



# Inspection Report

**Michael Herzog**

**Property Address:**  
530 Silver Pine Trail  
Roswell GA 30076



**Residential Inspector of America**  
**Inspector: Todd Rymer**  
**3276 Buford Dr., Ste. 104-306**  
**Buford, GA 30519**  
**770.476.4963**

## Table of Contents

<a href="#">Cover Page.....</a>	<a href="#">1</a>
<a href="#">Table of Contents.....</a>	<a href="#">2</a>
<a href="#">Intro Page.....</a>	<a href="#">3</a>
<a href="#">Summary.....</a>	<a href="#">4</a>
<a href="#">1 Exterior.....</a>	<a href="#">10</a>
<a href="#">2 Garage.....</a>	<a href="#">19</a>
<a href="#">3 Structural Components.....</a>	<a href="#">22</a>
<a href="#">4 Roofing.....</a>	<a href="#">25</a>
<a href="#">5 Insulation and Ventilation.....</a>	<a href="#">27</a>
<a href="#">6 Heating / Central Air Conditioning.....</a>	<a href="#">29</a>
<a href="#">7 Electrical System.....</a>	<a href="#">34</a>
<a href="#">8 Plumbing System.....</a>	<a href="#">39</a>
<a href="#">9 Interiors.....</a>	<a href="#">43</a>
<a href="#">10 Built-In Kitchen Appliances.....</a>	<a href="#">46</a>

<b>Date:</b> 3/16/2020	<b>Time:</b> 09:00:00 AM	<b>Report ID:</b> 031620KP567
<b>Property:</b> 530 Silver Pine Trail Roswell GA 30076	<b>Customer:</b> Michael Herzog	<b>Real Estate Professional:</b> Vanessa Westfall Keller Williams

**All complete RIA home inspections come with these FREE services for home buyers:**

*5 Year Platinum Roof Leak Warranty      90 Day Structural/Mechanical Warranty*

*90 Day Mold Warranty      90 Day Main Sewer/Water Line Warranty*

*Concierge Service for Utility Set up      120 Day Radon Warranty (with test)*

And FREE *RecallChek* on appliances for life! Click [HERE](#) to find out more.

**REPORT VIDEOS**

You are currently viewing a PDF version of this report. Your report may contain videos that you can view in the HTML version of this report by clicking [HERE](#).

**IMPORTANT INFORMATION ABOUT THIS INSPECTION**

RIA's home inspections are completed in accordance with the American Society of Home Inspectors Standards of Practice (ASHI), your RIA Inspection Agreement, and other RIA Terms & Conditions that are viewable by clicking [HERE](#) or by requesting an emailed copy. Please be sure that you fully read and understand these items. If an item is not listed in this report as "Inspected", then it is not part of this inspection and you should have the item further evaluated prior to your closing.

**INSPECTED:** The condition of the item at the time of inspection was evaluated and any necessary comments will be made in this report.

**NOT INSPECTED:** The item was not inspected for reasons noted in this report. If concerns exist regarding "Not Inspected" items, further evaluation is recommended.

**REPAIR/REPLACE:** The item is in need of repairs, replacement, further evaluation by a specialist, or is of concern to the inspector.

**NOT PRESENT:** The item is not present in this home.

**In Attendance:**

Customer and their agent, Inspector

**Approximate age of building:**

Over 25 Years

**Temperature:**

Below 60

**Weather:**

Light Rain, Cloudy

**Inspector:**

Todd Rymer

## Summary



### Customer

Michael Herzog

### Address

530 Silver Pine Trail  
Roswell GA 30076

All complete RIA home inspections come with these **FREE** services to protect your investment: **5 Year Platinum Roof Leak Warranty, 90 Day Structural and Mechanical Warranty, 90 Day Mold Warranty, 90 Day Main Sewer and Water Line Warranty, 120 Radon Warranty (with test), Concierge Service, and RecallChek on appliances for life.** Click [HERE](#) to find out more. Applies to home buyers only.

RIA's home inspections are completed in accordance with the ASHI Standards of Practice, your RIA Inspection Agreement, and other RIA Terms & Conditions. Click [HERE](#) to view.

This report may contain videos which can be seen by clicking the link on Page 3.

The items listed below are in need of repair, replacement, further evaluation, or are safety issues. All concerns related to items in this summary or throughout this report should be resolved prior to closing. If LEFT and RIGHT directions are given in this summary, it is determined by facing the front of the home from the exterior.

---

## 1. Exterior

---

### 1.0 EXTERIOR SIDING

#### Inspected, Repair or Replace

 (1) Cedar lap siding is prone to curling and cracking, carpenter bees and wood peckers. This type of siding will have some boards curl due to seasonal heat or sun light and this will help pull the nails loose. Siding is also prone to have the knots fall out of the boards leaving large holes.

Damaged siding observed at several locations observed around the home. See example photos. Condition of the framing behind the home is unknown. Recommend having the siding of the home further evaluated by a professional siding contractor and all repairs made as required to ensure the siding for the home is completely water tight.

 (2) Damage to textured coating on the exterior wall around the home. See example photo. Have repaired/resurfaced as required.

 (3) Seal gaps in siding at penetration locations shown in the photos.

### 1.1 DOORS

#### Inspected, Repair or Replace

 Minor water damage to door frame at ground level at locations shown in the photo. Have damaged wood repaired/replaced.

**1.3 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS****Inspected, Repair or Replace**

-  Decks usually last about 20-25 years (depending on weather conditions) before needing replacement. Older decks were not built to code standards that exist for modern decks. Multiple observed concerns noted with the front porch of the home. See photos. Due to the age and observed concerns associated with the front porch, it is recommended that the front porch be further evaluated by a professional deck contractor and all repairs/corrections made as required to ensure that the front porch is structurally sound and safe to use.

**1.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS****Inspected, Repair or Replace**

-  (1) House is built on a very steep lot and it will be critical that roof run off always be diverted through gutters and away from the foundation wall to prevent water damage to siding/trim, prevent erosion and settlement, and prevent water entry into the basement. Homes on steep lots tend to settle downhill.
-  (2) Minor cracking in driveway. Patch as needed. Several areas of larger cracking/damage to the concrete, at these locations repairs would be required in order to achieve a smooth concrete surface. See example photos.
-  (4) Exterior walkway/stairs at left side of home would not meet modern safety standards. Use with caution/resolve any concern prior to closing.

**1.5 EAVES, SOFFITS AND FASCIAS****Inspected, Repair or Replace**

-  Damage to eave locations as shown in the photo. Determine and resolve cause of water damage (poorly functioning gutters, animal damage, etc.) and repair/replace water damaged wood.

**1.6 EXTERIOR TRIM****Inspected, Repair or Replace**

-  Rot damage found on the exterior wood exterior components at multiple locations. See photos for examples of these locations. Have all water damaged trim repaired or replaced. It should be understood that more minor water damage may be present on other trim around the house. This type of damage is common and should be expected to occur in the future - if water damaged has occurred in the past it will occur in the future.

---

**2. Garage****2.1 GARAGE WALLS****Inspected, Repair or Replace**

-  (1) Repair minor damage to the garage walls. See photos.

**2.5 OCCUPIANT DOOR FROM THE INSIDE OF THE HOME TO THE GARAGE****Inspected, Repair or Replace**

-  Install a support under the occupant door threshold in the garage. Threshold plate may bend when stepped upon. Support should be pressure treated wood or the equivalent.

---

**3. Structural Components****3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES****Inspected, Repair or Replace**

-  (1) It is highly recommended that a de-humidifier be installed in the basement to prevent high humidity, which can lead to mold growth.

**3.1 WALLS (Structural)****Inspected**

-  The small, hairline cracks in the foundation walls are not a structural concern, but should be patched to prevent any possible future leak. See example photo.

### 3.5 ROOF STRUCTURE AND ATTIC

#### Inspected, Repair or Replace

-  Slight deflection of the roof sheathing/attic framing observed at location shown in the photo. This may be partly due to the 2x4 framing in the attic which would not meet modern standards. No associated concerns noted due to the deflection at the time of the inspection but additional bracing and adjustments should be made as required to correct deflection at this location.

---

## 5. Insulation and Ventilation

---

### 5.0 INSULATION IN ATTIC

#### Inspected, Repair or Replace

-  Weather strip and insulation of some type needed over the attic pull down steps.

Insulation in the attic is missing or is less than normal in several areas. Have more added to bring levels equal to R-30

### 5.2 VAPOR RETARDERS & CRAWL SPACE VENTS

#### Inspected, Repair or Replace

-  Vapor barrier missing in the crawlspace over the dirt floor. Have a plastic vapor barrier of at least 6 mil thick laid out over the dirt floor.

---

## 6. Heating / Central Air Conditioning

---

### 6.0 HEATING EQUIPMENT

#### Inspected, Repair or Replace

-  (1) Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system is concealed from view, and our inspection is visual and intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct systems since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

Corrosion observed in the attic furnace drain pan. This is indicative of past/possible ongoing functional concerns with the furnace. Have further evaluated by a hvac service.

Gas furnaces generally last around 20 years before needing replacement. Furnaces for the home include a 2004 model (services the main floor) and a 2007 model (services the upstairs).

-  (2) The flex gas connector should not enter the metal side of the basement furnace cabinet. It should be a black steel gas piping where it enters. Have an hvac contractor correct. See photo.

### 6.5 GAS/LP FIRELOGS AND FIREPLACES

#### Inspected, Repair or Replace

-  (1) Damper for the fireplace was not fully functional (would not stay shut). Have repaired as required.
-  (2) Debris in log lighter valve. Gas could not be turned on to the fire place. Clean debris from opening and ensure gas starter is fully functional prior to closing.

### 6.6 COOLING AND AIR HANDLER EQUIPMENT

#### Inspected, Repair or Replace

-  (1) The A/C was not tested for proper operation due to the outside air temperature being lower than 65 degrees. Testing the units during colder weather can damage them. Buyer should resolve all concerns before closing.

Along with servicing the heating units, hvac tech should check refrigerant levels in the a/c systems to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the systems. Units were not disassembled.

A/c units use the older R-22 type of refrigerant gas (freon) that is being phased out of production and will likely be expensive and difficult to find in the near future. The newer type of freon does not mix with the older type.

A/c units for the home may need replacing in the near future due to its age. A/c units for the home are both 2005 models.

-  (2) Gaps found in the insulation wrapping around the refrigerant pipes from the a/c units, where these pipes pass through the attic. Have re-wrapped with more insulation to prevent condensate from dripping on the ceiling.

---

## 7. Electrical System

---

### 7.2 PANEL BOX & SUB-PANEL

#### Inspected, Repair or Replace

-  (2) Double wired breaker found in the main panel. See photo (~ 3 double tapped breakers). Usual wiring method is to have one wire for one breaker. Have electrician correct.

### 7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

#### Inspected, Repair or Replace

-  (1) Covers needed on the open junction boxes at locations shown in the photos. Covers are used to control sparking. Have an electrician correct.
-  (2) Open live wires observed near the gable vents at each side of the attic. See photos. This is a safety concern. Wires are associated with past power vent installations at the gable vents that are no longer required. Recommend further evaluation by an electrician and wires professionally removed or terminated so that they are no longer a safety concern.

### 7.4 OUTLETS & LIGHT FIXTURES

#### Inspected, Repair or Replace

-  (1) Three outlets in the front ground floor left side family type room are operable but not wired correctly (not grounded). Have electrician further evaluate and correct as required.
-  (2) Non-functional security light at the rear of the home. Bulb replacement likely will correct this issue but other electrical concerns may be present preventing the lights to function. Recommend making light functional prior to closing.

### 7.5 CONDUIT

#### Inspected, Repair or Replace

-  Wiring to garbage disposal under the kitchen sink needs to be in protective conduit.

### 7.6 OPERATION OF GFCI & OR AFCI

#### Inspected, Repair or Replace

-  It is recommended that all garage, laundry room, exterior and basement outlets be switched to the gfci protected type. This will make the outlets more safe and bring the wiring closer to modern standards. These were not required in older homes. Ground floor hall bath outlet was also not gfci protected but the remaining bathroom outlets were gfci protected.

### 7.7 SMOKE DETECTORS

#### Inspected, Repair or Replace

-  Smoke detectors can last 10 years before needing replacement. Due to their apparent age, it is recommended that all smoke detectors in the home be replaced and installed as per manufacturer's recommendations.

### 7.8 CARBON MONOXIDE DETECTORS

#### Inspected, Repair or Replace

- 🔧 Carbon monoxide detectors can last 10 years before needing replacement. Due to their apparent age, it is recommended that all carbon monoxide detectors in the home be replaced and installed per manufacturer's recommendations.

---

## 8. Plumbing System

---

### 8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

#### Inspected, Repair or Replace

- 🔧 Exterior spigot as shown in the photo was not operational at the time of the inspection. Have owner turn water on to spigot and ensure that the spigot is fully operation with no associated concerns (leaks, etc.) prior to closing.

### 8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

#### Inspected, Repair or Replace

- 🔧 Leak observed associated with the plumbing under the hall bath sink. Have further evaluated by a plumber and repaired as required.

### 8.3 WATER HEATER

#### Inspected, Repair or Replace

- 🔧 Water heaters generally last 10-12 years before needing replacement. Current water heater works and makes hot water but may need replacing in the near future due to its age. Water heater is a 2007 model.

### 8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

#### Inspected, Repair or Replace

- 🔧 The "T" fitting, (more commonly known as a drip leg or sediment traps) for the attic furnace gas line is not installed correctly. Hvac tech can evaluate. Gas company may not connect gas for new owner if this is discovered.

---

## 9. Interiors

---

### 9.0 CEILINGS

#### Inspected, Repair or Replace

- 🔧 Exposed nails at ceiling of the basement stair landing as shown in the photo. Correct as required to ensure exposed nailing will not be a safety concern.

### 9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

#### Inspected, Repair or Replace

- 🔧 Recommend spindle type guard rails for the basement stairs. Current guard rail would not meet modern standards and is a safety concern for small children.

### 9.5 WINDOWS (REPRESENTATIVE NUMBER)

#### Inspected, Repair or Replace

- 🔧 Roughly half of the windows for the home were not operable (jammed/painted shut). This is not uncommon for this type of window if not regularly used. Non-functional windows are an emergency egress concern. Recommend making all windows for the home fully functional prior to closing.

Windows are the older single pane type that are not as energy efficient as modern windows. Due to the age of the windows, buyer should expect general poor function of the windows due to their age. Several windows (~6 windows are missing locks).

### 9.8 PESTS

#### Inspected, Repair or Replace

- 🔧 Evidence of rodent activity in the attic and basement and crawlspace. A pest control company should be consulted to determine if activity is past or present and to repair all possible entry points to the attic and to the entire home.

Ten plus bats observed in the gable vent at the left side of the home. A large amount of bat droppings was observed in the attic under this location. Have gable vents sealed off to prevent use by bats and have the bat droppings removed (bat droppings could be a toxic).

---

*Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To todd rymer*

# 1. Exterior

## Styles & Materials

**Siding Material:**

Wood lap

**Decks steps patio sidewalk etc.:**

Covered porch

Deck

**Exterior Entry Doors:**

Wood

Steel

Insulated glass

**Driveway:**

Concrete

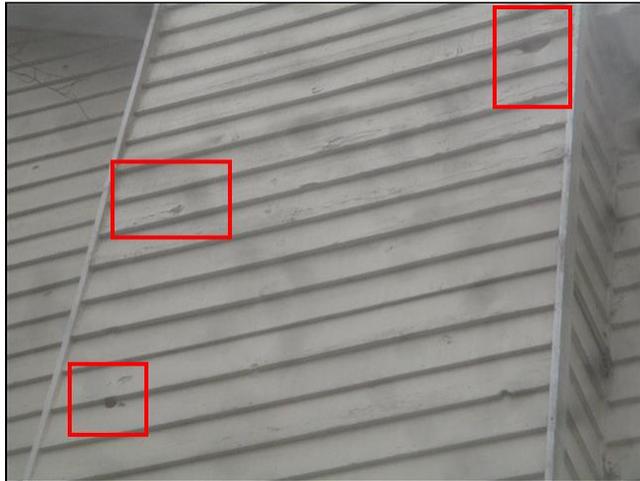
## Items

### 1.0 EXTERIOR SIDING

**Comments:** Inspected, Repair or Replace

🔧 (1) Cedar lap siding is prone to curling and cracking, carpenter bees and wood peckers. This type of siding will have some boards curl due to seasonal heat or sun light and this will help pull the nails loose. Siding is also prone to have the knots fall out of the boards leaving large holes.

Damaged siding observed at several locations observed around the home. See example photos. Condition of the framing behind the home is unknown. Recommend having the siding of the home further evaluated by a professional siding contractor and all repairs made as required to ensure the siding for the home is completely water tight.



1.0 Item 1(Picture) Chimney



1.0 Item 2(Picture) Right side



1.0 Item 3(Picture) Above front entry



1.0 Item 4(Picture) Rear



1.0 Item 5(Picture) Backside chimney location



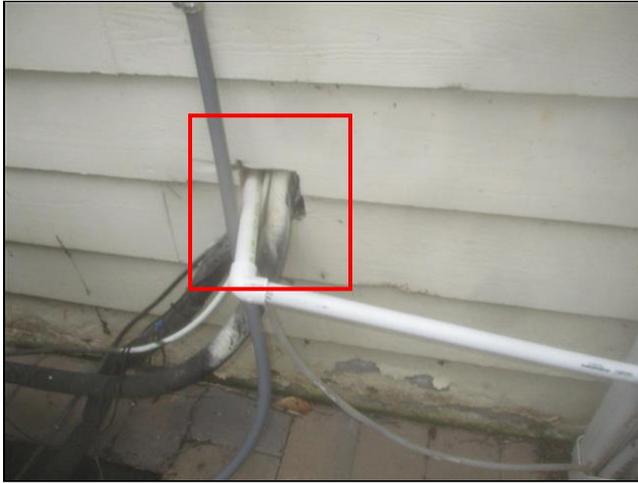
1.0 Item 6(Picture) Rear, deck level area

🔨 (2) Damage to textured coating on the exterior wall around the home. See example photo. Have repaired/ resurfaced as required.



1.0 Item 7(Picture)

(3) Seal gaps in siding at penetration locations shown in the photos.



1.0 Item 8(Picture) Rear, near a/c units



1.0 Item 9(Picture) Rear



1.0 Item 10(Picture) Under rear deck

### 1.1 DOORS

Comments: Inspected, Repair or Replace

Minor water damage to door frame at ground level at locations shown in the photo. Have damaged wood repaired/replaced.



1.1 Item 1(Picture) Rear basement egress door

**1.2 WINDOWS**

Comments: Inspected

**1.3 DECKS, STOOPS, STEPS, PORCHES, PATIO/ COVER AND RAILINGS**

Comments: Inspected, Repair or Replace

🔧 Decks usually last about 20-25 years (depending on weather conditions) before needing replacement. Older decks were not built to code standards that exist for modern decks. Multiple observed concerns noted with the front porch of the home. See photos. Due to the age and observed concerns associated with the front porch, it is recommended that the front porch be further evaluated by a professional deck contractor and all repairs/corrections made as required to ensure that the front porch is structurally sound and safe to use.



1.3 Item 1(Picture) Front porch has settled and leans downward



1.3 Item 2(Picture) Spindles for front porch are greater than 4 inches apart (safety concern for small children)



1.3 Item 3(Picture) Most front columns are on loose/above ground wood footings (modern deck columns would have buried concrete footings)



1.3 Item 4(Picture) Front porch is nailed to home, modern deck type installations would be bolted to home



1.3 Item 5(Picture) Many front porch joists do not have fasteners/are not adequately supported

**1.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS**

Comments: Inspected, Repair or Replace

👉 (1) House is built on a very steep lot and it will be critical that roof run off always be diverted through gutters and away from the foundation wall to prevent water damage to siding/trim, prevent erosion and settlement, and prevent water entry into the basement. Homes on steep lots tend to settle downhill.



1.4 Item 1(Picture)

(2) Minor cracking in driveway. Patch as needed. Several areas of larger cracking/damage to the concrete, at these locations repairs would be required in order to achieve a smooth concrete surface. See example photos.



1.4 Item 2(Picture)



1.4 Item 3(Picture)

(3) Several exterior drains observed around the home. functionality of the drains is unknown.



1.4 Item 4(Picture)

(4) Exterior walkway/stairs at left side of home would not meet modern safety standards. Use with caution/ resolve any concern prior to closing.



1.4 Item 5(Picture)

**1.5 EAVES, SOFFITS AND FASCIAS**

Comments: Inspected, Repair or Replace

🔧 Damage to eave locations as shown in the photo. Determine and resolve cause of water damage (poorly functioning gutters, animal damage, etc.) and repair/replace water damaged wood.



1.5 Item 1(Picture) Rear left corner

**1.6 EXTERIOR TRIM**

Comments: Inspected, Repair or Replace

🔧 Rot damage found on the exterior wood exterior components at multiple locations. See photos for examples of these locations. Have all water damaged trim repaired or replaced. It should be understood that more minor water damage may be present on other trim around the house. This type of damage is common and should be expected to occur in the future - if water damaged has occurred in the past it will occur in the future.



1.6 Item 1(Picture) Front left side corner



1.6 Item 2(Picture) Crawlspace door frame



1.6 Item 3(Picture) Near rear deck level door

**1.7 EXTERIOR FLASHINGS for DOORS, WINDOWS, DECK**

Comments: Inspected

**1.8 EXTERIOR ELEVATION PHOTOS**

Comments: Inspected

These are photos of the home taken from different angles and are not intended to show any defects.



1.8 Item 1(Picture)



1.8 Item 2(Picture)



1.8 Item 3(Picture)



1.8 Item 4(Picture)

## 2. Garage

*Styles & Materials*

**Garage Door Type:**

Two automatic

*Items*

**2.0 GARAGE CEILINGS**

Comments: Inspected

**2.1 GARAGE WALLS**

Comments: Inspected, Repair or Replace

🔧 (1) Repair minor damage to the garage walls. See photos.



2.1 Item 1(Picture)



2.1 Item 2(Picture)



2.1 Item 3(Picture)



2.1 Item 4(Picture)

(2) The garage inspection was limited due to stored items being in the garage at the time of the inspection.



2.1 Item 5(Picture)



2.1 Item 6(Picture)

## 2.2 GARAGE FLOOR

**Comments:** Inspected

Cracks in garage floor are not wide enough to be considered a structural concern and are due to normal settlement and shrinkage of the concrete. Extent of soil compaction under concrete floor is not visible and is not known. Have patched as needed and resolve all concerns.



2.2 Item 1(Picture)

## 2.3 VEHICLE DOOR(s)

**Comments:** Inspected

## 2.4 VEHICLE DOOR OPENER (s)

**Comments:** Inspected

## 2.5 OCCUPIANT DOOR FROM THE INSIDE OF THE HOME TO THE GARAGE

**Comments:** Inspected, Repair or Replace

🔧 Install a support under the occupant door threshold in the garage. Threshold plate may bend when stepped upon. Support should be pressure treated wood or the equivalent.



2.5 Item 1(Picture)

### 3. Structural Components

*Styles & Materials*

**Method Used to Observe Crawlspace:**

Walked

**Roof Structure:**

2x4 engineered trusses

**Foundation:**

Basement  
Crawl Space

**Method Used to Observe Attic:**

Walked

**Floor Structure:**

2 X 10 16" on center.

**Columns or Piers:**

Steel columns

**Roof-Type:**

Gable

**Attic info:**

Pull Down stairs

*Items*

**3.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES**

Comments: Inspected, Repair or Replace

🔧 (1) It is highly recommended that a de-humidifier be installed in the basement to prevent high humidity, which can lead to mold growth.

(2) Many stored items in the basement limiting visual inspection of the floor and walls. Insulation was not removed from between all floor and rim joists the crawlspace.



3.0 Item 1(Picture) Stored items



3.0 Item 2(Picture) Stored items

**3.1 WALLS (Structural)**

Comments: Inspected

 The small, hairline cracks in the foundation walls are not a structural concern, but should be patched to prevent any possible future leak. See example photo.



3.1 Item 1(Picture)

**3.2 COLUMNS OR PIERS**

Comments: Inspected

**3.3 FLOORS (Structural)**

Comments: Inspected

Cracks in concrete basement floor are not wide enough to be a structural concern and are likely due to settlement. See example photo. Have patched as needed.



3.3 Item 1(Picture)

**3.4 CEILINGS (structural)**

Comments: Inspected

**3.5 ROOF STRUCTURE AND ATTIC**

Comments: Inspected, Repair or Replace

🔧 Slight deflection of the roof sheathing/attic framing observed at location shown in the photo. This may be partly due to the 2x4 framing in the attic which would not meet modern standards. No associated concerns noted due to the deflection at the time of the inspection but additional bracing and adjustments should be made as required to correct deflection at this location.



3.5 Item 1(Picture)

**3.6 WATER ENTRY IN BASEMENT/CRAWL**

Comments: Inspected

# 4. Roofing

## Styles & Materials

**Roof Covering:**

4 tab architectural fiberglass shingles

**Viewed Roof Covering From:**

Ground  
Ladder

**Chimney (exterior):**

Wood Lap

## Items

### 4.0 ROOF COVERINGS

Comments: Inspected

Views of roof.



4.0 Item 1(Picture)



4.0 Item 2(Picture)

### 4.1 FLASHINGS

Comments: Inspected

### 4.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

Boot flashing around plumbing vents on the roof are ok now, but these last about 5-7 years before needing replacement. They crack and split and allow rain water to leak into attic.



4.2 Item 1(Picture)

**4.3 GUTTERS & DOWNSPOUTS**

Comments: Inspected

**4.4 WATER ENTRY IN ROOF**

Comments: Inspected

## 5. Insulation and Ventilation

### Styles & Materials

**Attic Insulation:**

Batt

**Roof Ventilation:**

Gable vents  
Ridge vents  
Soffit Vents

**Basement/Crawlspace Floor System**

**Insulation:**

Batts  
None

**Dryer Vent:**

Solid smooth metal

**Dryer Power Source:**

Unknown (not visible)

**Exhaust Fans:**

Fan

### Items

#### 5.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

 Weather strip and insulation of some type needed over the attic pull down steps.

Insulation in the attic is missing or is less than normal in several areas. Have more added to bring levels equal to R-30



5.0 Item 1(Picture) Insulate attic pull down stairs



5.0 Item 2(Picture) Missing insulation, central attic location

#### 5.1 INSULATION BETWEEN FLOOR JOISTS IN BASEMENT OR CRAWL SPACE

Comments: Inspected

#### 5.2 VAPOR RETARDERS & CRAWL SPACE VENTS

Comments: Inspected, Repair or Replace

🔧 Vapor barrier missing in the crawlspace over the dirt floor. Have a plastic vapor barrier of at least 6 mil thick laid out over the dirt floor.



5.2 Item 1(Picture)

**5.3 VENTILATION OF ROOF**

Comments: Inspected

**5.4 KITCHEN, BATHROOM AND LAUNDRY ROOM VENTS**

Comments: Inspected

## 6. Heating / Central Air Conditioning

### Styles & Materials

**Heating Equipment Type:**

Forced Air

**Heating Equipment Age:**

2004

2007

**Number of Heat Systems (excluding wood):**

Two

**Heat Temp:**

The main level heat read 101 degrees.

The upper level heat read 122 degrees.

**Energy Source:**

Natural gas

**Ductwork:**

Insulated

**Operable Fireplaces:**

One

**Cooling Equipment Type:**

Central forced Air A/C

**Cooling Equipment Age:**

2005

**Number of AC Only Units:**

Two

**A/C Temp:**

Temperature too cool to run the a/c unit(s)

**Cooling Equipment Energy Source:**

Electricity

**Basement HVAC:**

Basement has no HVAC

### Items

#### 6.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

🔧 (1) Have an hvac tech service the heating and cooling equipment to clean the blower motor, the evaporator coils, the condensing coils, the electrical contacts, check refrigerant levels, check size of units compared to size of home and ascertain that the heat exchangers are not cracked and the equipment is safe to operate and functioning properly. Most of internal parts of the hvac system is concealed from view, and our inspection is visual and intended to check the function of the systems. This inspection does not make any assessment of the internal parts of the air duct systems since it is not visible. Therefore, an hvac tech should evaluate for any concealed defects or hazards in the system. Furthermore, manufacturers recommend annual maintenance and servicing to keep the system working at peak efficiency.

Corrosion observed in the attic furnace drain pan. This is indicative of past/possible ongoing functional concerns with the furnace. Have further evaluated by a hvac service.

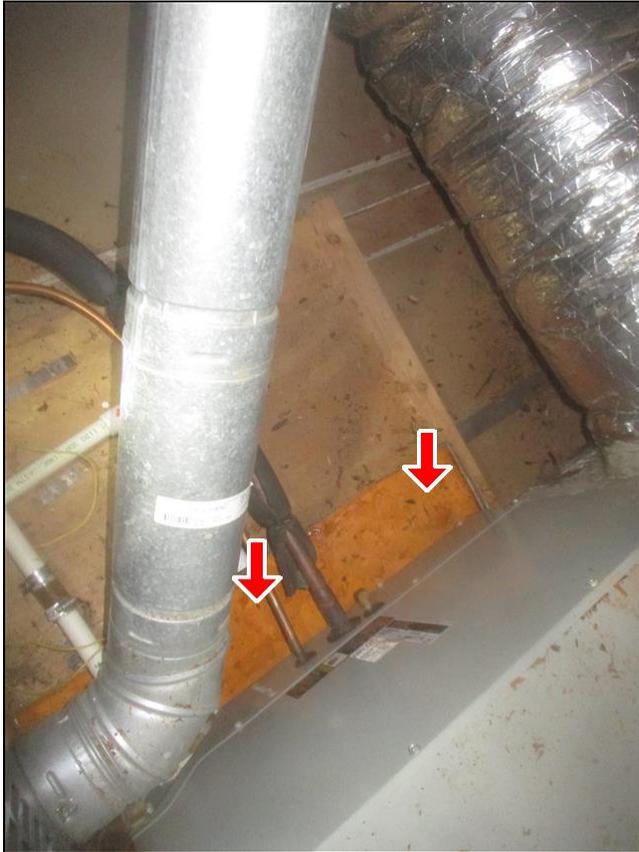
Gas furnaces generally last around 20 years before needing replacement. Furnaces for the home include a 2004 model (services the main floor) and a 2007 model (services the upstairs).



6.0 Item 1(Picture) Basement furnace



6.0 Item 2(Picture) Attic furnace



6.0 Item 3(Picture) Corrosion in drain pan

🔧 (2) The flex gas connector should not enter the metal side of the basement furnace cabinet. It should be a black steel gas piping where it enters. Have an hvac contractor correct. See photo.



6.0 Item 4(Picture)

**6.1 NORMAL OPERATING CONTROLS/ THEROMSTAT**

Comments: Inspected

**6.2 DISTRIBUTION SYSTEMS**

Comments: Inspected

**6.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM**

Comments: Inspected

**6.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)**

Comments: Inspected

**6.5 GAS/LP FIRELOGS AND FIREPLACES**

Comments: Inspected, Repair or Replace

🔧 (1) Damper for the fireplace was not fully functional (would not stay shut). Have repaired as required.



6.5 Item 1(Picture) Damper

🔧 (2) Debris in log lighter valve. Gas could not be turned on to the fire place. Clean debris from opening and ensure gas starter is fully functional prior to closing.



6.5 Item 2(Picture)

**6.6 COOLING AND AIR HANDLER EQUIPMENT**

Comments: Inspected, Repair or Replace

🔧 (1) The A/C was not tested for proper operation due to the outside air temperature being lower than 65 degrees. Testing the units during colder weather can damage them. Buyer should resolve all concerns before closing.

Along with servicing the heating units, hvac tech should check refrigerant levels in the a/c systems to ensure that the systems are working at peak efficiency. This inspection is visual and checks the operation of the systems. Units were not disassembled.

A/c units use the older R-22 type of refrigerant gas (freon) that is being phased out of production and will likely be expensive and difficult to find in the near future. The newer type of freon does not mix with the older type.

A/c units for the home may need replacing in the near future due to its age. A/c units for the home are both 2005 models.



6.6 Item 1(Picture)

🔧 (2) Gaps found in the insulation wrapping around the refrigerant pipes from the a/c units, where these pipes pass through the attic. Have re-wrapped with more insulation to prevent condensate from dripping on the ceiling.



6.6 Item 2(Picture)

## 6.7 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

# 7. Electrical System

## Styles & Materials

**Panel Type:**

Circuit breakers

**Panel capacity:**

200 AMP

**Wiring Methods:**

Romex

**Main Disconnect Location:**

Panel Box

**Branch wire 15 and 20 AMP:**

Copper

**Electrical Service Conductors:**

Below ground

## Items

### 7.0 SERVICE ENTRANCE CONDUCTORS & MAIN DISCONNECT BREAKER

Comments: Inspected

Main electrical disconnect location is at the electrical panel.



7.0 Item 1(Picture)

### 7.1 SERVICE GROUNDING

Comments: Inspected

### 7.2 PANEL BOX & SUB-PANEL

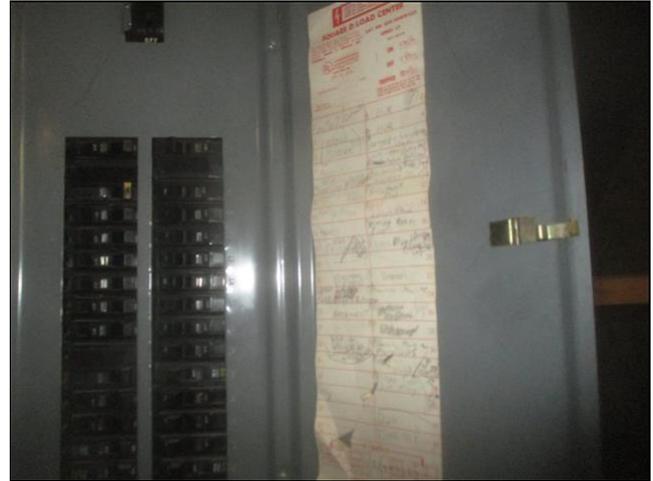
Comments: Inspected, Repair or Replace

(1) View of panel. Panel was inspected for function (not modern code compliance). Building codes and standards have changed over the years.

Panel is not completely/clearly labeled.

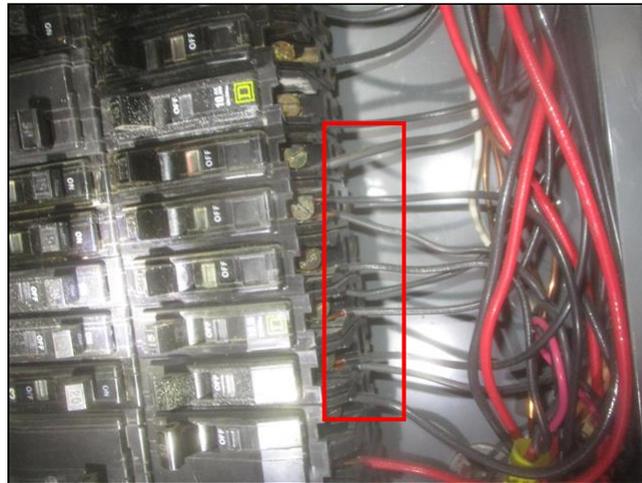


7.2 Item 1(Picture) View of panel



7.2 Item 2(Picture) Not completely/clearly labeled

(2) Double wired breaker found in the main panel. See photo (~ 3 double tapped breakers). Usual wiring method is to have one wire for one breaker. Have electrician correct.



7.2 Item 3(Picture)

### 7.3 BRANCH CIRCUIT CONDUCTORS, CIRCUIT BREAKERS & WIRING

Comments: Inspected, Repair or Replace

🔧 (1) Covers needed on the open junction boxes at locations shown in the photos. Covers are used to control sparking. Have an electrician correct.



7.3 Item 1(Picture) Right side basement



7.3 Item 2(Picture) Central attic

🔧 (2) Open live wires observed near the gable vents at each side of the attic. See photos. This is a safety concern. Wires are associated with past power vent installations at the gable vents that are no longer required. Recommend further evaluation by an electrician and wires professionally removed or terminated so that they are no longer a safety concern.



7.3 Item 3(Picture)



7.3 Item 4(Picture)

#### 7.4 OUTLETS & LIGHT FIXTURES

Comments: Inspected, Repair or Replace

🔧 (1) Three outlets in the front ground floor left side family type room are operable but not wired correctly (not grounded). Have electrician further evaluate and correct as required.

🔧 (2) Non-functional security light at the rear of the home. Bulb replacement likely will correct this issue but other electrical concerns may be present preventing the lights to function. Recommend making light functional prior to closing.



7.4 Item 1(Picture) Rear

## 7.5 CONDUIT

**Comments:** Inspected, Repair or Replace

🔧 Wiring to garbage disposal under the kitchen sink needs to be in protective conduit.



7.5 Item 1(Picture)

## 7.6 OPERATION OF GFCI & OR AFCI

**Comments:** Inspected, Repair or Replace

🔧 It is recommended that all garage, laundry room, exterior and basement outlets be switched to the gfci protected type. This will make the outlets more safe and bring the wiring closer to modern standards. These were not required in older homes. Ground floor hall bath outlet was also not gfci protected but the remaining bathroom outlets were gfci protected.

## 7.7 SMOKE DETECTORS

**Comments:** Inspected, Repair or Replace

 Smoke detectors can last 10 years before needing replacement. Due to their apparent age, it is recommended that all smoke detectors in the home be replaced and installed as per manufacturer's recommendations.

## 7.8 CARBON MONOXIDE DETECTORS

**Comments:** Inspected, Repair or Replace

 Carbon monoxide detectors can last 10 years before needing replacement. Due to their apparent age, it is recommended that all carbon monoxide detectors in the home be replaced and installed per manufacturer's recommendations.

# 8. Plumbing System

## Styles & Materials

<b>Water Source:</b> Public	<b>Plumbing Water Supply (into home):</b> Not visible	<b>Plumbing Water Distribution (inside home):</b> Copper
<b>Plumbing Drain Pipe:</b> ABS	<b>Water Heater Capacity:</b> 40 Gallon	<b>Water Heater Age:</b> 2007
<b>Water Heater Location:</b> Basement	<b>Water Heater Power Source:</b> Gas	

## Items

### 8.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

**Comments:** Inspected

### 8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION PIPING AND FIXTURES

**Comments:** Inspected, Repair or Replace

🔧 Exterior spigot as shown in the photo was not operational at the time of the inspection. Have owner turn water on to spigot and ensure that the spigot is fully operation with no associated concerns (leaks, etc.) prior to closing.



8.1 Item 1(Picture) Left side

### 8.2 TUBS,SINKS, TOILETS & SHOWER STALLS

**Comments:** Inspected, Repair or Replace

🔧 Leak observed associated with the plumbing under the hall bath sink. Have further evaluated by a plumber and repaired as required.



8.2 Item 1(Picture)

### 8.3 WATER HEATER

Comments: Inspected, Repair or Replace

🔧 Water heaters generally last 10-12 years before needing replacement. Current water heater works and makes hot water but may need replacing in the near future due to its age. Water heater is a 2007 model.



8.3 Item 1(Picture)

### 8.4 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

Main water shut off is located in the front basement.



8.4 Item 1(Picture)

### 8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected, Repair or Replace

🔧 The "T" fitting, (more commonly known as a drip leg or sediment traps) for the attic furnace gas line is not installed correctly. Hvac tech can evaluate. Gas company may not connect gas for new owner if this is discovered.



8.5 Item 1(Picture) T fitting should be installed in a downward position on a vertical pipe run

### 8.6 MAIN FUEL GAS SHUT OFF

Comments: Inspected

Main gas shut off is at the meter.



8.6 Item 1(Picture)

## 9. Interiors

### Items

#### 9.0 CEILINGS

Comments: Inspected, Repair or Replace

🔧 Exposed nails at ceiling of the basement stair landing as shown in the photo. Correct as required to ensure exposed nailing will not be a safety concern.



9.0 Item 1(Picture)

#### 9.1 WALLS

Comments: Inspected

#### 9.2 FLOORS

Comments: Inspected

#### 9.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected, Repair or Replace

🔧 Recommend spindle type guard rails for the basement stairs. Current guard rail would not meet modern standards and is a safety concern for small children.



9.3 Item 1(Picture)

#### 9.4 COUNTERS AND INSTALLED CABINETS (REPRESENTATIVE NUMBER)

Comments: Inspected

#### 9.5 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

 Roughly half of the windows for the home were not operable (jammed/painted shut). This is not uncommon for this type of window if not regularly used. Non-functional windows are an emergency egress concern. Recommend making all windows for the home fully functional prior to closing.

Windows are the older single pane type that are not as energy efficient as modern windows. Due to the age of the windows, buyer should expect general poor function of the windows due to their age. Several windows (~6 windows are missing locks).

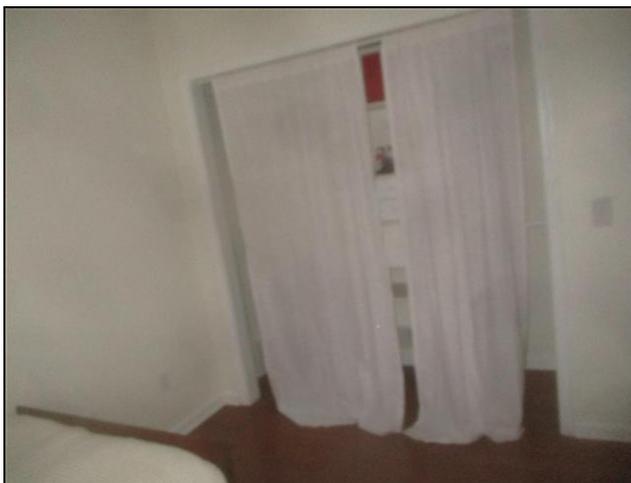
## 9.6 BATHROOMS

Comments: Inspected

## 9.7 INTERIOR DOORS

Comments: Inspected

Four upstairs closets are missing installed doors (drapes are being used). Resolve any concern prior to closing.



9.7 Item 1(Picture)

## 9.8 PESTS

Comments: Inspected, Repair or Replace

🦁 Evidence of rodent activity in the attic and basement and crawlspace. A pest control company should be consulted to determine if activity is past or present and to repair all possible entry points to the attic and to the entire home.

Ten plus bats observed in the gable vent at the left side of the home. A large amount of bat droppings was observed in the attic under this location. Have gable vents sealed off to prevent use by bats and have the bat droppings removed (bat droppings could be a toxic).



9.8 Item 1(Picture) Rodent droppings, basement



9.8 Item 2(Picture) Rodent trap in attic



9.8 Item 3(Picture) Bats in gable vent



9.8 Item 4(Picture) Bat droppings

**9.9 THERMAL IMAGES**

Comments: Inspected

No obvious concerns identified in the home discovered via thermal imaging.

## 10. Built-In Kitchen Appliances

---

The kitchen appliances were checked for basic function only.

*Items*

---

### 10.0 DISHWASHER

Comments: Inspected

### 10.1 RANGES/OVENS/COOKTOPS

Comments: Inspected

### 10.2 VENT HOOD/DOWN DRAFT

Comments: Inspected

### 10.3 GARBAGE DISPOSAL

Comments: Inspected

### 10.4 MICROWAVE

Comments: Inspected

### 10.5 REFRIGERATOR

Comments: Inspected

### 10.6 RECALLCHEK

Comments: Inspected