent systems, flues, and chimneys that are not readily accessible. Heat exchangers, humidifiers and dehumidifiers, electric air cleaning and sanitizing devices, heating systems using ground-source. Inspect heating and cooling units that are not permanently installed or that are installed in windows. Water-source, solar, and renewable energy technologies. Heat-recovery and similar whole-house mechanical ventilation systems. **The inspector is NOT required to determine:** Heat and cooling supply adequacy and distribution balance. The adequacy of combustion air components.

11. Foundation

Orientation: Description of locations from facing front.

Styles & Materials

Foundation:

- Poured concrete
- Slab

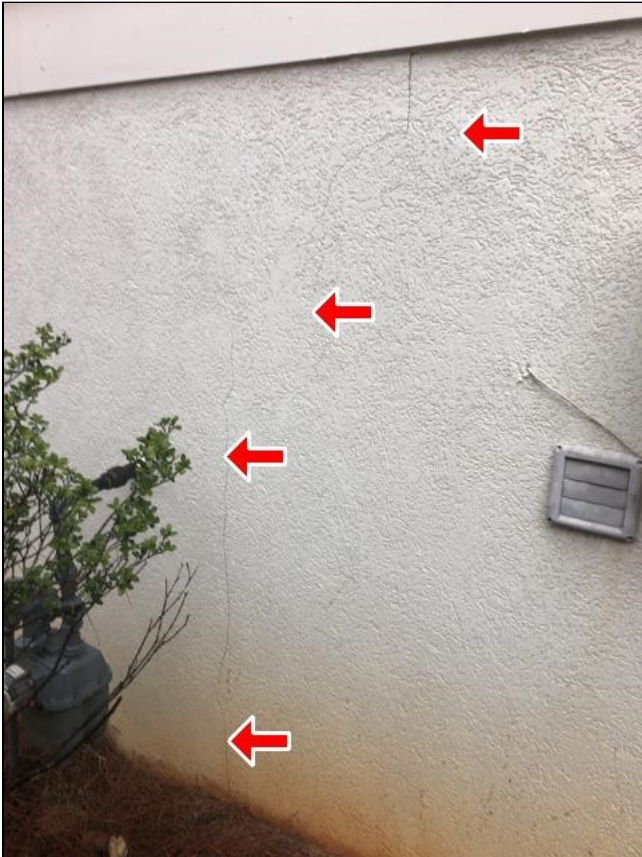
		IN	NI	NP	AR
11.0	FOUNDATIONS	•			
11.1	WALLS				•

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

Comments:

11.1 Crack was noted in the Foundation wall (No matching crack was found on interior surfaces.) Moisture penetration was noted at time of inspection. See picture for example. Recommend that a qualified foundation repair contractor assess foundation and make repair as needed



11.1 Left side by electric meter

FOUNDATION

The inspector shall inspect: Structural components, including the foundation and framing. Insulation and vapor retarders in unfinished spaces, ventilation of foundation areas. **The inspector shall describe:** The foundation, the floor structure, the wall structure, the ceiling structure. Insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. Methods used to inspect under-floor crawlspaces. **The inspector is NOT required to disturb insulation.** **The inspector is NOT required to provide:** Engineering or architectural services or analysis. **The inspector is NOT required to offer:** An opinion about the adequacy of structural systems and components. **The inspector is NOT required to enter:** Under-floor crawlspace areas that have less than 24 inches of vertical clearance between component and the ground or that have an access opening smaller than 16 inches by 24 inches.



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